Kenney Commons
Application Materials

Walnut Hill and Parsonage Streets
North Yarmouth, Maine 04097

Prepared by:
Steve Roberge
SJR Engineering Inc.
16 Thurston Drive
Monmouth, Maine 04259

Tel/Fax: 1-207-242-6248

March 10, 2022

TOWN OF NORTH YARMOUTH
PLANNING BOARD
REQUEST FOR HEARING

NAME OF APPLICANT: Laurie Bachelder PHONE #: 1-207-415-8723
EMAIL: lbach@maine.rr.com ALT. PHONE#:
FULL ADDRESS: 865 Oak Hill Rd North Yarmouth ME 04097
PROPERTY ADDRESS: 521 Walnut Hill Road North Yarmouth ME 04097
MAP: 7 LOT: 62 ZONE: Village Cent

AGENT/REPRESENTATIVE (if other): Steve Roberge PHONE #: 1-207-242-6248
EMAIL: steve@sjreng.com
FULL ADDRESS: 16 Thurston Drive, Monmouth, Maine 04259

The undersigned requests the North Yarmouth Planning Board consider the following application for:

- [X] Pre-application Sketch Plan Review
- [ ] Minor Subdivision
- [ ] Contract Zoning
- [ ] Other (Specify):
- [ ] Major Subdivision
- [ ] Site Plan Review

NOTE TO APPLICANT:

1. This form and appropriate materials must be filed at the Code Enforcement Office no later than (fourteen) 14 days prior to the regular meeting of the Board (2nd Tuesday monthly). Applications shall be accompanied by all applications fee and materials required by the applicable ordinance(s), checklists and fee schedule.
2. All applications shall include all materials and copies as specified on the submittal requirements form.
3. All materials in color shall be copied in color.

Application Authorization
I hereby make application to the Town of North Yarmouth for the above-referenced property(ies) and the development as described. To the best of my knowledge, the information provided herein is accurate and is in accordance with the Zoning and Subdivision Ordinances of the Town, except where waivers are requested. The Town of North Yarmouth Planning Board and/or town employees are authorized to enter the property(ies) for purposes of reviewing this proposal and for inspecting improvements as a result of an approval of this proposal. I understand that I am responsible for appearing, or having someone appear on my behalf, at all meetings before the Planning Board.

Signature: Laurie Bachelder Date: 2/22/2022
Printed Name: Laurie Bachelder

Please identify yourself (check one): Agent*: [ ] Property Owner: [✓]

SJR ENGINEERING, INC.
STEVE@SJRENG.COM. 16 THURSTON DRIVE, MONMOUTH, ME. TEL: (207) 242-6248

February 20, 2022

Ryan Keith, Planner
North Yarmouth Planning Board
10 Village Square Road
North Yarmouth, Maine

Re: Site Plan for Kenney Commons, Parsonage Road, North Yarmouth

Dear Ryan and Board Members,

On behalf of the Maine Capitol Mortgage LLC, we are pleased to submit this site plan application to you for Planning Board review and approval. This application pertains to Tax Map 7 Lot 62. The parcel has 241' of road frontage along Parsonage Road and also has 503' of frontage along Walnut Hill Road (aka Route 115). The parcel has 2.24 acres (97,471 sf) of land. A 21,768 sf portion of the parcel is to be transferred to the abutter. The existing parcel is developed with a residential building and barn that is to be demolished. It has a no name stream along the southerly property line. The lot lies within the Village Center District zone. In addition, the parcel lies within the Groundwater Protection Overlay Zone.

The company that will redevelop the lot is Maine Capitol Mortgage LLC. Laurie Bachelder is the President and Sole Owner of that corporation.

The proposed plan is to construct 4 residential units with two of the buildings having frontage along Walnut Hill Road and two buildings having frontage along Parsonage Road. A new driveway entrance off Parsonage Road allows onsite parking for residents and guests (3 stalls per unit). The parking has been designed behind the proposed buildings to make them less visible from the road. Proposed grading for the site is optimum for parking, drainage, and landscaping features.

A Spring 2022 construction startup date is planned once approvals for the project have been obtained.

We have located the proposed buildings within the 0-20' front setback criteria. The Village District Zone also has building side setbacks requirements of up to 25', and a minimum of 5' along the rear property line. Adjacent areas and land uses are similar (residential housing) in nature to that being proposed. The site is zoned to allow this type of use in the immediate area. The property does not lie within a floodplain.

The buildings will be two story, wood framed structures on frost walls. A common entrance driveway leads to individual driveways that can accommodate residential and guest parking. The units will have three bedrooms. We have attached a site plan that shows footprint areas for building construction. Access into each unit will be provided by paved 5' wide sidewalks leading to entrance stairs and a stoop. Each unit will have entrance lighting attached to the building.

Each of the units will utilize underground electricity, cable communications, telephone, and a 1.5" diameter public water supply. The sewer connection from each unit will flow by gravity to a Fugi-Clean septic system which discharges to a septic disposal area located behind the buildings. Trash will be disposed by individual unit Owners.

The driveway entrance allows for easy access to the building units and provides for safe off-road access for emergency services/fire equipment. A curb with raised 5' wide sidewalk is proposed along Walnut Hill Road and Parsonage Road that will allow for safe walking access along the street.

Stormwater flows from this parcel flow to a manmade stormwater management pond. The building roof stormwater will drain to drip strips along the foundation walls. The parking area will drain to the manmade stormwater management pond along a shallow swale adjacent to the 5' trail to the pond. No improvements are to be made to the pond as the increase in impervious area is small (6,730 sf) and will be absorbed in the ground and pond. A new catch basin is to be located over the existing 24" diameter culvert to capture the Walnut Hill Road runoff.

Erosion control will be necessary during the earthwork excavation and filling at the site for construction of the proposed buildings and driveways. A stabilized construction entrance will be required to help minimize potential soil material from tracking onto Parsonage Road. Silt fences, erosion control berms, hay mulch, and silt sacks in catch basins are also shown on the plan and depicted in the construction details. All disturbed areas not covered with driveway pavement, sidewalks, landscaping, or building are to be loamed and seeded with a vegetative grass, and mulched. As construction progresses, different forms of erosion control will be necessary, and should be employed by the Contractor according to DEP's latest edition of "Best Management Practices".

Additional driveway lighting may be utilized to supplement security in the parking lot area The lights if desired are to be full cutoff design to prevent offsite glare to abutting properties. Lighting will be installed at each doorway entrance to the units.

The existing trees that are along Parsonage Road are to be cut down and removed from the site. New landscaping areas along the proposed that will enhance the aesthetics of the project and soften the view of the buildings from Walnut Hill and Parsonage Roads. Landscaping plants will be chosen by the Owner at the time of construction.

We look forward to presenting this project to the Planning Board and answering any questions you may have concerning the design of the project.

Please call me if you have any questions.

Sincerely yours,

Stephen Roberge

Stephen Roberge, PE
for SJR Engineering Inc.

Attachments: Completed site plan set

DLN: 1002140144249

AFTER RECORDING RETURN TO:
Nicholas J. Morrill, Esq.
Jensen Baird
P.O. Box 4510
Portland, Maine 04112-4510

MAINE REAL ESTATE TAX-Paid

QUITCLAIM DEED WITH COVENANT

KNOW ALL BY THESE PRESENTS, that, **Maine Capital Mortgage, LLC f/k/a MCM 2, LLC, d/b/a Approved Home Mortgage**, a Maine limited liability company with a mailing address of 2320 Congress Street, Suite D, Portland, Maine 04101, hereby grants to **527 LLC**, a Maine limited liability company, with a mailing address of 865 Oak Hill Road, North Yarmouth, Maine, with QUITCLAIM COVENANT, a certain lot or parcel of land, together with the improvements situated thereon, located in the Town of North Yarmouth, County of Cumberland and State of State of Maine:

A certain lot or parcel of land with the buildings thereon, situated on the easterly side of Route 115 in the Town of North Yarmouth, County of Cumberland and State of Maine bounded and described as follows:

Beginning at the intersection of the easterly sideline of said Route 115 and the southerly sideline of Parsonage Road;

Thence South 86° 40' 55" East along said Parsonage Road 441.63 feet to an iron pipe and land of Carol A. Dubay et al;

Thence South 08° 31' 40" East along said land of Dubay 352.87 feet to an iron pipe;

Thence South 72° 54' 35" West along said remaining land of the Grantors herein 71.37 feet to land now or formerly of Stephen K. Libby;

Thence continuing South 72° 54' 35" West along said land of Libby 290.00 feet to Route 115;

Thence North 17° 05' 25" West along said Route 115 a distance of 502.94 feet to the point of beginning.

All bearings are magnetic of the year 1988 based on a survey by Owen Haskell, Inc.

Together with a right of way in common with others 50 feet in width along the easterly side of the premises herein conveyed and the westerly boundary of the property now or formerly of Carol Dubay; said right of way shall be for pedestrian and vehicular ingress and egress and for all utility purposes above and beneath the ground.
Being the same premises conveyed to Maine Capital Mortgage, LLC f/k/a MCM 2, LLC, d/b/a Approved Home Mortgage by virtue of a Quitclaim Deed from Maine Capital Mortgage, LLC f/k/a MCM 2, LLC, d/b/a Approved Home Mortgage dated November 23, 2020 and recorded in the Cumberland County Registry of Deeds in Book 37542, Page 232.

DOC :35019 BK:38201 PG:161
RECEIVED - RECORDED, CUMBERLAND COUNTY REGISTER OF DEEDS
05/17/2021, 01:05:49P
Register of Deeds Nancy A. Lane E-RECORDED

IN WITNESS WHEREOF, Maine Capital Mortgage, LLC f/k/a MCM 2, LLC, d/b/a Approved Home Mortgage has caused this instrument to be signed and sealed in its company name by Michael J. Lyden, its Manager, thereunto duly authorized this 11th day of May, 2021.

Maine Capital Mortgage, LLC f/k/a MCM 2, LLC, d/b/a Approved Home Mortgage

Witness

By: Michael J. Lyden
Its:

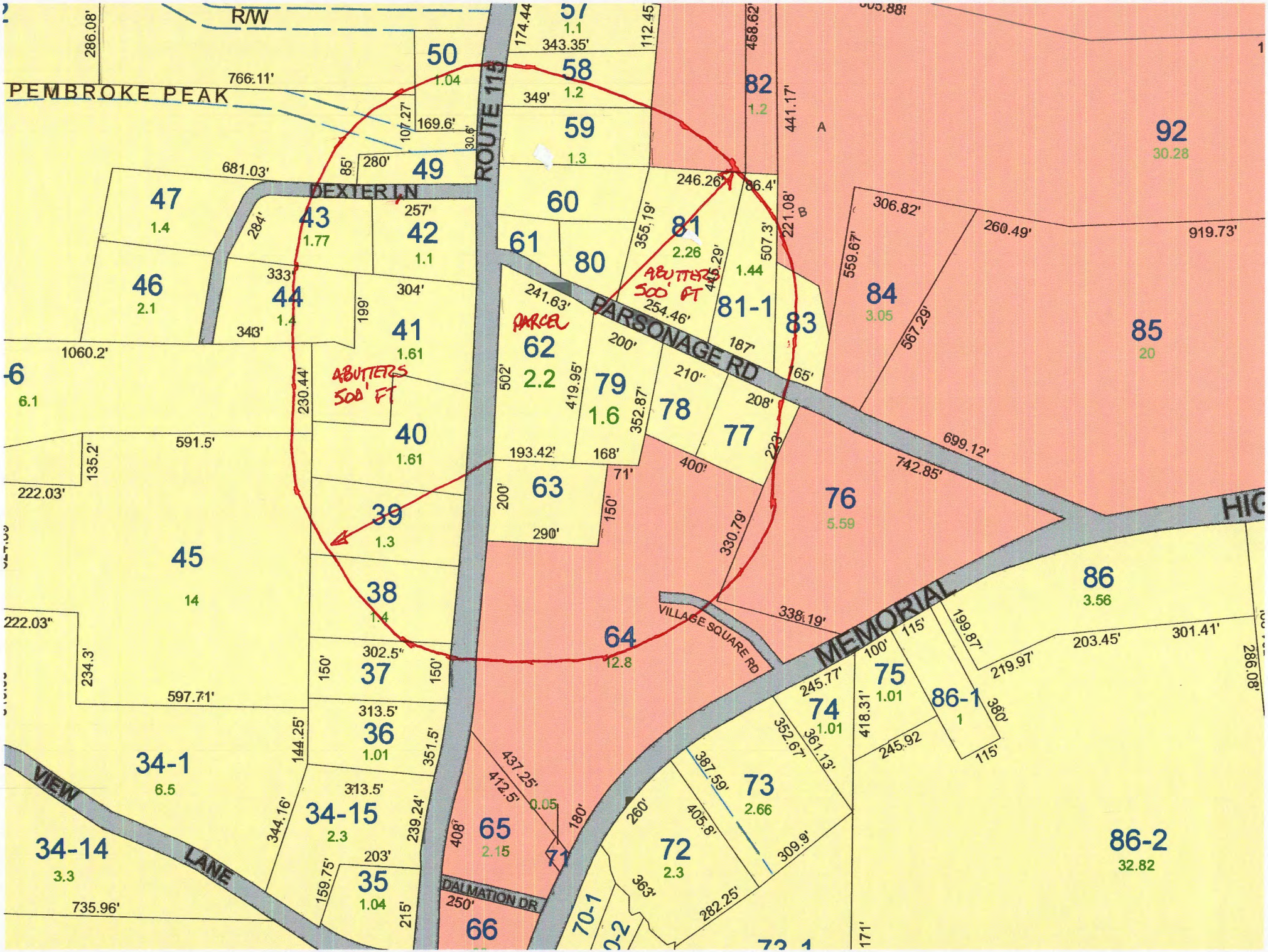
STATE OF MAINE
COUNTY OF CUMBERLAND, ss. May 11, 2021

Then personally appeared before me the above named Michael J. Lyden, Manager of Maine Capital Mortgage, LLC f/k/a MCM 2, LLC, d/b/a Approved Home Mortgage, and acknowledged the foregoing to be his free act and deed in his said capacity, and the free act and deed of Maine Capital Mortgage, LLC f/k/a MCM 2, LLC, d/b/a Approved Home Mortgage.

Attorney at Law/~~Notary Public~~
Nicholas O. Morrill

ABUTTERS WITHIN 500'

Parcel Number	GIS Number	Property Address	Owner Name	Owner Address	Owner City	Owner	Owner Zip
007-034	007-034	0 WALNUT HILL RD	SMITH, NORMAN L. 1/2 INT	43 THE LANE	NORTH YARMOUTH	ME	04097
007-037	007-037	488 WALNUT HILL RD	SULLIVAN, BRUCE A	490 WALNUT HILL RD	NORTH YARMOUTH	ME	04097
007-038	007-038	494 WALNUT HILL RD	BOYNTON, SANDRA J.	190 US ROUTE 1	FALMOUTH	ME	04105
007-039	007-039	504 WALNUT HILL RD	KILGORE, GORDON	P O BOX 31-A	CUMBERLAND CENTER	ME	04021
007-040	007-040	508 WALNUT HILL RD	NOONAN, JAMES P.	508 WALNUT HILL RD	NORTH YARMOUTH	ME	04097
007-041	007-041	518 WALNUT HILL RD	U.S. BANK TRUST, N.A.	11 MULBERRY DR	CUMBERLAND CENTER	ME	04021
007-042	007-042	534 WALNUT HILL RD	STACKPOLE, KEITH	534 WALNUT HILL RD	NORTH YARMOUTH	ME	04097
007-043	007-043	18 DEXTER LANE	MARLOWE, JOHN J	18 DEXTER LANE	NORTH YARMOUTH	ME	04097
007-044	007-044	0 DEXTER LANE	GORDON, LINDA	260 PLEASANT STREET	YARMOUTH	ME	04096
007-045	007-045	0 DEXTER LANE @ THE END	YARMOUTH WATER DISTRICT	P. O. BOX 419	YARMOUTH	ME	04096-0419
007-048	007-048	80 PEMBROKE PEAK	GROVER, BENJAMIN C & DEBORAH A	80 PEMBROKE PEAK	NORTH YARMOUTH	ME	04097
007-049	007-049	544 WALNUT HILL RD	ISRAEL, HENRY M	544 WALNUT HILL RD	NORTH YARMOUTH	ME	04097
007-050	007-050	546 WALNUT HILL RD	MALONEY, KATHERINE M	546 WALNUT HILL RD	NORTH YARMOUTH	ME	04097
007-058	007-058	551 WALNUT HILL RD	MALLORY, MICHAEL P.	551 WALNUT HILL RD	NORTH YARMOUTH	ME	04097
007-059	007-059	543 WALNUT HILL RD	AHLBERG, MATTHEW T.	543 WALNUT HILL RD	NORTH YARMOUTH	ME	04097
007-060	007-060	539 WALNUT HILL RD	WONG, DAVID	539 WALNUT HILL RD	NORTH YARMOUTH	ME	04097
007-061	007-061	4 PARSONAGE RD	BURGESS, RONALD E.	881 SLIGO RD	NORTH YARMOUTH	ME	04097
007-063	007-063	507 WALNUT HILL RD	BRUDER, ROBERT C.	27 CRESTWOOD RD	CUMBERLAND	ME	04021
007-064	007-064	10 VILLAGE SQUARE RD	NORTH YARMOUTH, TOWN OF	10 VILLAGE SQUARE RD	NORTH YARMOUTH	ME	04097
007-076	007-076	0 VETERAN MEMORIAL PARK	NORTH YARMOUTH, TOWN OF	10 VILLAGE SQUARE ROAD	NORTH YARMOUTH	ME	04097
007-077	007-077	29 PARSONAGE RD	FARRELL JOHN E JR	29 PARSONAGE RD	NORTH YARMOUTH	ME	04097
007-078	007-078	19 PARSONAGE RD	INGRAM, TRISTAN R & MARY E	19 PARSONAGE RD	NORTH YARMOUTH	ME	04097
007-079	007-079	15 PARSONAGE RD	DOSTILIO, ALICIA & SOL	15 PARSONAGE RD	NORTH YARMOUTH	ME	04097
007-080	007-080	8 PARSONAGE RD	BLANCHARD, ANN C.	P.O. BOX 406	CUMBERLAND	ME	04021
007-081	007-081	16 PARSONAGE RD	BURKE, DANIEL P & DEBORAH S	16 PARSONAGE RD	NORTH YARMOUTH	ME	04097
007-081-001	007-081-001	28 PARSONAGE RD	BURKE, DANIEL P & DEBORAH S	16 PARSONAGE RD	NORTH YARMOUTH	ME	04097
007-083	007-083	34 PARSONAGE RD	ADSHEAD, MICHELLE	34 PARSONAGE ROAD	NORTH YARMOUTH	ME	04097
007-092	007-092	40 PARSONAGE RD	NORTH YARMOUTH, TOWN OF	10 VILLAGE SQUARE ROAD	NORTH YARMOUTH	ME	04097


R/W
PEMBROKE PEAK
ROUTE 115
DEXTER LN
PARSONAGE RD
MEMORIAL
VIEW
LANE
VILLAGE SQUARE RD
DALMATION DR
ABUTTERS 500' FT
PARCEL
50
1.04
58
1.2
59
1.3
49
47
1.4
43
1.77
42
1.1
46
2.1
44
1.4
41
1.61
40
1.61
39
1.3
38
1.4
37
1.01
36
1.01
34-1
6.5
34-15
2.3
34-14
3.3
35
1.04
65
2.15
66
57
1.1
60
61
80
81
2.26
62
2.2
79
1.6
78
77
63
64
12.8
82
1.2
81-1
1.44
83
84
3.05
85
20
92
30.28
76
5.59
86
3.56
75
1.01
74
1.01
86-1
1
73
2.66
72
2.3
86-2
32.82
70-1
71

BLDG 1

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. Health & Human Services
Div of Environmental Health , 11 SHS
(207) 287-5672 Fax: (207) 287-4172

PROPERTY LOCATION

City, Town, or Plantation: NORTH YARMOUTH
Street or Road: 521 WALNUT HILL RD.
Subdivision, Lot #: BUILDING #1

OWNER/APPLICANT INFORMATION

Name (last, first, MI): 527 LLC ☒ Owner ☐ Applicant
Mailing Address of Owner/Applicant: 865 OAK HILL ROAD, NORTH YARMOUTH, 04097
Daytime Tel. #: 415-8723

OWNER OR APPLICANT STATEMENT

I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a Permit.

Signature of Owner or Applicant ____ Date ____

>> CAUTION: LPI APPROVAL REQUIRED <<

Town/City ____ Permit # ____
Date Permit Issued __/__/__ Fee: $____ Double Fee Charged [ ]
Local Plumbing Inspector Signature ____ L.P.I. # ____
☐ Owner ☐ Town ☐ State

The Subsurface Wastewater Disposal System shall not be installed until a Permit is issued by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.

Municipal Tax Map # ____ Lot # ____

CAUTION: INSPECTION REQUIRED

I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application. ____ (1st) date approved

Local Plumbing Inspector Signature ____ (2nd) date approved

PERMIT INFORMATION

TYPE OF APPLICATION

☒ 1. First Time System
☐ 2. Replacement System
Type replaced: ____
Year installed: ____
☐ 3. Expanded System
☐ a. <25% Expansion
☐ b. >25% Expansion
☐ 4. Experimental System
☐ 5. Seasonal Conversion

THIS APPLICATION REQUIRES

☒ 1. No Rule Variance
☐ 2. First Time System Variance
☐ a. Local Plumbing Inspector Approval
☐ b. State & Local Plumbing Inspector Approval
☐ 3. Replacement System Variance
☐ a. Local Plumbing Inspector Approval
☐ b. State & Local Plumbing Inspector Approval
☐ 4. Minimum Lot Size Variance
☐ 5. Seasonal Conversion Permit

SIZE OF PROPERTY

2.24 ☐ SQ. FT. ☒ ACRES

SHORELAND ZONING

☐ Yes ☒ No

DISPOSAL SYSTEM TO SERVE

☐ 1. Single Family Dwelling Unit, No. of Bedrooms: ____
☒ 2. Multiple Family Dwelling, No. of Units: 3-3BR UNITS
☐ 3. Other: ____ (specify)
Current Use ☐ Seasonal ☒ Year Round ☐ Undeveloped

DISPOSAL SYSTEM COMPONENTS

☒ 1. Complete Non-engineered System
☐ 2. Primitive System (graywater & alt. toilet)
☐ 3. Alternative Toilet, specify: ____
☐ 4. Non-engineered Treatment Tank (only)
☐ 5. Holding Tank, ____ gallons
☐ 6. Non-engineered Disposal Field (only)
☐ 7. Separated Laundry System
☐ 8. Complete Engineered System (2000 gpd or more)
☐ 9. Engineered Treatment Tank (only)
☐ 10. Engineered Disposal Field (only)
☒ 11. Pre-treatment, specify: OXY PRO OR EQUAL
☐ 12. Miscellaneous Components

TYPE OF WATER SUPPLY

☐ 1. Drilled Well ☐ 2. Dug Well ☐ 3. Private
☒ 4. Public ☐ 5. Other

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)

TREATMENT TANK

☒ 1. Concrete
☐ a. Regular
☐ b. Low Profile
☐ 2. Plastic
☐ 3. Other: ____
CAPACITY: 1000 GAL
PLUS AERATOR

DISPOSAL FIELD TYPE & SIZE

☐ 1. Stone Bed ☐ 2. Stone Trench
☒ 3. Proprietary Device
☐ a. cluster array ☒ Linear
☐ b. regular load ☐ H-20 load
☐ 4. Other: MOUNDBUSTER
SIZE: 598 ☐ sq. ft. ☒ lin. ft.

GARBAGE DISPOSAL UNIT

☒ 1. No ☐ 2. Yes ☐ 3. Maybe
If Yes or Maybe, specify one below:
☐ a. multi-compartment tank
☐ b. ___ tanks in series
☐ c. increase in tank capacity
☐ d. Filter on Tank Outlet

DESIGN FLOW

810 gallons per day
BASED ON:
☒ 1. Table 4A (dwelling unit(s))
☐ 2. Table 4C(other facilities)
SHOW CALCULATIONS for other facilities

☐ 3. Section 4G (meter readings)
ATTACH WATER METER DATA

SOIL DATA & DESIGN CLASS

PROFILE 5 CONDITION B
at Observation Hole # TP-1
Depth ___"
of Most Limiting Soil Factor

DISPOSAL FIELD SIZING

☒ 1. Medium---2.6 sq. ft. / gpd
☐ 2. Medium---Large 3.3 sq. f.t / gpd
☐ 3. Large---4.1 sq. ft. / gpd
☐ 4. Extra Large---5.0 sq. ft. / gpd

EFFLUENT/EJECTOR PUMP

☐ 1. Not Required
☒ May Be Required
☐ 3. Required
Specify only for engineered systems:
DOSE: ____ gallons

LATITUDE AND LONGITUDE

at center of disposal area
Lat. 43 d 49 m 57 s 79
Lon. 70 d 15 m 08 s 19
If g.p.s, state margin of error: ____

SITE EVALUATOR STATEMENT

I certify that on 2-18-22 (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A CMR 241).

Site Evaluator Signature ____ SE # 262 Date 3-9-22
Site Evaluator Name Printed: MARK CENCI Telephone Number: 329-3524 E-mail Address: ____

Note : Changes to or deviations from the design should be confirmed with the Site Evaluator.

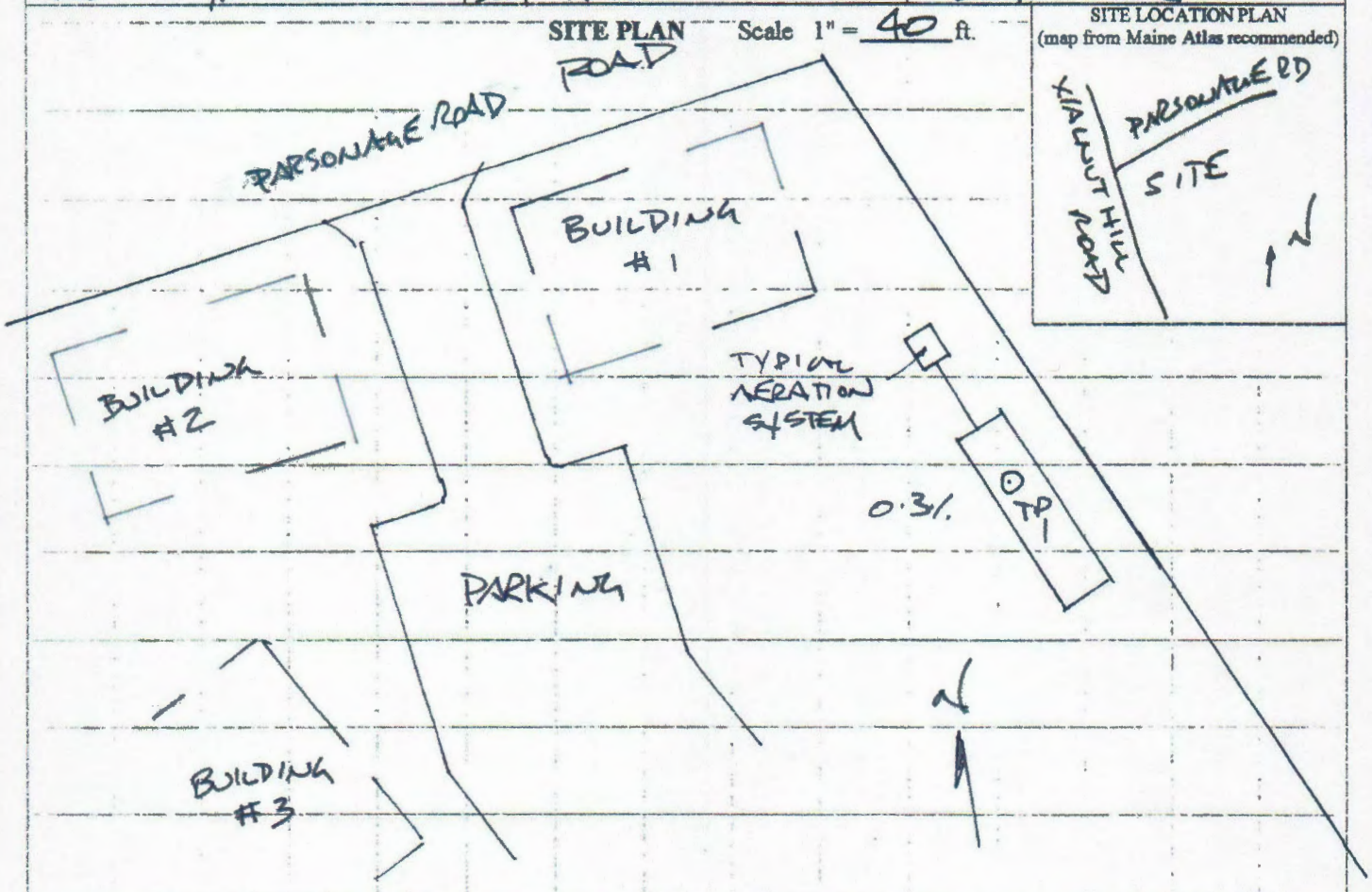
HHE-200 Rev. 08/2011

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Department of Human Services
Division of Health Engineering, Station 10
(207) 287-5672 Fax: (207) 287-3165

Town, City, Plantation	Street, Road, Subdivision	Owner or Applicant Name
NORTH YARMOUTH	521 WALNUT HILL ROAD	527 LLC

SITE PLAN Scale 1" = 40 ft.



SITE LOCATION PLAN
(map from Maine Atlas recommended)

SOIL PROFILE DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)

Observation Hole # TP-1 ☒ Test Pit ☐ Boring

" Depth of organic horizon above mineral soil

Depth below mineral soil surface (inches)	Texture	Consistency	Color	Mottling
0	SANDY LOAM		DARK BROWN	
6				
12	LOAMY SAND	LOOSE	YELLOW BROWN TO GRAY BROWN	NONE
18				
24	PEBBLY MEDIUM SAND TO ~60"			
30				
36				
42				
48				

Soil Profile	Classification Condition	Slope Percent	Limiting Factor Depth	☐ Groundwater ☐ Restrictive Layer ☐ Bedrock ☐ Pit Depth
5	B	0-3	—	

Observation Hole # _____ ☐ Test Pit ☐ Boring

" Depth of organic horizon above mineral soil

Depth below mineral soil surface (inches)	Texture	Consistency	Color	Mottling
0				
6				
12				
18				
24				
30				
36				
42				
48				

Soil Profile	Classification Condition	Slope Percent	Limiting Factor Depth	☐ Groundwater ☐ Restrictive Layer ☐ Bedrock ☐ Pit Depth

Site Evaluator Signature: Mark Quinn SE #: 202 Date: 3-9-22

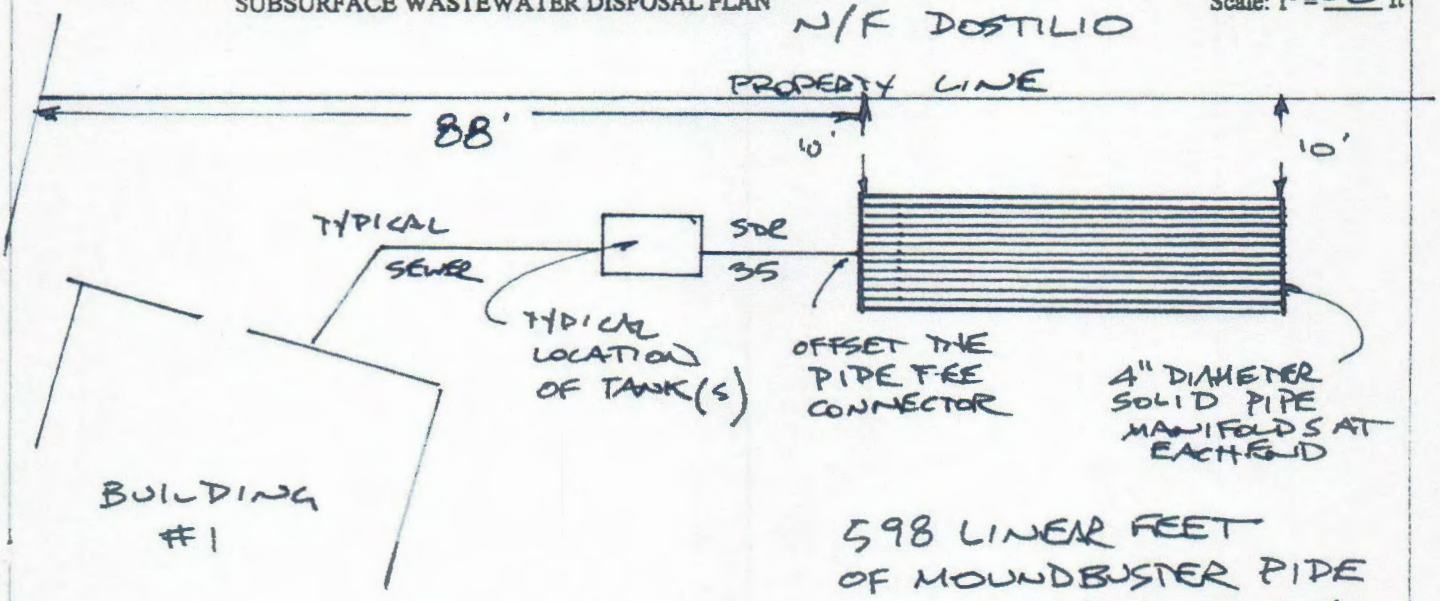
SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Department of Human Services
Division of Health Engineering, Station 10
(207) 287-5672 Fax: (207) 287-3165

Town, City, Plantation	Street, Road, Subdivision	Owner or Applicant Name
NORTH YARMOUTH	521 WALNUT HILL BUILDING #1	S27 LLC

SUBSURFACE WASTEWATER DISPOSAL PLAN

Scale: 1" = 20 ft



BACKFILL REQUIREMENTS: ABOVE GRADE

Depth of Backfill (upslope): 8

Depth of Backfill (downslope):

CONSTRUCTION ELEVATIONS

Finished Grade Elevation =

Top of PIPES =

Bottom of PIPES =

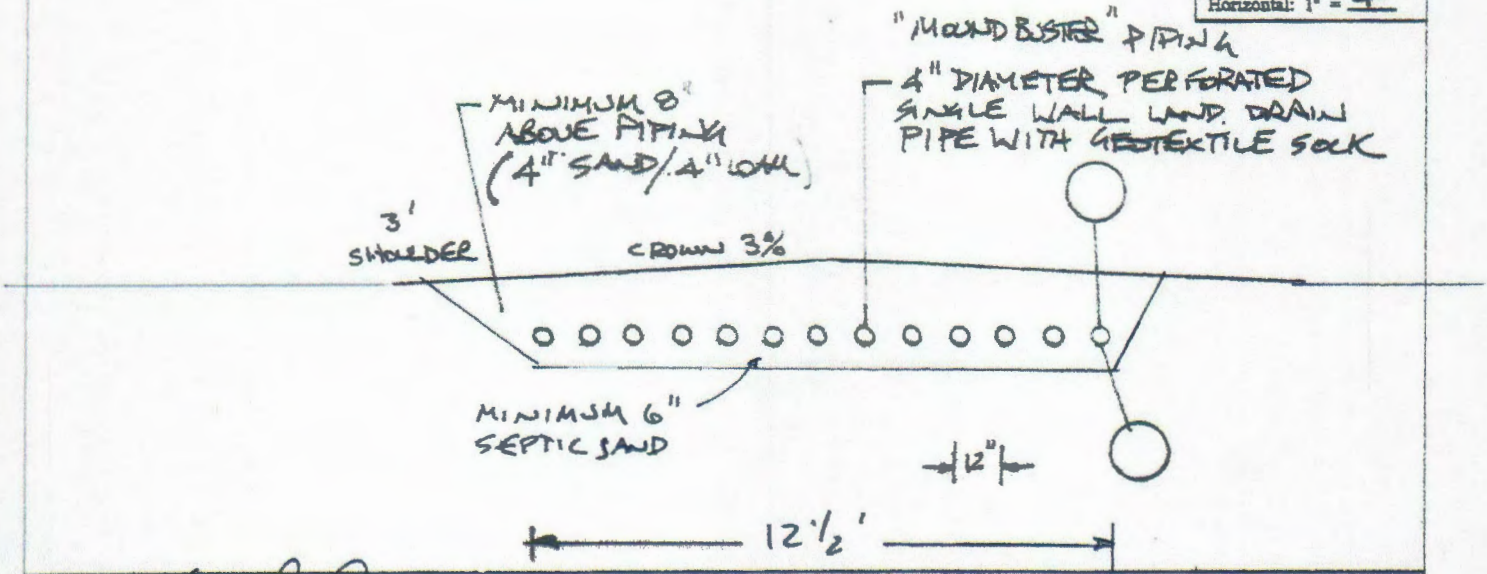
ELEVATION REFERENCE POINT

Location & Description: TO BE SET AT TIME OF CONSTRUCTION

Reference Elevation is 0.0" or: _____

DISPOSAL FIELD CROSS SECTION

Scales:
Vertical: 1" = 4'
Horizontal: 1" = 4'



Site Evaluator Signature	SE #	Date
	262	3-9-22

BLDG 2

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept.Health & Human Services
Div of Environmental Health , 11 SHS
(207) 287-5672 Fax: (207) 287-4172

PROPERTY LOCATION

City, Town, or Plantation: NORTH YARMOUTH
Street or Road: 521 WALNUT HILL RD.
Subdivision, Lot #: BUILDING #2

OWNER/APPLICANT INFORMATION

Name (last, first, MI): 527 LLC ☒Owner ☐Applicant
Mailing Address of Owner/Applicant: 865 OAK HILL ROAD NORTH YARMOUTH, 04097
Daytime Tel. #: 415-8723

OWNER OR APPLICANT STATEMENT
I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a Permit.

Signature of Owner or Applicant _____ Date _____

>> CAUTION: LPI APPROVAL REQUIRED <<

Town/City _____ Permit # _____
Date Permit Issued __/__/__ Fee: $_____ Double Fee Charged [ ]
Local Plumbing Inspector Signature _____ L.P.I. # _____
☐ Owner ☐ Town ☐ State

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Municipal Tax Map # _____ Lot # _____

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Local Plumbing Inspector Signature _____ (2nd) date approved

PERMIT INFORMATION

TYPE OF APPLICATION
☒1. First Time System
☐2. Replacement System
Type replaced: _____
Year installed: _____
☐3. Expanded System
☐a. <25% Expansion
☐b. >25% Expansion
☐4. Experimental System
☐5. Seasonal Conversion

THIS APPLICATION REQUIRES
☒No Rule Variance
☐2. First Time System Variance
☐a. Local Plumbing Inspector Approval
☐b. State & Local Plumbing Inspector Approval
☐3. Replacement System Variance
☐a. Local Plumbing Inspector Approval
☐b. State & Local Plumbing Inspector Approval
☐4. Minimum Lot Size Variance
☐5. Seasonal Conversion Permit

DISPOSAL SYSTEM COMPONENTS
☒1. Complete Non-engineered System
☐2. Primitive System (graywater & alt. toilet)
☐3. Alternative Toilet, specify: _____
☐4. Non-engineered Treatment Tank (only)
☐5. Holding Tank, _____ gallons
☐6. Non-engineered Disposal Field (only)
☐7. Separated Laundry System
☐8. Complete Engineered System (2000 gpd or more)
☐9. Engineered Treatment Tank (only)
☐10. Engineered Disposal Field (only)
☒11. Pre-treatment, specify: OXY PRO OR EQUAL
☐12. Miscellaneous Components

SIZE OF PROPERTY
2.24 ☐SQ. FT. ☒ACRES

SHORELAND ZONING
☐Yes ☒No

DISPOSAL SYSTEM TO SERVE
☐1. Single Family Dwelling Unit, No. of Bedrooms: _____
☒2. Multiple Family Dwelling, No. of Units: 3-3BR UNITS
☐3. Other: _____ (specify)
Current Use ☐Seasonal ☐Year Round ☒Undeveloped

TYPE OF WATER SUPPLY
☐1. Drilled Well ☐2. Dug Well ☐3. Private
☒4. Public ☐5. Other

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)

TREATMENT TANK
☒1. Concrete
☒a. Regular
☐b. Low Profile
☐2. Plastic
☐3. Other: _____
CAPACITY: 1000 GAL
PLUS AERATOR

DISPOSAL FIELD TYPE & SIZE
☐1. Stone Bed ☐2. Stone Trench
☒3. Proprietary Device
☒a. cluster array ☐b. linear
☐b. regular load ☒H-20 load
☐4. Other: _____
SIZE: 2560 ☒sq. ft. ☐lin. ft.

GARBAGE DISPOSAL UNIT
☒1. No ☐2. Yes ☐3. Maybe
If Yes or Maybe, specify one below:
☐a. multi-compartment tank
☐b. ___ tanks in series
☐c. increase in tank capacity
☐d. Filter on Tank Outlet

DESIGN FLOW
810 gallons per day
BASED ON:
☒1. Table 4A (dwelling unit(s))
☐2. Table 4C(other facilities)
SHOW CALCULATIONS for other facilites
☐3. Section 4G (meter readings)
ATTACH WATER METER DATA

SOIL DATA & DESIGN CLASS
PROFILE CONDITION
5 / B
at Observation Hole # TP4
Depth — "
of Most Limiting Soil Factor

DISPOSAL FIELD SIZING
☒1. Medium---2.6 sq. ft. / gpd
☐2. Medium---Large 3.3 sq. ft / gpd
☐3. Large---4.1 sq. ft. / gpd
☐4. Extra Large---5.0 sq. ft. / gpd

EFFLUENT/EJECTOR PUMP
☐1. Not Required
☒2. May Be Required
☐3. Required
Specify only for engineered systems:
DOSE: _____ gallons

LATITUDE AND LONGITUDE
at center of disposal area
Lat. 43 d 49 m 53 s 79
Lon. 70 d 15 m 08 s 19
if g.p.s, state margin of error: _____

SITE EVALUATOR STATEMENT

I certify that on 2-18-22 (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A CMR 241).

Site Evaluator Signature _____ SE # 262 Date 3-9-22
MARK CENCI
Site Evaluator Name Printed
329-3524
Telephone Number
E-mail Address

Note : Changes to or deviations from the design should be confirmed with the Site Evaluator.

HHE-200 Rev. 08/2011

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

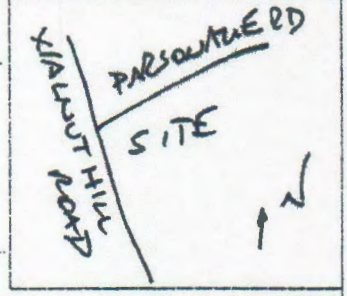
BUILDING 2

Maine Department of Human Services
Division of Health Engineering, Station 10
(207) 287-5672 Fax: (207) 287-3165

Town, City, Plantation	Street, Road, Subdivision	Owner or Applicant Name
NORTH YARMOUTH	521 WALNUT HILL ROAD	527 LLC

SITE PLAN Scale 1" = 40 ft.

SITE LOCATION PLAN
(map from Maine Atlas recommended)



SOIL PROFILE DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)

Observation Hole # TP-4 ☒ Test Pit ☐ Boring

" Depth of organic horizon above mineral soil

Depth below mineral soil surface (inches)

	Texture	Consistency	Color	Mottling
0–6	SANDY LOAM	FRIABLE	DARK BROWN	
6–18				
18–30	LOAMY GRAVELLY SAND	LOOSE	RED TO GRAY	NONE
30–42	TO ~72"			
42–48				

Soil Profile	Classification Condition	Slope Percent	Limiting Factor Depth	☐ Groundwater ☐ Restrictive Layer ☐ Bedrock ☐ Pit Depth
5	B	0.3	—	

Observation Hole # _____ ☐ Test Pit ☐ Boring

" Depth of organic horizon above mineral soil

Depth below mineral soil surface (inches)

	Texture	Consistency	Color	Mottling
0–48				

Soil Profile	Classification Condition	Slope Percent	Limiting Factor Depth	☐ Groundwater ☐ Restrictive Layer ☐ Bedrock ☐ Pit Depth

Site Evaluator Signature: Mark Dini SE #: 202 Date: 3-9-22

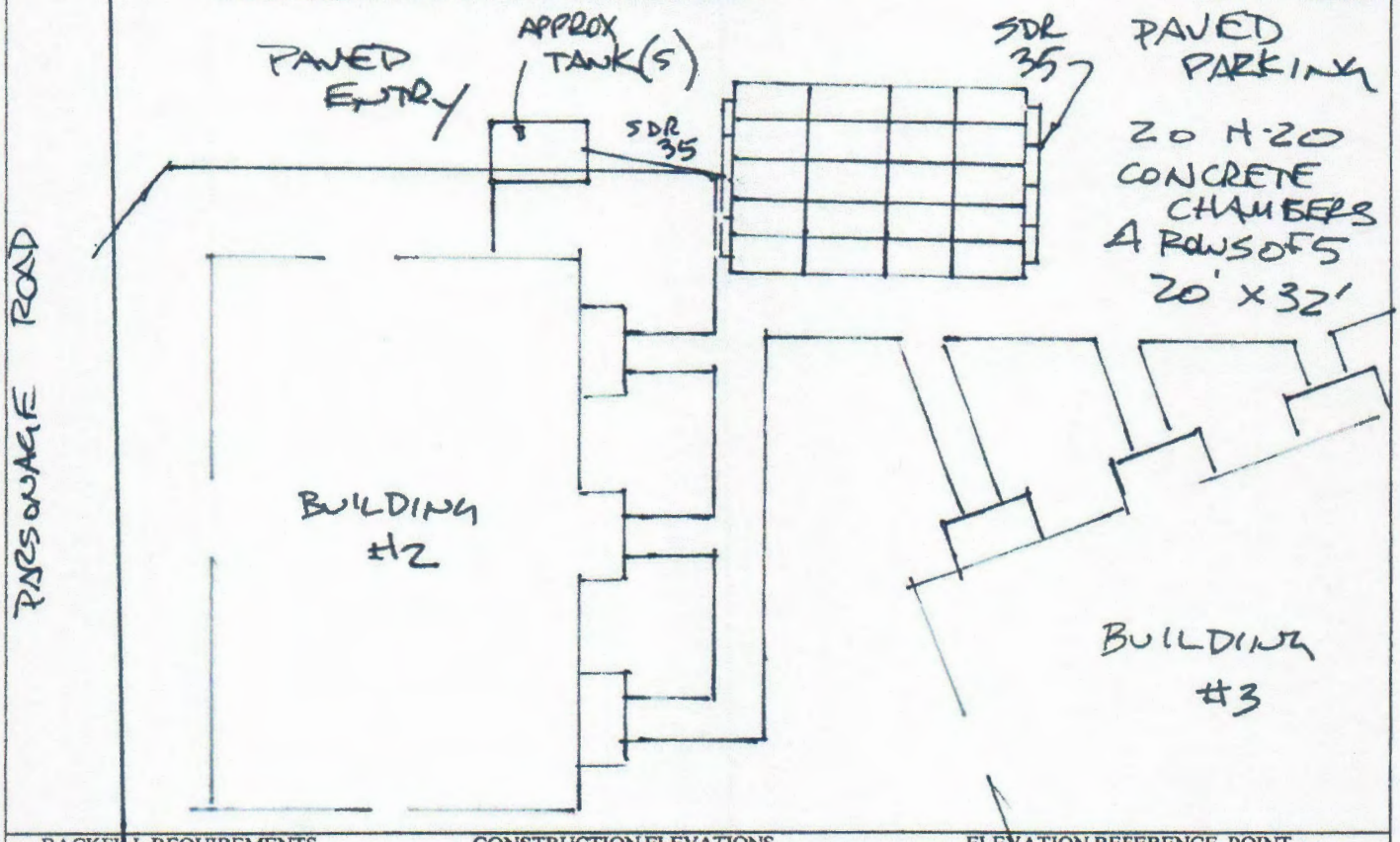
SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Department of Human Services
Division of Health Engineering, Station 10
(207) 287-5672 Fax: (207) 287-3165

Town, City, Plantation	Street, Road, Subdivision	Owner or Applicant Name
NORTH YARMOUTH	521 WALNUT HILL RD	527 LLC

SUBSURFACE WASTEWATER DISPOSAL PLAN

Scale: 1" = 20 ft.



BACKFILL REQUIREMENTS

Depth of Backfill (upslope) 8 "
Depth of Backfill (downslope) 8 "
DEPTHS AT CROSS-SECTION (shown below)

CONSTRUCTION ELEVATIONS

Finished Grade Elevation (at Row 1) — "
Top of Proprietary Device (at Row 1) — "
Bottom of Disposal Field (at Row 1) — "

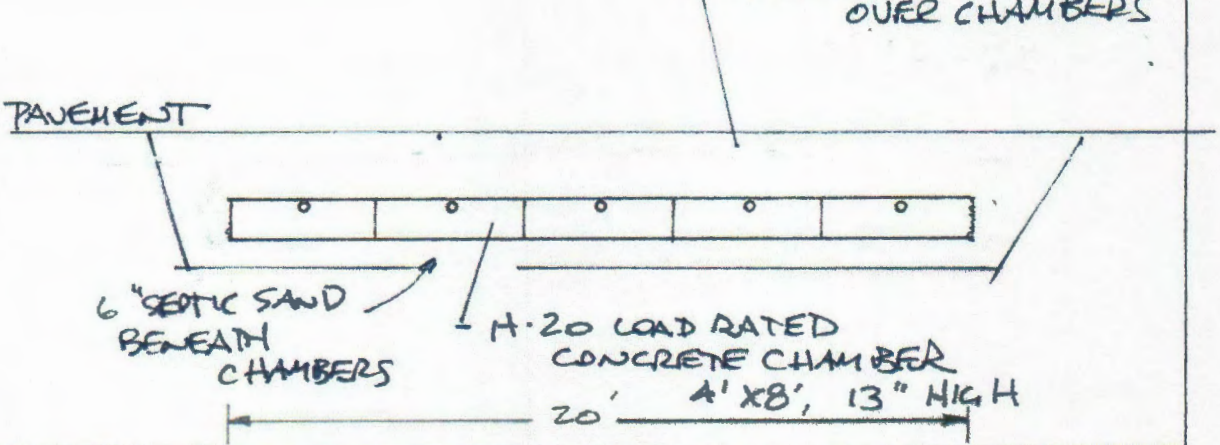
ELEVATION REFERENCE POINT

Location & Description: TO BE SET AT THE TIME OF CONSTRUCTION
Reference Elevation is: 0.0" or:

DISPOSAL FIELD CROSS SECTION

Scales:
Vertical: 1" = 5 ft.
Horizontal: 1" = 5 ft.

FOR H-20 RATING:



Site Evaluator Signature	SE #	Date
	262	3-9-22

BLDG 3

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept.Health & Human Services
Div of Environmental Health , 11 SHS
(207) 287-5672 Fax: (207) 287-4172

PROPERTY LOCATION

City, Town, or Plantation: NORTH YARMOUTH
Street or Road: 521 WALNUT HILL RD.
Subdivision, Lot #: BUILDING #3

OWNER/APPLICANT INFORMATION

Name (last, first, MI): 527 LLC ☒Owner ☐Applicant
Mailing Address of Owner/Applicant: 865 OAK HILL ROAD
NORTH YARMOUTH, 04097
Daytime Tel. #: 415-8723

OWNER OR APPLICANT STATEMENT
I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a Permit.

Signature of Owner or Applicant _____ Date _____

>> CAUTION: LPI APPROVAL REQUIRED <<

Town/City _____ Permit # _____
Date Permit Issued __/__/__ Fee: $_____ Double Fee Charged [ ]
_____ L.P.I. #_____
Local Plumbing Inspector Signature
▫ Owner ▫ Town ▫ State

The Subsurface Wastewater Disposal System shall not be installed until a Permit is issued by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.

Municipal Tax Map # _____ Lot # _____

CAUTION: INSPECTION REQUIRED
I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application. _____ (1st) date approved

Local Plumbing Inspector Signature _____ (2nd) date approved

PERMIT INFORMATION

TYPE OF APPLICATION
☒1. First Time System
☐2. Replacement System
Type replaced: _____
Year installed: _____
☐3. Expanded System
☐a. <25% Expansion
☐b. >25% Expansion
☐4. Experimental System
☐5. Seasonal Conversion

THIS APPLICATION REQUIRES
☐1. No Rule Variance
☐2. First Time System Variance
☐a. Local Plumbing Inspector Approval
☐b. State & Local Plumbing Inspector Approval
☐3. Replacement System Variance
☐a. Local Plumbing Inspector Approval
☐b. State & Local Plumbing Inspector Approval
☐4. Minimum Lot Size Variance
☐5. Seasonal Conversion Permit

DISPOSAL SYSTEM COMPONENTS
☒1. Complete Non-engineered System
☐2. Primitive System (graywater & alt. toilet)
☐3. Alternative Toilet, specify:_____
☐4. Non-engineered Treatment Tank (only)
☐5. Holding Tank, _____ gallons
☐6. Non-engineered Disposal Field (only)
☐7. Separated Laundry System
☐8. Complete Engineered System (2000 gpd or more)
☐9. Engineered Treatment Tank (only)
☐10. Engineered Disposal Field (only)
☒11. Pre-treatment, specify: OXY PRO OR EQUAL
☐12. Miscellaneous Components

SIZE OF PROPERTY
2.24 ☐SQ. FT. ☒ACRES

SHORELAND ZONING
☐Yes ☒No

DISPOSAL SYSTEM TO SERVE
☐1. Single Family Dwelling Unit, No. of Bedrooms: _____
☒2. Multiple Family Dwelling, No. of Units: 3-3BR UNITS
☐3. Other: _____ (specify)
Current Use ☐Seasonal ☐Year Round ☐Undeveloped

TYPE OF WATER SUPPLY
☐1. Drilled Well ☐2. Dug Well ☐3. Private
☒4. Public ☐5. Other

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)

TREATMENT TANK
☒1. Concrete
☒a. Regular
☐b. Low Profile
☐2. Plastic
☐3. Other: _____
CAPACITY: 2000 GAL.
1000 PLUS AERATOR

DISPOSAL FIELD TYPE & SIZE
☐1. Stone Bed ☐2. Stone Trench
☒3. Proprietary Device
☐a. cluster array ☒b. linear
☒c. regular load ☐d. H-20 load
☐4. Other: MOUNDBUSTER
SIZE: 598 sq. ft./lin. ft.

GARBAGE DISPOSAL UNIT
☒1. No ☐2. Yes ☐3. Maybe
If Yes or Maybe, specify one below:
☐a. multi-compartment tank
☐b. ___ tanks in series
☐c. increase in tank capacity
☐d. Filter on Tank Outlet

DESIGN FLOW
810 gallons per day
BASED ON:
☒1. Table 4A (dwelling unit(s))
☐2. Table 4C(other facilities)
SHOW CALCULATIONS for other facilites
☐3. Section 4G (meter readings)
ATTACH WATER METER DATA

SOIL DATA & DESIGN CLASS
PROFILE 5 CONDITION B
at Observation Hole # TP-2
Depth — "
of Most Limiting Soil Factor

DISPOSAL FIELD SIZING
☒1. Medium---2.6 sq. ft. / gpd
☐2. Medium---Large 3.3 sq. f.t / gpd
☐3. Large---4.1 sq. ft. / gpd
☐4. Extra Large---5.0 sq. ft. / gpd

EFFLUENT/EJECTOR PUMP
☐1. Not Required
☒2. May Be Required
☐3. Required
Specify only for engineered systems:
DOSE: _____ gallons

LATITUDE AND LONGITUDE
at center of disposal area
Lat 43 d 49 m 57 s 79
Lon. 70 d 15 m 08 s 19
if g.p.s, state margin of error: _____

SITE EVALUATOR STATEMENT

I certify that on 2-18-22 (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A CMR 241).

Site Evaluator Signature | SE # 262 | Date 3-9-22
MARK CENCI | Telephone Number 329-3524 | E-mail Address
Site Evaluator Name Printed

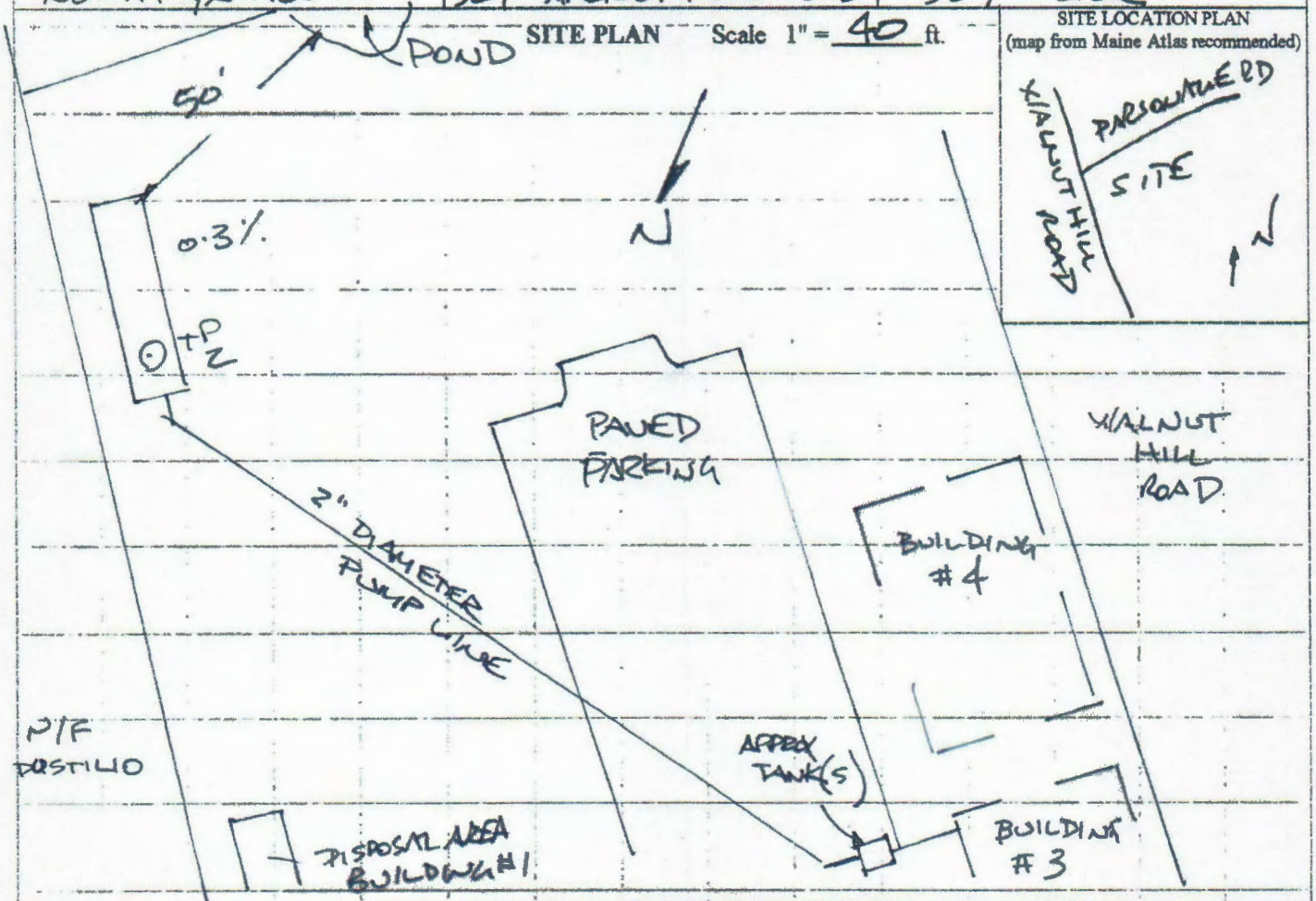
Note : Changes to or deviations from the design should be confirmed with the Site Evaluator.

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION BUILDING #3

Maine Department of Human Services
Division of Health Engineering, Station 10
(207) 287-5672 Fax: (207) 287-3165

Town, City, Plantation	Street, Road, Subdivision	Owner or Applicant Name
NORTH YARMOUTH	521 WALNUT HILL ROAD	527 LLC

SITE PLAN Scale 1" = 40 ft.



SITE LOCATION PLAN
(map from Maine Atlas recommended)

SOIL PROFILE DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)

Observation Hole # TP 2 ☒ Test Pit ☐ Boring

" Depth of organic horizon above mineral soil

Depth below mineral soil surface (inches)	Texture	Consistency	Color	Mottling
0	LOAMY SAND	FRIABLE	DARK BROWN	
12	LOAMY GRAVELLY SAND	COARSE	RED BROWN	NONE
36	MEDIUM SAND		GRAY BROWN	
48				

Soil Profile	Classification Condition	Slope Percent	Limiting Factor Depth	☐ Groundwater ☐ Restrictive Layer ☐ Bedrock ☐ Pit Depth
5	B	0.3	—	

Observation Hole # _____ ☐ Test Pit ☐ Boring

" Depth of organic horizon above mineral soil

Depth below mineral soil surface (inches)	Texture	Consistency	Color	Mottling
0				
6				
12				
18				
24				
30				
36				
42				
48				

Soil Profile	Classification Condition	Slope Percent	Limiting Factor Depth	☐ Groundwater ☐ Restrictive Layer ☐ Bedrock ☐ Pit Depth

Site Evaluator Signature | SE # 22 | Date 3-9-22

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

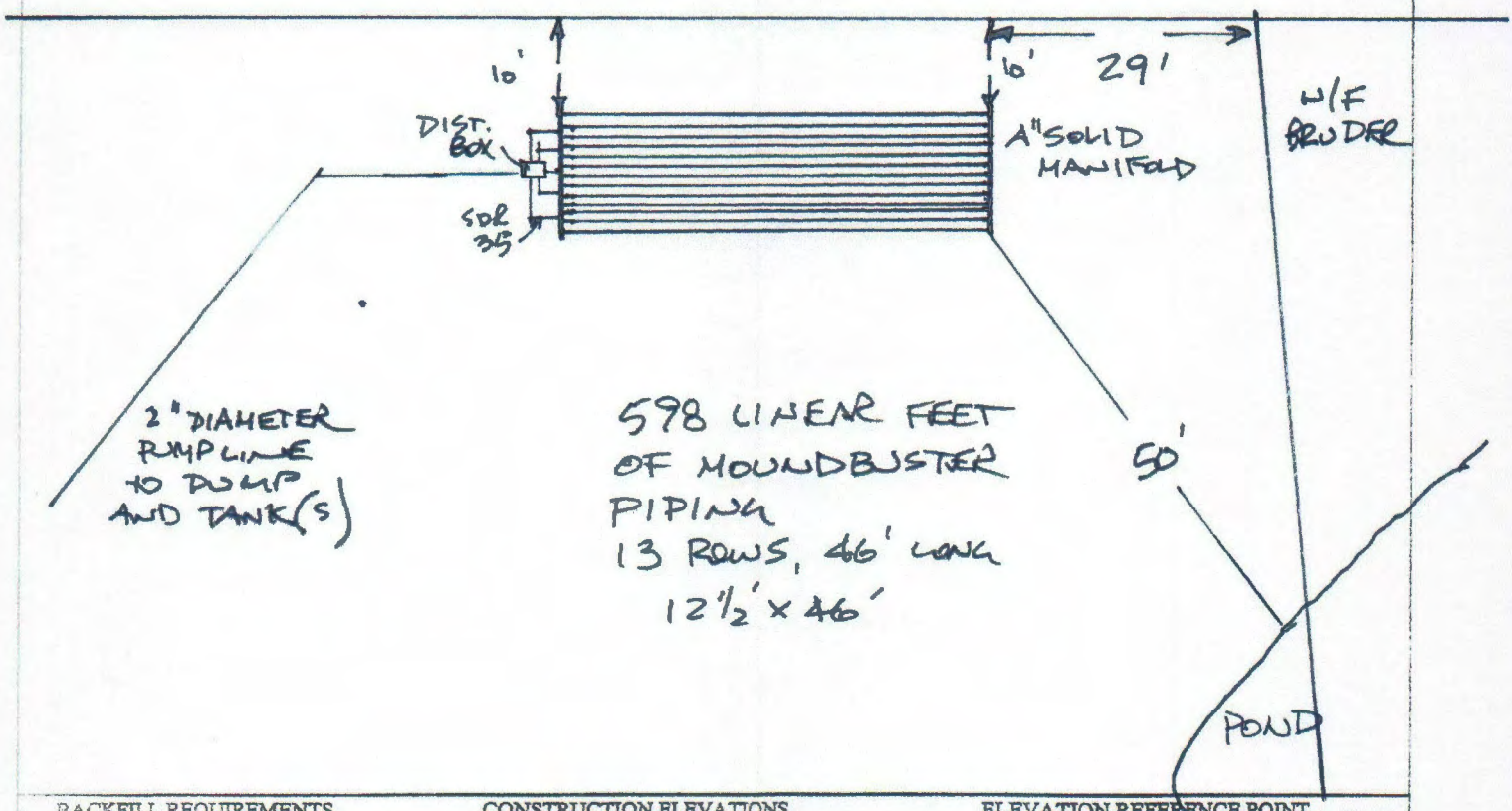
Maine Department of Human Services
Division of Health Engineering, Station 10
(207) 287-5672 Fax: (207) 287-3165

Town, City, Plantation	Street, Road, Subdivision	Building	Owner or Applicant Name
NORTH YARMOUTH	521 WALNUT HILL	3	S27 LLC

SUBSURFACE WASTEWATER DISPOSAL PLAN

N/F DOSTILIO

Scale: 1" = 20 ft



BACKFILL REQUIREMENTS: ABOVE GRADE

Depth of Backfill (upslope): 8

Depth of Backfill (downslope):

CONSTRUCTION ELEVATIONS

Finished Grade Elevation =

Top of: PIPES =

Bottom of: PIPES =

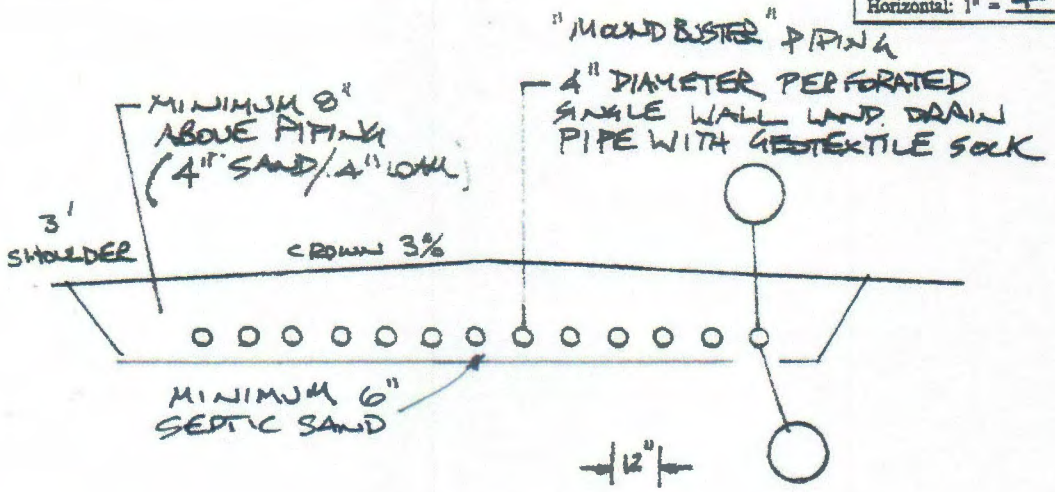
ELEVATION REFERENCE POINT

Location & Description: TO BE SET AT TIME OF CONSTRUCTION

Reference Elevation is 0.0" or: _____

DISPOSAL FIELD CROSS SECTION

Scales:
Verticle: 1" = 4'
Horizontal: 1" = 4'



Mark Dain — Site Evaluator Signature

262 — SE #

3-9-22 — Date

Bldg 4

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. Health & Human Services
Div of Environmental Health, 11 SHS
(207) 287-5672 Fax: (207) 287-4172

PROPERTY LOCATION

City, Town, or Plantation: NORTH YARMOUTH
Street or Road: 521 WALNUT HILL RD.
Subdivision, Lot #: BUILDING #4

OWNER/APPLICANT INFORMATION

Name (last, first, MI): 527 LLC ☒ Owner ☐ Applicant
Mailing Address of Owner/Applicant: 865 OAK HILL ROAD NORTH YARMOUTH, 04097
Daytime Tel. #: 415-8723

OWNER OR APPLICANT STATEMENT
I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a Permit.

Signature of Owner or Applicant _____ Date _____

>> CAUTION: LPI APPROVAL REQUIRED <<

Town/City _____ Permit # _____
Date Permit Issued __/__/__ Fee: $_____ Double Fee Charged [ ]
_____ L.P.I. # _____
Local Plumbing Inspector Signature
☐ Owner ☐ Town ☐ State

The Subsurface Wastewater Disposal System shall not be installed until a Permit is issued by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.

Municipal Tax Map # _____ Lot # _____

CAUTION: INSPECTION REQUIRED
I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application. _____ (1st) date approved

Local Plumbing Inspector Signature _____ (2nd) date approved

PERMIT INFORMATION

TYPE OF APPLICATION
☒ 1. First Time System
☐ 2. Replacement System
Type replaced: _____
Year installed: _____
☐ 3. Expanded System
☐ a. <25% Expansion
☐ b. >25% Expansion
☐ 4. Experimental System
☐ 5. Seasonal Conversion

THIS APPLICATION REQUIRES
☒ No Rule Variance
☐ 2. First Time System Variance
☐ a. Local Plumbing Inspector Approval
☐ b. State & Local Plumbing Inspector Approval
☐ 3. Replacement System Variance
☐ a. Local Plumbing Inspector Approval
☐ b. State & Local Plumbing Inspector Approval
☐ 4. Minimum Lot Size Variance
☐ 5. Seasonal Conversion Permit

DISPOSAL SYSTEM COMPONENTS
☒ 1. Complete Non-engineered System
☐ 2. Primitive System (graywater & alt. toilet)
☐ 3. Alternative Toilet, specify: _____
☐ 4. Non-engineered Treatment Tank (only)
☐ 5. Holding Tank, _____ gallons
☐ 6. Non-engineered Disposal Field (only)
☐ 7. Separated Laundry System
☐ 8. Complete Engineered System (2000 gpd or more)
☐ 9. Engineered Treatment Tank (only)
☐ 10. Engineered Disposal Field (only)
☒ 11. Pre-treatment, specify: OX/PRO OR EQUAL
☐ 12. Miscellaneous Components

SIZE OF PROPERTY
2.24 ☐ SQ. FT. ☒ ACRES

SHORELAND ZONING
☐ Yes ☒ No

DISPOSAL SYSTEM TO SERVE
☐ 1. Single Family Dwelling Unit, No. of Bedrooms: ____
☒ Multiple Family Dwelling, No. of Units: 3-3BR UNITS
☐ 3. Other: _____ (specify)
Current Use ☐ Seasonal ☐ Year Round ☐ Undeveloped

TYPE OF WATER SUPPLY
☐ 1. Drilled Well ☐ 2. Dug Well ☐ 3. Private
☒ Public ☐ 5. Other

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)

TREATMENT TANK
☐ 1. Concrete
☒ a. Regular
☐ b. Low Profile
☐ 2. Plastic
☐ 3. Other: _____
CAPACITY: 1000 GAL
PLUS AERATOR

DISPOSAL FIELD TYPE & SIZE
☐ 1. Stone Bed ☐ 2. Stone Trench
☐ 3. Proprietary Device
☐ a. cluster array ☐ c. Linear
☐ b. regular load ☐ d. H-20 load
☐ 4. Other: _____
SIZE: 2304 sq. ft. ☐ lin. ft.

GARBAGE DISPOSAL UNIT
☒ No ☐ 2. Yes ☐ 3. Maybe
If Yes or Maybe, specify one below:
☐ a. multi-compartment tank
☐ b. ___ tanks in series
☐ c. increase in tank capacity
☐ d. Filter on Tank Outlet

DESIGN FLOW
810 gallons per day
BASED ON:
☒ 1. Table 4A (dwelling unit(s))
☐ 2. Table 4C(other facilities)
SHOW CALCULATIONS for other facilites
☐ 3. Section 4G (meter readings)
ATTACH WATER METER DATA

SOIL DATA & DESIGN CLASS
PROFILE CONDITION
5 / B
at Observation Hole # TP-3
Depth — "
of Most Limiting Soil Factor

DISPOSAL FIELD SIZING
☒ Medium---2.6 sq. ft. / gpd
☐ 2. Medium---Large 3.3 sq. ft / gpd
☐ 3. Large---4.1 sq. ft. / gpd
☐ 4. Extra Large---5.0 sq. ft. / gpd

EFFLUENT/EJECTOR PUMP
☐ 1. Not Required
☒ May Be Required
☐ 3. Required
Specify only for engineered systems:
DOSE: _____ gallons

LATITUDE AND LONGITUDE
at center of disposal area
Lat. 43 d 49 m 57 s 79
Lon. 70 d 15 m 08 s 19
If g.p.s, state margin of error: _____

SITE EVALUATOR STATEMENT

I certify that on 2-18-22 (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A CMR 241).

Site Evaluator Signature _____ SE # 262 Date 3-9-22
Site Evaluator Name Printed MARK CENCI Telephone Number 329-3524 E-mail Address

Note : Changes to or deviations from the design should be confirmed with the Site Evaluator.

HHE-200 Rev. 08/2011

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

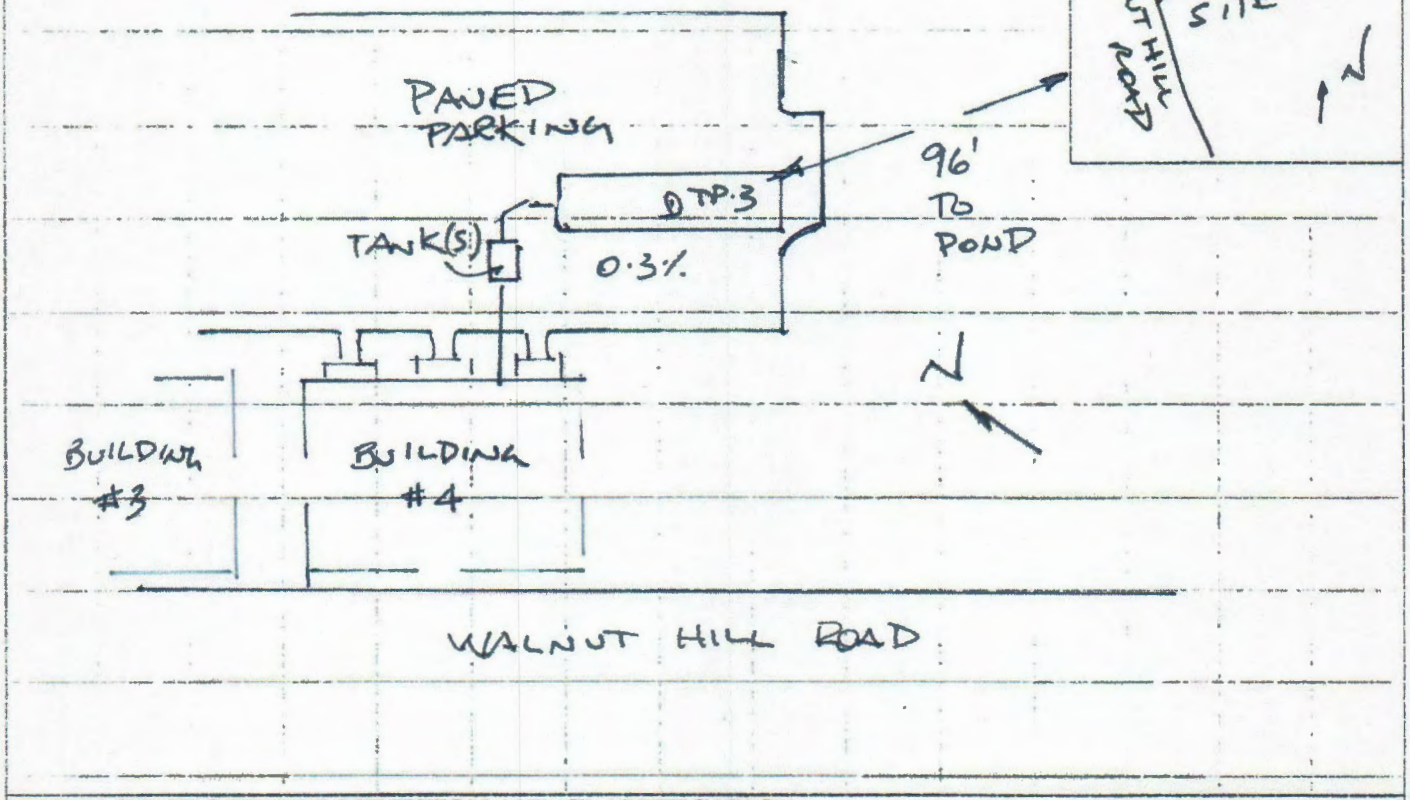
BUILDING 4

Maine Department of Human Services
Division of Health Engineering, Station 10
(207) 287-5672 Fax: (207) 287-3165

Town, City, Plantation	Street, Road, Subdivision	Owner or Applicant Name
NORTH YARMOUTH	521 WALNUT HILL ROAD	527 LLC

SITE PLAN

Scale 1" = 40 ft.



SITE LOCATION PLAN
(map from Maine Atlas recommended)

SOIL PROFILE DESCRIPTION AND CLASSIFICATION

(Location of Observation Holes Shown Above)

Observation Hole # TP-3 ☒ Test Pit ☐ Boring

" Depth of organic horizon above mineral soil

Depth below mineral soil surface (inches)	Texture	Consistency	Color	Mottling
0–6	STONY SAND/FILL			
6–12			MIXED	
12–18	↓	LOOSE		
18–24	DEMO DEBRIS			
24–30				NONE
30–36	LOAMY GRAVELLY SAND		RED BROWN	
36–42	TO ~60"			
42–48				

Soil Profile	Classification Condition	Slope Percent	Limiting Factor Depth	
5	B	0-3	—	☐ Groundwater ☐ Restrictive Layer ☐ Bedrock ☐ Pit Depth

Observation Hole # _____ ☐ Test Pit ☐ Boring

" Depth of organic horizon above mineral soil

Depth below mineral soil surface (inches)	Texture	Consistency	Color	Mottling
0–48				

Soil Profile	Classification Condition	Slope Percent	Limiting Factor Depth	
				☐ Groundwater ☐ Restrictive Layer ☐ Bedrock ☐ Pit Depth

Site Evaluator Signature — 262 SE # — 3-9-22 Date

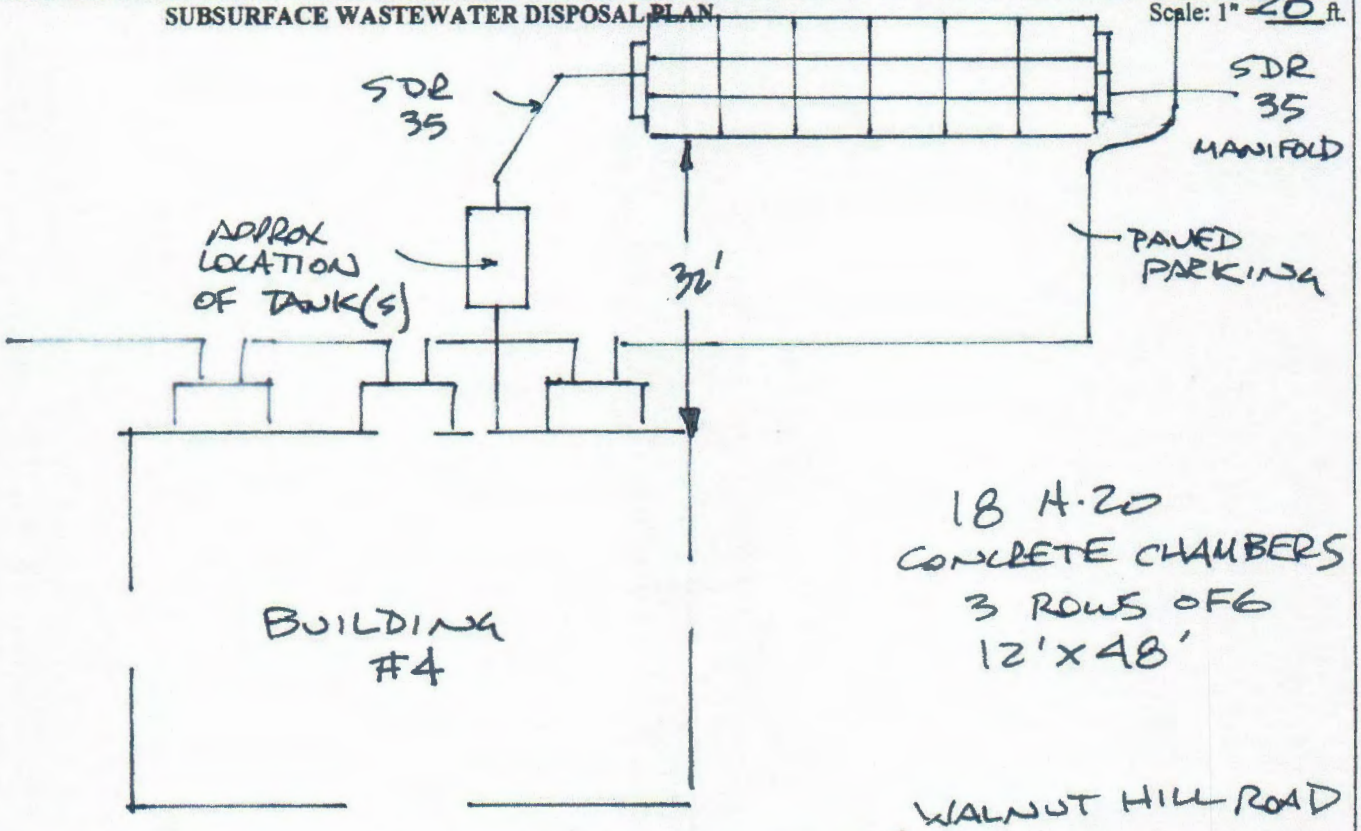
SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Department of Human Services
Division of Health Engineering, Station 10
(207) 287-5672 Fax: (207) 287-3165

Town, City, Plantation	Street, Road, Subdivision	Owner or Applicant Name
NORTH YARMOUTH	521 WALNUT HILL RD	527 LLC

SUBSURFACE WASTEWATER DISPOSAL PLAN

Scale: 1" = 20 ft.

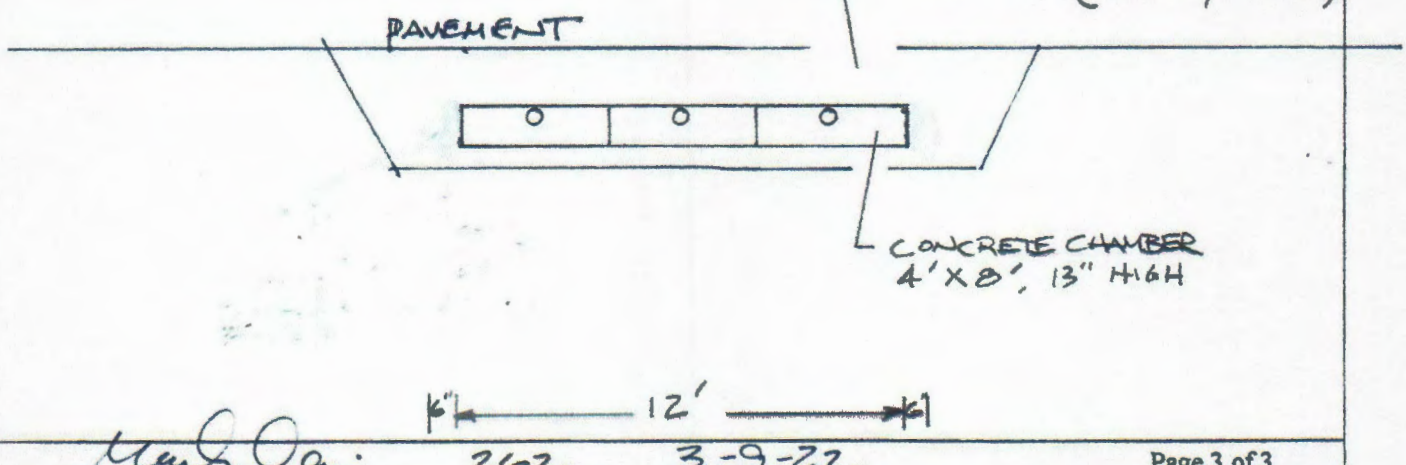


BACKFILL REQUIREMENTS		CONSTRUCTION ELEVATIONS		ELEVATION REFERENCE POINT
Depth of Backfill (upslope)	0 "	Finished Grade Elevation	"	Location & Description: TO BE SET AT THE TIME OF CONSTRUCTION
Depth of Backfill (downslope)	0 "	Top of Proprietary Device	"	Reference Elevation is: 0.0" or:
DEPTHS AT CROSS-SECTION (shown below)		Bottom of Disposal Field	"	

DISPOSAL FIELD CROSS SECTION

Scales:
Vertical: 1" = 5 ft.
Horizontal: 1" = 5 ft.

SCARIFY ALL GROUND TO BE FILLED. USE GRAVELLY COARSE SAND FILL.



Site Evaluator Signature	SE #	Date
	262	3-9-22

February 20, 2022

Laurie Bachelder
PO Box 6914
Portland, Maine 04130

Re: Proposed 4 Building Complex, Route 115, North Yarmouth

Dear Laurie,

Maine Capital Mortgage LLC owns a parcel of land at the intersection of Parsonage Road and Walnut Hill Road in North Yarmouth, Maine. They are proposing to construct 4 new 2-story Townhouse buildings. Each of the 2,400 sf buildings will have 3 units and be served with public water, underground electricity, and building sewer to Fugi septic tanks with appropriately sized septic disposal systems. Each unit will have 3 bedrooms The site will have a driveway entrance into the project from Parsonage Road. Approximately 25,800 sf of impervious area (buildings and pavement will be created. Stormwater will be directed into an existing manmade stormwater pond. The building roofs will be infiltrated into the ground through stone drip edges. Parking will be provided for 36 vehicles (3 stalls per unit). It is anticipated that this projects site infrastructure will be started in the Spring of 2022 once all approvals have been obtained.

The site is identified as Tax Map 7 Lot 62 of the Town's Tax Map. The parcel is approximately 2.24 acres in size and lies within the Village Center Zoning District and the Groundwater Protection Overlay Zone.

Existing Site Conditions

The existing site consists of undeveloped woods. Existing conditions have been taken from plans prepared by Wayne Wood Surveying blended with LIDAR contours and aerial photography of offsite areas. The topography of the proposed developed site is shown at a two foot contour interval. The slope of the property varies from 1% along the flatter areas to 25% along the banks of the steeper slopes of the property.

SJR ENGINEERING, INC.
STEVE@SJRENG.COM. 16 THURSTON DRIVE, MONMOUTH, ME. TEL: (207) 242-6248

Adjacent Areas

Adjacent areas and land uses are similar in nature to that being proposed (residential housing). Runoff from the property enters into an 18" diameter culvert (CMP) under Walnut Hill Road (AKA Route 115).

We have prepared stormwater quantity/quality narratives and calculations under separate cover. This narrative is to address erosion and sediment control during (and after) the construction of the project.

Soils

Soils delineation was taken from the medium intensity soils maps of the Cumberland County Soil Survey. I have overlaid the proposed developed site onto this map. Onsite soils are identified as being Hinckley loamy sand (hydro group "A", K= 0.17).

The K number is an erodibility index number which is a value assigned to the soil based on a no erosion potential of .10 to a high erosion potential of .64. An index number greater than .32 indicates a high level of erosion control measures must be taken in order to control erosion of this soil. The hydrological group rating is a rating system of the relative permeability of the soil with Group "A" being extremely permeable such as a beach sand, to Group "D" being slow draining such as a wetland area.

Erosion and Sediment Control Practices

This plan has been developed to provide a strategy for dealing with soil erosion during and after the construction of the project. This plan is based on the standards and specifications for erosion prevention as contained in the "2016 Best Management Practices Manual for Designers and Engineers" by the Soil and Water Conservation District and Maine DEP.

The Contractor shall limit construction disturbance to (ie disturbed unstable ground surface) to no more than 10 acres at any one time. An area considered

"opened" includes any area not stabilized with pavement, vegetation, mulch, mats, riprap, or gravel base on road/pavement locations. Open areas must have temporary erosion control installed within 14 days of disturbance (and prior to a ½" or more rain event). Areas opened within 100' of environmental resources (wetlands, stream) must have temporary erosion controls installed within 7 days. While the erosion control plan is comprehensive, additional measures may be necessary to control erosion from the site.

It shall be the Contractors responsibility to be aware of weather conditions at any time during the construction of the project, and to make appropriate erosion control decisions regarding the current condition of the site for the anticipated rainfall event. The site erosion controls must be able to prevent significant erosion during the expected event.

A pre-construction meeting with the Town, Owner, and Contractor shall be required to specifically discuss how the erosion control plan will be constructed and monitored.

Construction is expected to begin following obtaining permits for approval. It is expected that construction activities will be started in the Spring of 2022. Special attention should be given to the sections pertaining to Fall and Winter seeding, as the project may overlap into the winter construction season.

The principal erosion control devices will be silt fences (or erosion control mulch berms), hay mulch, stabilized construction entrance (eventually pavement), and seed to protect existing trees and drainage paths from the regions undergoing construction. Features such as vegetated ditches and erosion control material will be constructed as permanent erosion controls.

Prior to construction, the Contractor will install the stabilized construction entrance to minimize potential tracking of soils from the project construction onto paved public roads.

Structural Measures

1. Silt fencing/erosion control mix berm shall be installed along the contour and perpendicular to the predominant slope of the land just beyond the downslope limits of clearing and grubbing and/or just above any adjacent property line and streams where indicated on the plan to protect against construction related erosion. Installation shall be as shown on the plans or approved equal.

2. Riprap materials shall be placed in all inlets/outlets of pipe culverts. These aprons will prevent scour at stormwater outlets and minimize the potential for downstream erosion by reducing the velocity of concentrated stormwater flows. Average design size stone, D50, shall be as called out in the detail on the plans. Largest size of stone in the riprap is to be 1.5 times the D50 size.

3. Protective mats on steep slopes will aid in controlling erosion on critical areas during the establishment period of vegetation.

4. Naturally vegetated buffers and grass filter strips remove sediment and other pollutants from runoff by infiltration, deposition, absorption and decomposition. Filters are effective only if used to remove sediment from sheet (overland) flow.

5. Stabilized construction entrance is to be placed during construction, where traffic is entering or leaving construction site. This will reduce or eliminate the tracking or flowing of sediment onto public rights of way. An 8" thick layer of 3"-4" crushed stone 50' in length has been designed and shown on the plan. If soil tracking does occur, the Contractor shall vacuum sweep

the paved surface of the roadway by the close of business that day.

6. Temporary storm drain inlet protection (crushed stone, silt sack in the catch basin, waddles, etc.) will prevent sediment from entering the storm drain system during construction and also stop erosion at its' source. The idea is to provide a filtering device at the entrance to the storm drain system such that sediments become trapped.

7. A stone check dam is a filtering and energy dissipation device that limits the erosion process. These dams are 2"-3" crushed stone, 24" in height and are placed in drainage ditches as a temporary erosion control measure. The dams are to be removed prior to final acceptance of the project and riprap installed in its' place.

8. Soil stockpiles shall be hay mulched within 24 hours of stockpiling. The downslope side of the stockpile shall have a ring of erosion control barrier placed (silt fence, erosion control berm mix, waddles). Stockpiles are not to be located within 100' of environmental resources where possible.

9. Trench dewatering shall be pumped to filter bags prior to discharge from the site. They shall be located in upland areas greater than 100' from environmental resources.

10. Dust control will be addressed through the use of water trucks spraying the ground with water and/or applying calcium chloride to the surface to minimize dust creation.

Vegetative Measures

1. Topsoil on site shall be stockpiled at a stable location on site and covered with anchored mulch for temporary erosion control.

2. If any disturbed area of soil will be left bare for more than two weeks, or if construction is to be completed in phases over an extended duration, temporary seeding and mulching shall commence immediately following initial fine grading of site. **In sensitive areas (within 100' of wetlands) temporary mulch must applied within 7 days or prior to any storm event on all disturbed surfaces.** It shall be maintained and reseeded as necessary to insure good vegetative cover for the entire duration of construction. Seed will be selected from the following table, according to the time of the year.

Temporary Seed Mixture

Seed Type	lbs acre	lbs 1000 sf	Seeding Depth	Recommended Seeding Date
Winter Rye	112	2.6	1"-1.5"	8/15 - 10/1
Oats	80	1.8	1"-1.5"	4/1 - 7/1
or				and
Annual Ryegrass	40	0.9	.25"	8/15 - 9/15
Sudangrass	40	0.9	.5"-1"	5/15 - 8/15
Perennial Ryegrass	40	0.9	.25"	8/15 - 9/15
Temporary Mulch with or without dormant seeding				10/1 - 4/1

Mulch will be applied with seeding according to mulch table. If it is not possible to seed 45 days or more prior to frost, than dormant seeding and anchored mulch shall be applied. The application of mulch shall be such that the bare ground is barely visible.

3. Permanent seedings of grass cover shall be applied to all disturbed areas. All surface water control measures and final land grading in the vicinity should be completed. Ground preparation shall include tilling to a minimum 3" depth of fine but friable soil free of clods or stones. Permanent seed shall be selected according to its final destination. (See permanent seed mixture table)

4. All seeding will require mulch. Mulch provides several benefits: conserves moisture, prevents surface compaction, improves water quality, reduces runoff and erosion, controls weeds, and helps establish plant cover. Mulch shall be applied according to the following tables:

Permanent Seed Mix	Application Rate	
	Parks & Lawns lbs/1000 sf	Roadside Areas ditches, basins lbs/1000 sf
Kentucky Bluegrass	.46	
Creeping Red Fescue	.46	.46
Perennial Ryegrass	.11	
Redtop		.05
Tall Fescue		.46
Total Seed Rate	1.03	0.97

Note:

1. The contractor may wish to final seed from 10/1 to 11/1 with the same soil preparations, seeding mixes (doubling the seed rate) and mulching, but it may result in winter kill. Vegetation must be inspected and reseeded as necessary in the following spring to assure good vegetative cover.

2. No seeding shall be permitted on the snow.

3. Mulch shall be applied after all seed applications (see mulch) and in enough quantity to cover all bare spots such that bare ground is not visible. Any site grading performed in winter conditions shall be covered with mulch on a daily basis. Mulch rate shall be twice the normal rate.

4. Permanent seedings should be made 45 days or more prior to the first killing frost (Seed by September 15th) or as a temporary and dormant seeding after the first killing frost.

Maintenance

During the period of construction and/or until long term vegetation is established:

1. Seeded areas will be fertilized and reseeded as necessary to insure 90% vegetative establishment.

2. At a minimum, the hay bale/silt fence barriers shall be inspected and repaired once a week and immediately following all significant rainfall or snow melt. Sediment trapped behind these barriers shall be excavated when it reaches a depth of 6 six inches and regraded onto the site.

3. Diversion ditches and swales will be checked weekly and repaired when necessary until adequate vegetation is established.

4. The Owner and contractor shall be responsible for the construction and maintenance of all proposed temporary and permanent erosion control measures including vegetation. The contractor must install or construct all required improvements shown on the plans. The contractor must incorporate all other site improvements, restrictions, construction limits, drainage improvements, natural vegetated buffers, proposed landscaping, etc. The contractor must obtain a complete set of plans, reports, permit approvals, and documents pertaining to the project before beginning construction.

5. The contractor shall remove all temporary erosion control devices from the site after construction is complete and the site is permanently stabilized.

WINTER CONSTRUCTION (as applicable)

The winter construction period is from November 1 through April 15. If the construction site is not stabilized with pavement, a road gravel base, 75 % mature vegetation cover or riprap by November 15, then the site needs to be protected with over-winter stabilization. An area considered open is any area not stabilized with pavement; vegetation, mulching, erosion control mats, riprap or gravel base on a road. Winter excavation and earthwork shall be completed such that no more than 1 acres of the site is without stabilization at any one time. Limit the exposed area to those areas in which work is expected to be undertaken during the proceeding 15 days and that can be mulched in one day prior to any snow event.

All areas shall be considered to be denuded until the subbase gravel is installed in roadway areas or the areas of future loam and seed have been loamed, seeded and mulched. Hay and straw mulch rate shall be a minimum of 150 lbs./1,000 s.f. (3 tons/acre) and shall be properly anchored.

The contractor must install any added measures which may be necessary to control erosion/sedimentation from the site dependent upon the actual site and weather conditions.

Continuation of earthwork operations on additional areas shall not begin until the exposed soil surface on the area being worked has been stabilized, in order to minimize areas without erosion control protection.

SOIL STOCKPILES

Stockpiles of soil or subsoil will be mulched for over winter protection with hay or straw at twice the normal rate or at 150 lbs/1,000 s.f. (3 tons per acre) or with a four-inch (4") layer of erosion control mix. This will be done within 24 hours of stocking and re-established prior to any rainfall or snowfall. Any soil stockpile will not be placed (even covered with hay or straw) within 100 feet from any natural resources.

NATURAL RESOURCES PROTECTION

Any areas within 100 feet from any natural resources, if not stabilized with a minimum of 75 % mature vegetation catch, shall be mulched by December 1 and anchored with plastic netting or protected with erosion control mats. During winter construction, a double line of sediment barriers (i.e. silt fence backed with hay bales or erosion control mix) will be placed between any natural resource and the disturbed area.

Projects crossing a natural resource shall be protected a minimum distance of 100 feet on either side from the resource. Existing projects not stabilized by December 1 shall be protected with the second line of sediment barrier to ensure functionality during the spring thaw and rains.

SEDIMENT BARRIERS

During frozen conditions, sediment barriers shall consist of erosion control filter berms as frozen soil prevents the proper installation of hay bales and sediment silt fences.

MULCHING

All area shall be considered to be denuded until areas of future loam and seed have been loamed, seeded and mulched. Hay and straw mulch shall be applied at a rate of 150 lb. per 1.000 square feet or 3 tons/acre (twice the normal accepted rate of 75-lbs./1,000 s.f. or 1.5 tons/acre) and shall be properly anchored.

Mulch shall not be spread on top of snow. The snow will be removed down to a one-inch depth or less prior to application.

After each day of final grading, the area will be properly stabilized with anchored hay or straw or erosion control matting.

An area shall be considered to have been stabilized when exposed surfaces have been either mulched with straw or hay at a rate of 150 lb. per 1.000 square feet (3 tons/acre) and adequately anchored so that the ground surface is not visible through the mulch.

Between the dates of November 1 and April 15, all mulch shall be anchored by either peg line, mulch netting, asphalt emulsion chemical, tracking into the surface or wood cellulose fiber. The mulch cover is sufficient when the ground surface is not visible. After November 1, mulch and anchoring of all bare soil shall occur at the end of each final grading workday.

MULCHING ON SLOPES AND DITCHES

Slopes shall not be left exposed for any extended time of work suspension unless fully mulched and anchored with peg and netting or with erosion control blankets. Mulching shall be applied at a rate of 230 lbs/1,000 sf on all slopes greater than 8%.

Mulch netting shall be used to anchor mulch in all drainage ways with a slope greater than 3 % for slopes exposed to direct winds and for all other slopes greater that 8%.

Erosion control blankets shall be used in lieu of mulch in all drainage ways with slopes 8% or greater. Erosion control mix can be used to substitute erosion control blankets on all slopes except ditches.

SEEDING

Between the dates of October 15 and April 1, loam or seed will not be required. During periods of above freezing temperatures, finished areas shall be fine graded and either protected with mulch or temporarily seeded and mulched until such time as the final treatment can be applied. If the date is after November 1 and the exposed area has been loamed and final graded with a uniform surface, then the area may be dormant seeded at a rate of 3 times higher than specified for permanent seed and then mulched.

Dormant seeding may be selected to be placed prior to the placement of mulch and fabric netting anchored with staples. If dormant seeding is used for the site, all disturbed areas shall receive 4" of loam and seed at an application rate of 5lbs/1000 s.f. All areas seeded during the winter will be inspected in the spring for adequate catch. All areas insufficiently

vegetated (less than 75 % catch) shall be revegetated by removing the mulch and reseeding and remulching.

If dormant seeding is not used for the site, all disturbed areas shall be revegetated in the spring.

TRENCH DEWATERING AND TEMPORARY STREAM DIVERSION

Water from construction trench dewatering or temporary stream diversion will pass first through a filter bag or secondary containment structure (e.g. hay bale lined pool) prior to discharge. The discharge site shall be selected to avoid flooding, icing, and sediment discharges to a protected resource. In no case shall the filter bag or containment structure be located within 100 feet of a protected natural resource.

INSPECTION AND MONITORING

Maintenance measures shall be applied as needed during the entire construction season. After each rainfall, snow storm or period of thawing and runoff, the site contractor shall perform a visual inspection of all installed erosion control measures and perform repairs as needed to insure their continuous function. Following the temporary and/or final seeding and mulching, the contractor shall inspect and repair any damages and unvegetated spots. Established vegetative cover means a minimum of 85 to 90 % of areas vegetated with vigorous growth.

STANDARDS FOR TIMELY STABILIZATION OF CONSTRUCTION SITES DURING WINTER

1.Standard for the timely stabilization of ditches and channels: The contractor will construct and stabilize all stone-lined ditches and channels on the site by November 15. The contractor will construct and stabilize all grass-lined ditches and channels on the site by September 15. If the contractor fails to stabilize a ditch or channel to be grass-lined by September 15, then the contractor will take one of the following actions to stabilize the ditch for late fall and winter.

Install a sod lining in the ditch: The contractor will line the ditch with properly installed sod by October 1. Proper installation includes the contractor pinning the sod onto the soil with wire pins, rolling the sod to guarantee contact between the sod and underlying soil, and watering the sod to promote root growth into the disturbed soil.

Install a stone lining in the ditch: The contractor will line the ditch with stone riprap by November 15. The contractor will hire a registered professional engineer to determine the stone size and lining thickness needed to withstand the anticipated flow velocities and flow depths within the ditch. If necessary, the contractor will regrade the ditch prior to placing the stone lining so to prevent the stone lining, from reducing the ditch's cross-sectional area.

2. Standard for the timely stabilization of disturbed slopes: The contractor will construct and stabilize stone-covered slopes by November 15. The contractor will seed and mulch all slopes to be vegetated by September 15. The department will consider any area having a grade greater than 15% to be a slope. If the contractor fails to stabilize any slope to be vegetated by September 15, then the contractor will take one of the following actions to stabilize the slope for late fall and winter.

Stabilize the soil with temporary vegetation and erosion control mats: By October 1, the contractor will seed the disturbed slope with winter rye at a seeding rate of 3 pounds per 1000 square feet and apply erosion control mats (or mulch with jute netting) over the mulched slope. The contractor will monitor growth of the rye over the next 30 days. If the rye fails to grow at least three inches or cover at least 75% of the disturbed slope by November 1, then the contractor will cover the slope with an additional layer of winter mulch application, stone riprap, or erosion control mix as described below.

Stabilize the slope with sod: The contractor will stabilize the disturbed slope with properly installed sod by October 1. Proper

installation includes the contractor pinning the sod onto the slope with wire pins, rolling the sod to guarantee contact between the sod and underlying soil, and watering the sod to promote root growth into the disturbed soil. The contractor will not use late-season sod installation to stabilize slopes having a grade greater than 33%.

Stabilize the slope with erosion control mix: The contractor will place a six-inch layer of erosion control mix on the slope by November 15. Prior to placing the erosion control mix, the contractor will remove any snow accumulation on the disturbed slope. The contractor will not use erosion control mix to stabilize slopes having grades greater than 50% or having groundwater seeps on the slope face.

Stabilize the slope with stone riprap: The contractor will place a layer of stone riprap on the slope by November 15. The contractor will hire a registered professional engineer to determine the stone size needed for stability and to design a filter layer for underneath the riprap.

3. **Standard for the timely stabilization of disturbed soils:** By September 15 the contractor will seed and mulch all disturbed soils on areas having a slope less than 15%. If the contractor fails to stabilize these soils by this date, then the contractor will take one of the following actions to stabilize the soil for late fall and winter:

Stabilize the soil with temporary vegetation: By October 1, the contractor will seed the disturbed soil with winter rye at a seeding rate of 3 pounds per 1000 square feet, lightly mulch the seeded soil with hay or straw at 75 pounds per 1000 square feet, and anchor the mulch with plastic or jute netting. The contractor will monitor growth of the rye over the next 30 days. If the rye fails grow at least three inches or cover at least 75% of the disturbed soil before November 15, then the contractor will mulch the area for over-winter protection as described in one of the items below of this standard.

Stabilize the soil with sod: The contractor will stabilize the disturbed soil with properly installed sod by October 1. Proper installation includes the contractor pinning the sod onto the soil with wire pins, rolling the sod to guarantee contact between the sod and underlying soil, and watering the sod to promote root growth into the disturbed soil.

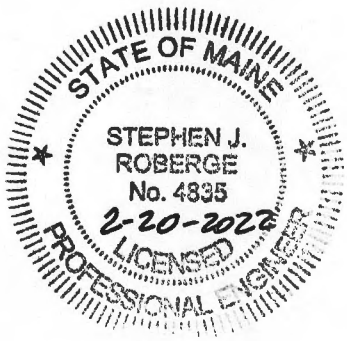
Stabilize the soil with mulch: By November 15, the contractor will mulch the disturbed soil by spreading hay or straw at a rate of at least 150 pounds per 1000 square feet on the area so that no soil is visible through the mulch. Prior to applying the mulch, the contractor will remove any snow accumulation on the disturbed area. Immediately after applying the mulch, the contractor will anchor the mulch with plastic or jute netting to prevent wind from moving the mulch off the disturbed soil.

Please feel free to contact me if you have any questions concerning the use of these measures. We feel that these measures if properly constructed and maintained will be sufficient to control erosion on your project without any adverse impact to the area. Thank you for involving this firm on your project.

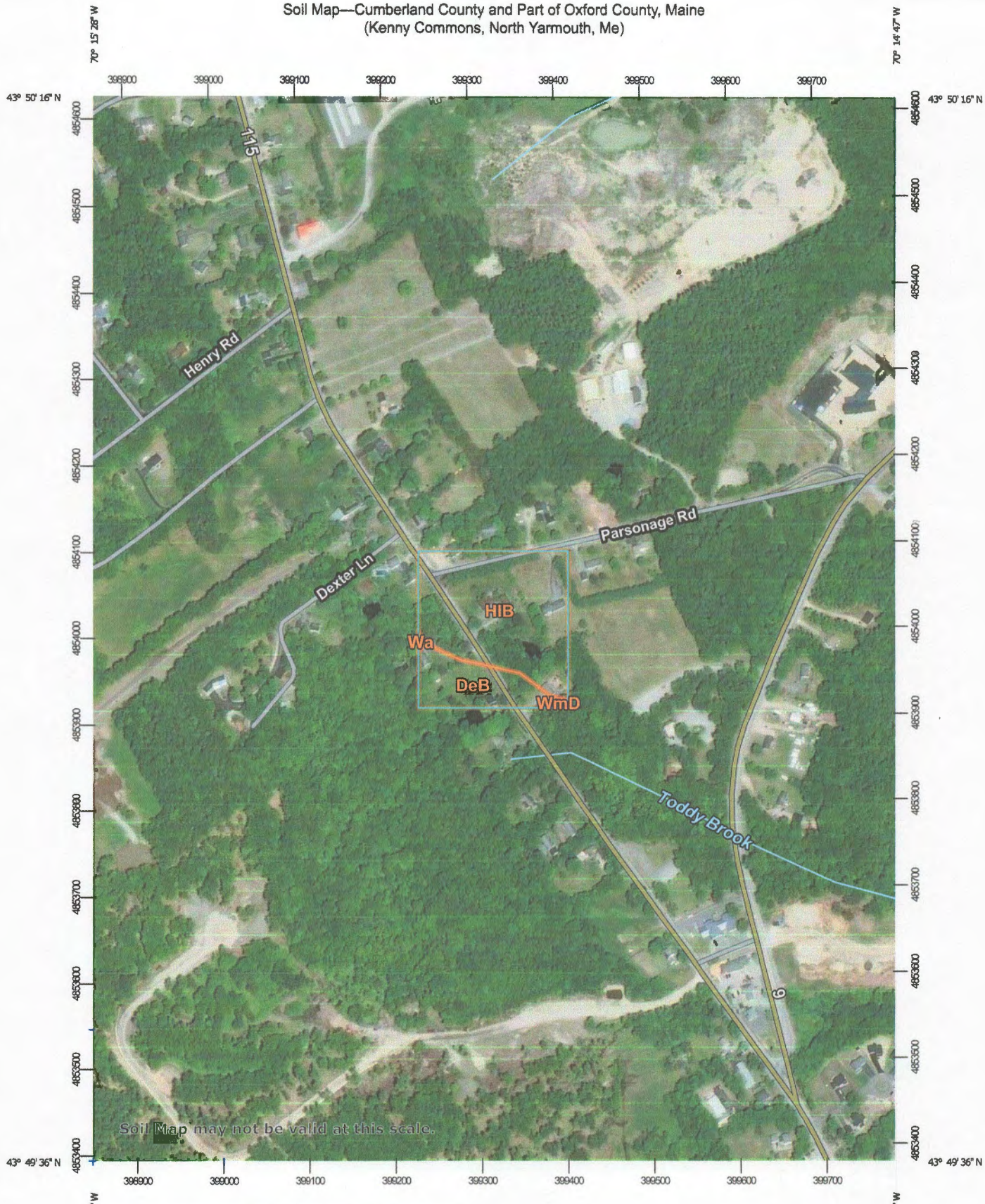
Sincerely yours,

Stephen Roberge

Stephen Roberge, PE
for SJR Engineering Inc.



Soil Map—Cumberland County and Part of Oxford County, Maine
(Kenny Commons, North Yarmouth, Me)



Map Scale: 1:6,000 if printed on A portrait (8.5" x 11") sheet.

Meters
0 50 100 200 300

Feet
0 250 500 1000 1500

N

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 19N WGS84

MAP LEGEND

Area of Interest (AOI)
- Area of Interest (AOI)

Soils
- Soil Map Unit Polygons
- Soil Map Unit Lines
- Soil Map Unit Points

Special Point Features
- Blowout
- Borrow Pit
- Clay Spot
- Closed Depression
- Gravel Pit
- Gravelly Spot
- Landfill
- Lava Flow
- Marsh or swamp
- Mine or Quarry
- Miscellaneous Water
- Perennial Water
- Rock Outcrop
- Saline Spot
- Sandy Spot
- Severely Eroded Spot
- Sinkhole
- Slide or Slip
- Sodic Spot
- Spoil Area
- Stony Spot
- Very Stony Spot
- Wet Spot
- Other
- Special Line Features

Water Features
- Streams and Canals

Transportation
- Rails
- Interstate Highways
- US Routes
- Major Roads
- Local Roads

Background
- Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Cumberland County and Part of Oxford County, Maine
Survey Area Data: Version 18, Aug 31, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jun 7, 2019—Jul 2, 2019

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
DeB	Deerfield loamy fine sand, 3 to 8 percent slopes	1.9	23.6%
HIB	Hinckley loamy sand, 3 to 8 percent slopes	5.9	75.3%
Wa	Walpole fine sandy loam	0.0	0.3%
WmD	Windsor loamy sand, 15 to 35 percent slopes	0.1	0.8%
Totals for Area of Interest		7.8	**100.0%**

Kenny Commons

Inspection and Maintenance Plan

Date: February 2022

The Earthwork Contractor will be responsible for inspection, maintenance, and operations of the stormwater system during construction. Upon approval of the final construction by the Owner, the Owner will be responsible for the inspection, maintenance, and operation of the stormwater system. We have attached the "Maine ESC BMPs (10/2016)" at the end of the narrative that more fully identifies the Party's E+S responsibilities.

INSPECTIONS – by Contractor During Construction

Areas of proposed construction that will require inspections/maintenance of the stormwater system include the following:

- **Ditches, Swales, or other open stormwater channels**
  - Embankment inspection and maintenance
  - Channel inspection
  - Sediment removal and disposal
- **Culverts, catch basins, stormwater control structures**
  - Structure inspection and maintenance
  - Inlet and Outlet inspection
  - Debris removal and disposal
- **Buffers/Landscaping**
  - Landscaping inspection and maintenance
  - Landscaping turf inspection and maintenance
  - Debris removal and disposal
- **General Site Erosion Controls**
  - Sediment barriers (silt fence, erosion control berm material)
  - Stabilized Construction Exit

Riprap slopes

Level Lip Spreaders

Erosion Control Blankets

Temporary/Permanent Seed and Mulch

Hay mulch

There may be other areas of inspection/maintenance specific to the project during construction that may not be identified above. The Contractor is directed to utilize the 2014 Revision to the Maine Erosion and Sediment Control Field Guide for Contractors.

The Contractors representative will inspect the general erosion control items identified above including the drainage system, swales, channels, and stormwater structures to determine if a soil blockage or impaired capacity to pass flow exists. During construction, the inspection will be done prior to and within 24 hours after a storm event greater than ½" in 24 hours. A record of inspections and maintenance or corrective measures shall be kept by the Contractor.

MAINTENANCE AND CLEANING

The earthwork contractor will regularly inspect for sediment accumulation, obstructions, debris, and other potential causes for operational difficulty in the conveyance of stormwater including the roof drip edge system. Immediate action shall be taken to remedy detrimental obstructions.

The Contractor will regularly inspect the infiltration rate of the soil after every major storm event (1/2" rain event in 24 hours) in the first few months to ensure proper function. Ongoing maintenance will be required as necessary.

All sand, salt, etc. accumulated when sweeping the paved parking, access road, and snow stockpile areas, shall be trucked off-site for disposal.

RECORD KEEPING

The Contractor will maintain inspection records, with recordings of condition of items identified above and annotation of substantial precipitation events or mitigating circumstances in the intervening time for trends to develop for anticipated future preventive maintenance schedule.

INSPECTIONS - by Owner Post-Construction

Areas of the completed construction that will require ongoing inspections and maintenance of the stormwater system include the following:

- **Ditches, Swales, or other open stormwater channels**
  - Embankment inspection and maintenance
  - Channel inspection
  - Sediment removal and disposal
- **Culverts, catch basins, stormwater control structures**
  - Structure inspection and maintenance
  - Inlet and Outlet inspection
  - Debris removal and disposal
- **Buffers/Landscaping**
  - Landscaping inspection and maintenance
  - Landscaping turf inspection and maintenance
  - Debris removal and disposal
- **General Site Erosion Controls**
  - Riprap slopes
  - Level Lip Spreaders
  - Permanent Seed and Mulch

There may be other areas of inspection/maintenance specific to the project identified after construction that may not be identified above. The Owner is directed to utilize the 2014 Revision to the Maine Erosion and Sediment Control Field Guide for Contractors for these situations.

The Owners representative will inspect the general erosion control items identified above including the drainage system, swales, channels, and stormwater structures to determine if a soil blockage or impaired capacity to pass flow exists. Post construction, the inspection will be done within 24 hours after a storm event greater than ½" in 24 hours. General post-construction inspections will be performed on a

monthly basis from March to November, and quarterly during the remainder of the year. A record of inspections and maintenance or corrective measures shall be kept by the owner.

MAINTENANCE AND CLEANING

The Owner will regularly inspect for sediment accumulation, obstructions, debris, and other potential causes for operational difficulty in the conveyance and detention system. Immediate action shall be taken to remedy detrimental obstructions.

The Owner will regularly inspect the infiltration rate of the soils and pond after every major storm event (1/2" rain event in 24 hours) in the first few months to ensure proper function.

A mandatory scheduled maintenance will be performed every four weeks for a period of one hundred and twenty (120) days and will begin after satisfactory completion and acceptance of project construction. Ongoing maintenance may be required as necessary.

All sand, salt, etc. accumulated when vacuuming the paved parking, access road, and snow stockpile areas, shall be trucked off-site for disposal.

RECORD KEEPING

The Owner will maintain inspection records, with recordings of condition of items identified above and annotation of substantial precipitation events or mitigating circumstances in the intervening time for trends to develop the future preventive maintenance schedule.

Maintenance Log Sheet

Inspector Name	Date	Maintenance Task Completed
Soil Filter Pond B		
Pond Embankment		
Pond Vegetation		
Pond Inlet		
Pond Outlet		
Pond Outlet Control Structure		
Emergency Spillway		
Pond Volume		
Soil Filter Media		
Other		
Soil Filter Pond D		
Pond Embankment		
Pond Vegetation		
Pond Inlet		
Pond Outlet		
Pond Outlet Control Structure		
Emergency Spillway		
Pond Volume		
Soil Filter Media		
Other		
CB1		
CB2		
CB3		
CB4		
CB5		
CB Inlet Protection		
All Ditches		
Pavement/Grass interface		
Pavement debris/sand		
Stabilized Construction Exit		
Landscaping Buffers		
Level Spreaders		
Stone Check Dams		
ESC devices installed/removed		

Winter Construction ESC		
Mulch		
90% Vegetation		
Plunge Pools		
Roof Drip Edge		
Snowplow sand/ground surface		

Housekeeping

These performance standards apply to all projects.

1. Spill prevention. Controls must be used to prevent pollutants from being discharged from materials on site, including storage practices to minimize exposure of the materials to stormwater, and appropriate spill prevention, containment, and response planning and implementation.

2. Groundwater protection. During construction, liquid petroleum products and other hazardous materials with the potential to contaminate groundwater may not be stored or handled in areas of the site draining to an infiltration area. An "infiltration area" is any area of the site that by design or as a result of soils, topography and other relevant factors accumulates runoff that infiltrates into the soil. Dikes, berms, sumps, and other forms of secondary containment that prevent discharge to groundwater may be used to isolate portions of the site for the purposes of storage and handling of these materials.

NOTE: Lack of appropriate pollutant removal best management practices (BMPs) may result in violations of the groundwater quality standard established by 38 M.R.S.A. §465-C(1).

3. Fugitive sediment and dust. Actions must be taken to ensure that activities do not result in noticeable erosion of soils or fugitive dust emissions during or after construction. Oil may not be used for dust control.

NOTE: An example of the use of BMPs to control fugitive sediment and dust is as follows: Operations during wet months that experience tracking of mud off the site onto public roads should provide for sweeping of road areas at least once a week and prior to significant storm events. Where chronic mud tracking occurs, a stabilized construction entrance should be provided. Operations during dry months, that experience fugitive dust problems, should wet down the access roads once a week or more frequently as needed.

NOTE: Dewatering a stream without a permit from the department violates state water quality standards and the Natural Resources Protection Act.

4. Debris and other materials. Litter, construction debris, and chemicals exposed to stormwater must be prevented from becoming a pollutant source.

NOTE: To prevent these materials from becoming a source of pollutants, construction and post-construction activities related to a project may be required to comply with applicable provision of rules related to solid, universal, and hazardous waste, including, but not limited to, the Maine solid waste and hazardous waste management rules; Maine hazardous waste management rules; Maine oil conveyance and storage rules; and Maine pesticide requirements.

5. Trench or foundation de-watering. Trench de-watering is the removal of water from trenches, foundations, coffer dams, ponds, and other areas within the construction area that retain water after excavation. In most cases the collected water is heavily silted and hinders correct and safe construction practices. The collected water must be removed from the ponded area, either through gravity or pumping, and must be spread through natural wooded buffers or removed to areas that are specifically designed to collect the maximum amount of sediment possible, like a cofferdam sedimentation basin (or pumping water through a sediment dirtbag). Avoid allowing the water to flow over disturbed areas of the site. Equivalent measures may be taken if approved by the department.

NOTE: For guidance on de-watering controls, consult the latest edition of the Maine Erosion and Sediment Control BMPs", Maine Department of Environmental Protection."

6. Non-stormwater discharges. Identify and prevent contamination by non-stormwater discharges.

7. Additional requirements. Additional requirements may be applied on a site-specific basis.

Maintenance Plan & Best Management Practices

Site Inspection & Maintenance During Construction: Weekly inspections, as well as routine inspections following rainfalls, shall be conducted by the General Site Contractor of all temporary and permanent erosion control devices until final acceptance of the project (90% grass catch) by the Owner. Necessary repairs shall be made to correct undermining or deterioration. Final acceptance shall include a site inspection to verify the stability of all disturbed areas and slopes. Until final inspection, all erosion and sedimentation control measures shall immediately be cleaned, and repaired by the General Contractor as required. Disposal of all temporary erosion control devices shall be the responsibility of the General Contractor.

It is recommended that the Owner hire the services of the design engineer, or other qualified individual, to provide compliance inspections (during active construction) relative to implementation of the Stormwater and Erosion Control Plans. Such inspections should be limited to once a week or as necessary based on weather patterns, and be reportable to the Owner for record keeping purposes.

Maintenance Agreement: Short-term sedimentation maintenance shall be the responsibility of the Contractor to clean out all swales, structures, and soil filter basins prior to turning project over to the Owners. After project turnover, the Owner shall be the responsible party for inspecting and maintaining proper functioning of all stormwater conveyance practices and measures. The Owner may assign an environmental manager to carry out specific tasks identified below.

Structures and Other Measures

Stabilized Construction Entrance: A stabilized construction entrance is required at all locations that utilize vehicle access points from the project onto public or private paved roadways during construction operations. Tracked sediment onto public road systems shall be vacuum swept prior to the next significant rain event (1/2" rain/24 hours). Sweeping of sediment into ditches, storm drains or waterways is not acceptable

Winter Sanding/Sweeping: Post construction, paved parking lots, streets, and access driveways shall be vacuum swept a minimum of twice per year. The first shall take place in the Fall. The second vacuum sweeping shall take place after winter sanding operations terminate, prior to May 1.

Ditches/Swales: Open swales and ditches need to be inspected on a monthly basis and after a major rainfall event to assure that debris or sediments do not reduce the

effectiveness of the system. Debris needs to be removed at that time. Any sign of erosion or blockage shall be immediately repaired to assure a vigorous growth to vegetation for the stability of the structure and proper functioning.

Vegetated Ditches: Vegetative should be mowed at least monthly during the growing season to a height of not less than 3 inches. Larger brush or trees must not be allowed to become established in the channel. Unless finely mulched, clippings should be removed to minimize the amount of organic material accumulating in the swales. Any areas where the vegetation fails will be subject to erosion and should be repaired and revegetated. Sediment should be removed when the ditch cross section is 33% full of sediment.

Stone Lined Channels: Where stone is displaced from constructed riprap areas, it should be replaced and chinked to assure stability. With time, riprap may need to be added. Vegetation growing through riprap should be removed on a yearly schedule.

Stone Check Dams: Observe the center of the check dam to make sure it is lower that the edges. Sediment trapped behind the dams should be removed once it reaches half the height of the dam. Check to insure erosion around the sides of the dam has not occurred.

Level Lip Spreaders: Sediment/debris buildup should be removed when the pool volume is reduced by 33%. Observation of the front side of the level spreader is neessary to determine erosion along the existing vegetation/spreader interface.

Culverts: If sediment in culverts or piped drainage systems exceeds 20% of the diameter of the pipe, it should be removed. This may be accomplished by mechanical means or hydraulic flushing. Care should be taken to prevent the release of the sediments into the downstream receiving areas. All. pipes should be inspected on an annual basis.

Trench Dewatering: Water is to be pumped to a soil filter bag prior to discharge from the area. Placement of the filter bag is to be greater than 100' from an environmental resource. Careful monitoring of the discharge water must be taken to insure sediment laden water does not enter downslope resources.

Catch Basin/Field Inlets: All catch basins, and any other field inlets throughout the collection system, need to be inspected on a monthly basis to assure that the inlet entry point is clear of debris and will allow the intended water entry. In many cases, a silt sack has been installed within the rim of the CB and should be emptied/replaced after each storm event in a disturbed soil area as necessary. On a yearly basis, or when sediment reaches two thirds of the total sump volume, catch basins will be vacuumed and cleaned of all accumulated sediment. Work must be done by a vacuum truck. The removed material must be disposed of in accordance with State of Maine Solid Waste Disposal Rules.

Soil Filter, Infiltration, and Wet Ponds

Clearing Inlets and Outlets of Ponds (where applicable): The inlet and outlet of a pond shall be checked periodically to ensure that flow structures are not blocked by debris. All ditches and pipes connecting ponds in series shall be checked for debris that may obstruct flow. Inspections shall be conducted monthly during wet weather conditions from March to November.

Basin Inspections: Ponds shall be inspected on an annual basis for erosion, destabilization of side slopes, embankment settling, and other signs of structural failure. Brief inspections shall be conducted following major storms. Corrective action shall be taken immediately upon identification of problem area. Records shall be kept of all maintenance operations at jobsite to help plan future work and identify problem areas.

Maintenance Dredging: Wet ponds typically lose 1% of their volume annually due to sediment accumulation. Dredging is required when accumulated volume loss reaches 15% or approximately every 15-20 years.

Drainage Area Inspections: The owners' environmental manager shall inspect the basin's drainage area semi-annually for eroding soil and other sediment sources. Repair eroding areas using appropriate erosion control BMP's immediately. Control sediment sources, such as stockpiles of winter sand, by removing them from the basin's drainage area or surrounding them with sediment control BMP's.

Mowing: A basin with a turf lining shall have its side-slopes and top of berm mowed at least twice a year to prevent woody growth. Clippings shall be removed to minimize the amount of organic material accumulating in the basin.

Sediment Removal: Remove accumulated debris and sediments from the sediment forebays, inlet plunge pools, and pre-treatment BMP's at least annually.

Snow Storage: The ponds are not to be used for snow storage. Snow storage shall be sited so that snowmelt flows to a pre-treatment BMP before reaching the infiltration basin.

Pedestrian Access: Limit access to ponds to passive recreational use.

Vehicle Access: Prohibit vehicle access to all ponds, except that authorized for maintenance.

Mark Cenci
Geologic, Inc.

CERTIFIED GEOLOGIST/LICENSED SITE EVALUATOR

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Wetland Investigation and Soil Report
Maine Route 115 and Parsonage Road Property
North Yarmouth

Date: May 26, 2021

To: Jason Vafiades
Atlantic Resource Consultants
541 US Route 1
Freeport, ME 04032

Wetlands Summary:

The pond on the property is a man-made feature, with steep cut banks and no associated wetlands. The pond is not a vernal pool. The pond could be filled as it is not a protected feature. Guidance from DEP is recommended, as it is part of a larger drainage system. There is a stoned-up outfall at the easterly end of the pond, which only flows when the pond is over-filled. The drainage which flows onto the property through a culvert beneath Rt. 115 is a DEP Jurisdictional Stream, until it empties into the pond. The drainage is incised and there are very small areas of wetlands associated with it. The DEP requires a 75-foot buffer of no-disturbance from the stream channel, which can be reduced to 25 feet with a Permit-By-Rule.

Soil and Wastewater Summary:

Soils are consistently coarse textured and well drained on the property. The wastewater sizing is Medium, according to the Rules. The property is in the Groundwater Protection Overlay District, and most likely aerating pre-treatment septic systems will be required to achieve desired development density. The property and abutting properties are served by individual water wells, and these should be located on a plan to allow for sufficient setbacks to wastewater disposal systems. A Nitrate-nitrogen impact study will most likely be required. The placement of wastewater disposal systems on the property will need to be considered to allow for groundwater dilution. Systems may need to be located 100 feet from the easterly property line.

Date of Investigation: May 25, 2021

Location of the Investigation:

The property investigated is located on the southeasterly corner of Maine Route 115 and Parsonage Road. It is a 2.24-acre lot.

Purposes of the Investigation:

The purposes of the wetland investigation are to identify and describe wetlands on the property according to definitions in the Maine Natural Resources Protection Act (the *NRPA*) to determine if specific alteration and filling permits are required and if there are any setbacks required under the *NRPA*, to determine the Maine DEP jurisdictional status of any streams and to identify any potential vernal pools.

The purpose of the soil investigation is to identify, describe and locate representative suitable areas for wastewater disposal, according to the Maine Subsurface Wastewater Disposal Rules (the *Rules*), and provide sizing and setback information for planning purposes.

Methods of the Investigation:

A literature search and on-site investigations were made. The investigations were performed following the guidelines described in the 1987 Corps of Engineers Delineation Manual and the 2009 Interim Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region. This procedure uses a multiple parameter approach that requires the presence of three primary components for an area to be identified as a wetland: 1) hydric soils; 2) predominance of hydrophytic vegetation; and 3) wetland hydrology.

The *Boundary and Existing Conditions Survey Made for Atlantic Resource Consultants*, by Horizons Engineering dated 5/6/21 was used in the field during the investigation. A soil test pit dug by hand with a shovel and soil probe was done for the on-site wastewater disposal investigation.

Site Location and Description:

The property is located on a broad terrace easterly of Walnut Hill. Drainage is southeasterly to Toddy Brook (see Figure 1), which is a perennial stream located off the property.

The terrace is uniformly underlain by coarse textured sands and gravels, depicted by the Maine Geological Survey as late-glacial fans and near shore deposits. These deposits were made in shallow ocean water, near the source of the material. The Town gravel pit on Parsonage Road is a good example of the deposit

The property is depicted as an association of Hinckley loamy sand and Deerfield loamy fine sand on the *National Cooperative Soil Survey* (see Figure 2).

Results of the Wetlands Investigation:

There is a drainage flowing onto the property from a culvert beneath Route 115. This drainage is a Jurisdictional Stream of the Maine DEP, until it empties into the pond. The stream is incised and there are very little associated wetlands.

The DEP requires a 75-foot buffer of no-disturbance from the channel. This can be reduced to 25 feet with a Permit-By-Rule.

The pond is a man-made feature, is not a vernal pool and can be filled. There are no wetlands associated with the pond, as it has steep, cut banks. There is an outfall at the southeasterly end of the pond, which only flows when the pond is full. Guidance from the DEP regarding filling is recommended.

Results of the Soil and Wastewater Disposal Investigation:

A soil test pit was dug to verify the mapping. The soil is a coarse textured, gravelly, loamy sand. The entire property is rated Medium for wastewater disposal sizing, or 234 square feet of stone bed per bedroom.

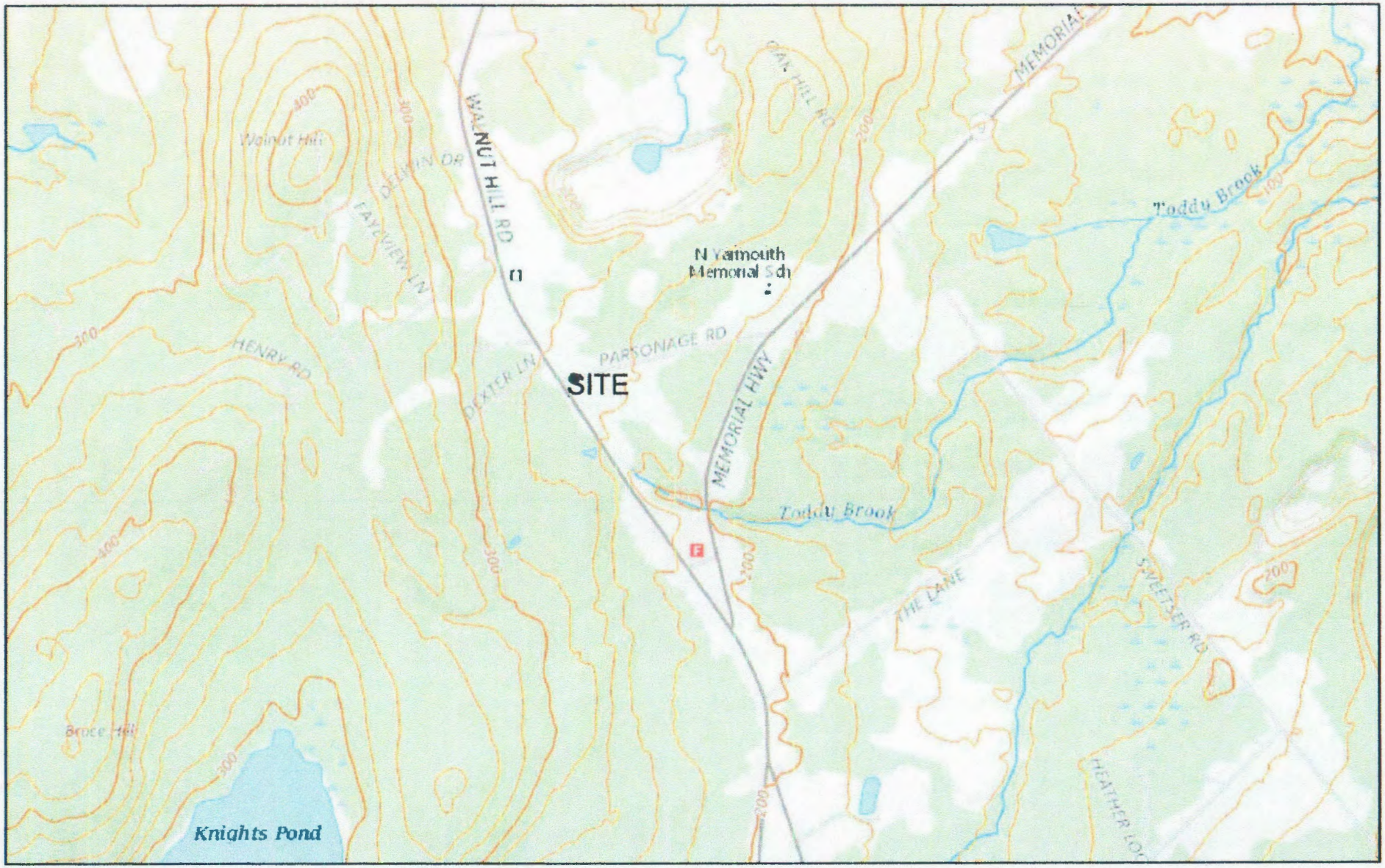
Other disposal system options are available that save space, including plastic chambers and Eljen Indrains. If pre-treatment of wastewater is required, the stone bed sizing is reduced by half.

The disposal systems do not require mounding above grade, and can be set deeper into the ground to facilitate gravity flow from septic tanks.

The stream and the pond on the property are considered Minor Water Bodies by the *Rules* and require a 50-foot wastewater setback for systems disposing less than 1000 gpd. A 100-foot setback is required for systems disposing between 1000 and 2000 gpd.

Mark Cenci, L.G #467, LSE # 262

Figure 1.



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Normal Intermediate Contours

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USGS The National Map: 3D Elevation Program. Data Refreshed April,

USGS

2021 USGS

Kenney Commons
Homeowners Association, Inc.

Townhouse Lots

Rules,
Regulations,
and Architectural Guidelines

As Adopted
by the Board of Directors
on XXXX

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INTRODUCTION

To ensure that our community will always be an attractive and desirable place to live, architectural standards must be maintained. These standards are generally outlined in the Declaration of Covenants, Conditions, and Restrictions ("DCCR"), a copy of which should have been provided to each Homeowner upon the purchase of their property in the Association. The DCCR, Bylaws, Articles of Incorporation, and the Rules, Regulations and Architectural Guidelines ("Guidelines") are collectively referred to herein as "Governing Documents". These Guidelines should be used as a *supplement* to the DCCR, Bylaws, and Articles of Incorporation. It is recommended that every homeowner read the Governing Documents for a full understanding of the rules, processes, and restrictions that apply to our community.

Architectural standards benefit all residents and all residents share the responsibility to comply with, support, and contribute to them. These Rules and Guidelines are not intended to unnecessarily constrain or restrict Homeowners. Instead, the purpose of the Rules and Guidelines is to protect each Homeowner's investment and ensure that we can all take pride in our community.

The goal of these Guidelines is to provide specific, yet easy to understand guidance concerning architectural changes and other rules that may only be generally expressed in the DCCR, Bylaws, and Articles of Incorporation. As with the other Association documents, this document is intended to be a part of each Homeowner's permanent records.

We look forward to working with residents to keep Kenney Commons an attractive community.

Sincerely,

Members of the Board of Directors
Kenney Commons

ARCHITECTURAL CHANGE REQUEST REVIEW PROCESS

Application. Prior to beginning an exterior change or construction, including, but not limited to, changes in colors, Homeowners, if so required by the Governing Documents, shall submit an Application for the addition, alteration, or improvement to the Board of Directors (the "BOD") for approval. The Board of Directors may solicit input from the Covenants Committee (the "CC") prior to final approval. Homeowners must use the provided Architectural Change Request form (copy attached as Exhibit A) in submitting the Application. The Application must be complete for review and consideration by the Board of Directors. Incomplete Applications will be returned to the Homeowner for the required information. The BOD has sixty (60) days to review a complete Application. If an Application is returned to the Homeowner for any reason, the sixty (60) day review period will begin upon the BOD's receipt of the revised Application. Oral requests will not be considered and may not be relied upon by any Homeowner. **If an item is not covered in the Governing Documents, the Homeowner must submit an Application prior to commencement of work.**

Neighbor Notification. The application requires the signature of adjoining neighbors and/or those who have a view of the Applicant's property as awareness of the proposed architectural change. Neighbors and other community members are encouraged to provide their candid opinions concerning any proposed architectural changes in writing to the BOD through the HOA's management company. To ensure that any opinion concerning a proposed architectural change is considered by the BOD during the Application review, neighbors should provide their opinions as soon as they are notified of the proposed change. Neighbor agreement to a proposed architectural change does not guarantee approval of the request. Additionally, neighbor disagreement with a proposed architectural change request does not preclude approval of the request. The BOD views neighbor and other Homeowner's input as one of many factors for consideration in reviewing architectural change requests.

Voting. The BOD meets within sixty days as noted above to review and vote upon architectural change requests submitted by the Homeowners. A request is approved or denied by majority vote of those present. Decisions of the BOD generally are based upon the DCCR and these Guidelines. For unusual circumstances, or for other good cause, exceptions to the Guidelines may be made without creating a precedent.

Homeowner Notification. The HOA's management company will notify the Homeowner in writing as to the decision of their request. This written reply will consist of a copy of the Application bearing approval or disapproval, an explanation of any restrictions or contingencies, or an explanation as to why the request was denied.

Approved Architectural Change Requirements. If a request is approved, the Homeowner may immediately begin to implement the change. The change must begin within 6 months and be completed within 12 months of the approval date. If the project is not begun or completed as specified, the approval is considered lapsed and the Homeowner must reapply for the change.

Approval of any change is not to be construed as approval of the structural integrity of the alteration or addition, nor does it relieve the Homeowner from acquiring the necessary permits and approvals from County or State agencies.

No alterations or additions shall be made which change the drainage patterns or cause runoff onto common areas, adjacent lots, or streets. Homeowners are responsible for any drainage or runoff damage caused by an architectural change.

Reconsideration/Appeal. With **new relevant information** the Homeowner may appeal the decision in writing, via the HOA's management company, within 15 days of the date on the notification letter of the decision. Any appeal to the BOD must provide information to the BOD as to how the Application for an architectural change was not reviewed in accordance with the DCCR and these Guidelines. A hearing shall be scheduled if specifically requested by the Homeowner or Board. Pending the appeal or hearing, the Board will communicate its decision in writing after deliberation at the next scheduled meeting. Neighbors and other community members who have a registered complaint concerning an Application may be notified of the request for reconsideration and/or invited to the appeal hearing.

Unapproved Changes. Homeowners will receive written notification of a violation if the Homeowner has implemented an architectural change prior to obtaining permission from the BOD, or has otherwise violated the Governing Documents. This notification will state the violation, and, if applicable, provide a date by which the Homeowner must either: (1) bring their property back into compliance (i.e., original condition); or (2) apply for the change. If, after review of the Application the BOD denies the change, the Homeowner must bring the property into compliance in accordance with the Governing Documents, unless the Homeowner: (1) appeals the decision to the BOD, or (2) requests a hearing to reconsider its decision on the Application as set forth above. Under this circumstance, a Homeowner can request reconsideration only once per application. Homeowners who have corrected a violation and brought their property into compliance must provide written notification of the correction to the BOD.

Grandfather Waiver Clause. There may be some alterations in existence that do not comply with these Guidelines, but which were previously applied for and approved or with respect to which enforcement action is inappropriate in the opinion of the BOD. In these cases, the BOD reserves the right to grant a temporary Grandfather Waiver for the alteration. This waiver shall generally last no longer than the current life of the alteration, and shall not extend to replacement of the alteration. This Grandfather Waiver does not include exterior alterations not approved through the requisite Application process. In addition, any architectural change applied for and approved prior to the publication of this document that does not meet requirements of these Guidelines must be maintained as approved.

ENFORCEMENT

It is the sincere hope and expectation of the HOA that members of the community abide willingly to these Guidelines as a demonstration of mutual respect for their neighbors and the community as a whole. However, in the event that a Homeowner does not abide by these Guidelines, the HOA is empowered by the Governing Documents to utilize numerous methods, including, but not limited to, legal action, to enforce these Guidelines. If a Homeowner is found in violation of these Guidelines, the following process will be followed:

1. The Homeowner will be sent a letter from the HOA's management company describing the violation and requesting that the Homeowner bring their property into compliance or, if applicable, submit an Application for the change to the BOD , within 30 days of the letter.

2. If, after 30 days, the Homeowner has not brought their property into compliance, submitted an Application, or provided a reasonable explanation for the delay in bringing their property into compliance, the HOA's management company shall provide the Homeowner with a second letter (sample attached as Exhibit B), sent certified mail, with the following information:
    a. Identification of the violation;
    b. Enforcement options open to the BOD;
    c. Opportunity for a hearing if requested within five (5) days of sending of the second letter. If a hearing has been requested, a hearing date shall be scheduled and notice sent to Owner and any other parties; and
    d. Opportunity to acknowledge violation within five (5) days of sending of the second letter and correct the violation, submit an Application to the BOD, or in lieu of requesting a hearing.
3. If a hearing is timely requested, it shall be held by the BOD at which hearing the owner may present any and all defenses and has the right to be represented by counsel.
4. Subsequent to the hearing or if no hearing is timely requested and the Homeowner's property is not brought into compliance by the specified date, the BOD shall review the violation and determine the enforcement options. Enforcement options open to the BOD include, but are not limited to:
    a. Fines and/or liens on property;
    b. Removing or correcting the violation, of which the Homeowner shall be responsible for all costs;
    c. Arbitration and legal enforcement; and
    d. Suspension of common area privileges.

The HOA reserves the right to inspect Homeowner property for compliance with the Governing Documents. The HOA has the right, upon resolution of the BOD, to enter upon the Homeowner's property and take steps to remove or abate the violation. Any costs incurred by the HOA for bringing a property into compliance may be assessed against the owner of the property, and a statement of the amount shall be rendered to the Homeowner. The assessment is due upon receipt. This assessment may become a lien on the lot until removed by payment. Alternately or simultaneously, the BOD may turn the matter over to legal counsel for resolution.
If the court or arbiter rules in favor of the HOA, the Homeowner is obligated to pay the HOA for all legal and any additional enforcement-related costs.

ARCHITECTURAL GUIDELINES

Below are the Guidelines for the community. It is impossible to draft Guidelines which will cover all possible exterior changes. The BOD will review, on a case-by-case basis, requests that are not covered by the Guidelines. Emphasis will be placed on proper scale, materials, and impact on neighboring properties. The BOD may exempt a Homeowner from these Guidelines for unusual circumstances without creating precedent for the community at-large. For instance, given their unique location to other homes, change requests for corner lots may be reviewed on a slightly different basis than non-corner lots.

Please keep in mind that these Guidelines are a supplement to the DCCR, and are intended to add clarification to the DCCR. If a restriction speaks for itself as written in the DCCR, it might not be reiterated here.

Homeowners are responsible for obtaining all required governmental permits prior to implementing a change.

Air Conditioners/Heat Pumps

- Window air-conditioning units are strictly prohibited.
- An approved application is required for any heat pump that is added to the home after original construction.
- The size of any proposed heat pump should be appropriate for the setting.
- Heat pumps that have an approved architectural application do not require a new application for replacement as long as they are the same size, appearance, and are placed in the same location.
- There is no requirement for an approved architectural application for replacing central air conditioning units as long as they are the same size, appearance, and are placed in the same location.

Aerials, Exterior Antennae and Satellite Dishes

- An approved Application is required for the installation of all television aerial (but not radio antenna) and other devices intended to receive telecommunications signals such as direct broadcast satellite (DBS), television broadcast, and multipoint distribution service (MDS) (collectively referred to as "Antennae").
- Every effort should be made to locate the Antenna so that it is not seen from the street, and, if on the ground, installed as close to the home as possible without precluding reception of an acceptable quality signal. Landscape screening may be required as long as there is no interference with an acceptable signal.
- Antennae shall be of a standard manufacturer color, such as gray, brown, or off-white.
- Antennae situated entirely within a dwelling unit, and not visible from the exterior, are permitted without application.

Attic Ventilators

- An approved application is required for all attic ventilators not installed during original construction.
- Attic ventilators will be installed on the roof on the rear side of the house (that side facing away from the road).

- Attic ventilators will be painted flat black or a flat finish that matches the color of the roof.
- Attic ventilators will not extend more than twelve (12) inches above the roof surface and not extend above the highest point of the roof.

Awnings, Sun Trellises, Superstructures

- An approved Application, with a complete description and picture of the item, must be submitted and completed for awnings, sun trellises, and superstructures. Only awnings that are retractable will be considered.
- Fabric is the preferred material for awnings. Metal, plastic, vinyl, or other materials will generally not be approved.
- Only rear yard installations will be considered for awnings, sun trellises and superstructures.

Boats/Trailers/Trucks/RVs/Vehicle Repairs

- Boats, buses, trailers, commercial vehicles (including vans used for commercial use and vehicles displaying commercial signage), trucks (as defined by the Maine Department of Motor Vehicles and/or by common usage, except for light pick-up trucks of three quarter ton capacity or less used for non-commercial purposes), junk vehicles, unlicensed, unregistered or inoperable motor vehicles (which shall include, without limitation, any vehicle which would not pass applicable state inspection criteria), campers, RV's, machinery or equipment of any kind of character (except for such equipment and machinery as may be reasonable, customary or usual in connection with the use and maintenance of any dwelling), or any similar items may not be stored on the common areas, parking lots, driveways, or any portion of any lot for any time, other than in garages.
- Guests using campers or RV's may park such vehicle in a Homeowner's driveway for not more than two weeks within a 12-month period.
- Major vehicle renovation or repair on any property within the community is prohibited.

Compost Bins

- Compost bins are prohibited because of the close proximity of homes to each other.

Decks

- An approved Application is required for decks.
- Decks and deck stairs must be in the rear of the house, and may not protrude past the sides of the home (i.e., the imaginary planes, which run parallel to the sides of the home and extend to the lot border but do not include bay windows, chimneys, or other projections). A waiver of this requirement may be granted if extenuating circumstances are deemed by the BOD to exist, such as a berm area, swale, woodlands, steep topography, etc.
- A ground level deck that is less than twelve inches (12") in elevation does not require handrails. All other decks require handrails. Only vertical pickets will be approved for handrails. A maximum of four (4) sunbursts or starbursts will be allowed.
- Materials allowed are pressure treated wood, vinyl, and Trex or similar synthetic material. If Trex or a similar synthetic material is used, a sample of the color must be provided.
- Decks may be stained and/or sealed in colors that are compatible with the existing trim of the dwelling unit. Deck flooring may be a different color from the railings/pickets. A sample of the stain color should be included with the Application.

- A solid trim board must cover any open side of the deck to conceal the joints and cut ends of the deck.
- Any lattice, enclosed screening, sun shields, privacy screening, benches, flower boxes, or other decorative items on or a part of the deck must be outlined in the Application and will be reviewed on a case by case basis and must be fabricated of like material.

Dog Houses and Dog Runs

- Dog houses and dog runs are prohibited. Such items are prohibited by the Declaration.

Driveways and Driveway Aprons

- An approved Application is required for driveway extension, widening or rerouting.
- Driveways and driveway aprons may not be changed in size or location and must be uniform and consistent and of concrete or asphalt.
- Changes in grade are prohibited as they may adversely affect drainage patterns.
- Resurfacing an existing driveway with no changes does not require an architectural change application.
- Any exception to the above requires approval through an Architectural Change Request.

Flagpoles

- American flags will be displayed in accordance with the provisions of the Federal Flag Code. When a patriotic effect is desired, the flag may be displayed twenty-four hours a day if properly illuminated during hours of darkness. This means that there is either a light directly upon the flag or that there is sufficient local lighting to make the flag easily visible at night. (USC 36, CHAP 10, Sect 173)
- One permanent, free standing flagpole is authorized on either front or rear lots and should be located as to minimize its impact on neighboring properties. Free standing poles can be no less than fifteen (15) feet or more than twenty (20) feet The usual size of flag for home use and these flag poles is three feet (3') x five feet (5'). An architectural change application is required.
- One temporary flag pole staff, which does not exceed six (6) feet in length can be attached at an incline to the front wall or pillar of the house, does not require an architectural change application.

Fences

- An approved Application is required for fences.
- Fences must match that which has been installed by the builder (six (6) feet in height and alternating board construction).
- Fences must be erected with the finished side ("beauty side") facing out.
- Fences shall be stained or water-proofed, if such staining or water-proofing is specifically not prohibited by the fence's warranty. A sample stain color should be included in the Application for the fence.
- Fencing shall be constructed on the property lines and enclose the entire rear yard. A waiver of this requirement may be granted if the BOD believes that extenuating circumstances exist such as a prohibitive easement, berm area, swale, woodlands, etc., and will be reviewed on a case-by-case basis.

- Fencing must not interfere with the flow of drainage in swales or within surface drainage easements. A homeowner who installs a fence within an easement area does so at their own risk and the HOA assumes no responsibility.
- Invisible pet fences are prohibited.
- Fence applications shall include:
  - A site plan, plat, or other scale drawing of the property. The drawing should show the exact dimensions of the property and all improvements, easements, existing neighboring fences, and the proposed fence.
  - A drawing or photograph of the fence design, including dimensions, materials, and color.

Firewood

- Firewood may be stored outside if stacked neatly on a platform behind the house. Firewood may not be stacked in the front of the house, side of the house, or on Common Areas.

Garages

- Garages are prohibited.

Garden Hoses

Garden hoses in the front of the residence will be coiled neatly and contained within a box or on a hanger.
Gardens hoses will not be left out uncoiled in the yard, or must be obscured from street view.

Generators

- An approved county permit must accompany the architectural application and a copy of the final county inspection must be submitted post-installation.
  Generators will be installed in accordance with county code and manufacturer specifications.
  Generators not installed in the rear of the home may require either landscaping, fencing or screening to screen them from view.

Grills and Fireplaces

- Permanent grills or fireplaces are prohibited.
- Temporary (moveable) grills must be stored behind the house or in the dwelling when not in use, and be of sufficient safety standoff distance from the house when in use.

Hot Tubs/Spas

- Hot Tubs/Spas are prohibited.

Irrigation Systems

- Irrigation Systems are prohibited except if installed by the original developer during intial construction in common green spaces.

Landscaping and Lawns

- An approved Application is required for hardscaping, brickwork, stone work, structures, etc.
- An Application is not required for planting shrubs, trees, lawn, flowers (including freestanding flowerpots). The planting of hedges or rows of plants used as a blockade or screen requires an approved Application and should consider full growth and size when planting, prior to placement within the homeowner property.
- No tree, hedge, or landscape feature can be placed in a location where it will obstruct sight-lines for traffic on community streets, neither at the time of planting nor as the plants grow.
- No planting or structure may interfere with any easement or the flow of any drainage channel.
- Metal lawn edging may be used in yards and shall be as unobtrusive as possible so as to not disrupt the surrounding aesthetics.
- Retaining walls require an architectural change application. Retaining walls will not interfere with drainage patterns. Generally, retaining walls will be no higher than three (3) feet.

Lawn Furniture

- All lawn furniture not maintained on a deck or patio must be maintained within the rear yard or that portion of the lot that is screened from public view.
- Lawn furniture is not allowed to remain overnight within any front or side yard of any lot or in the common areas.
- Concrete, metal, wood or wrought iron benches not on a patio, porch or deck are considered lawn ornaments, and must meet the Guidelines listed under "Lawn Ornaments".
- Bench size shall be limited to one (1) bench seating up to three (3) people.

Lawn Ornaments

- An approved Application is required for any lawn ornament, statuary, or bench. The Application must include a complete description of size, location on lot, materials, color and design. A drawing or picture should be included.
- Plastic ornaments are not allowed.
- Front and side yard ornaments are:
  - Restricted to a total of two ornaments per lot;
  - Of a color that is consistent with the house trim or of a neutral/natural color;
  - Lawn ornaments and statuary shall be no larger than one foot in height.
  - Placed in flower or shrub beds directly next to the house.
- Holiday ornaments are allowed during holiday seasons. They may be installed one month prior to the holiday and must be removed one month after the holiday. Holiday lighting must follow the Guidelines stated under "Lighting."
- Ornaments placed in the rear of the house are:
  - Restricted to a total of six (6) ornaments per lot;
  - May not exceed two (2) feet in height; and
  - Of a color consistent with the house trim or of a neutral/natural color.
- Single family birdhouses and small feeders (bird and squirrel) in the rear yard are not restricted. However, large birdhouses, bird hotels, and large decorative feeders are considered lawn ornaments and require an Application.

Lighting, Exterior

- An approved Application is required if a change in style, shape, color, or positioning of existing lighting or if additional light fixtures or walkway lighting are to be installed.
- All fixtures are to be of similar color and style.
- Exterior lighting and light fixtures will be hard wired so there is no visible wiring or conduit.
- Lampposts (including globes) must have a single fixture and be no larger than seven (7) feet in height.
- An approved Application is not required if replacing an existing light fixture with one similar in size, shape, and color to an original or previously approved fixture.
- All exterior lighting will be installed so as not to shine on adjacent property or public space. The BOD may require relocation or other mitigation if such lighting is deemed to be a nuisance by the BOD.
- Permanent walkway lighting must be an inconspicuous size and design. It should not be easily noticed from the curb during daylight. Only low-level lighting will be considered. This restriction does not apply to approved security or floodlights.
- Temporary decorative holiday and festive lighting does not require approval. However lighting shall be installed no earlier than one month prior to use and must be removed within one month after the holiday or function.
- Permanent party lights, fluorescent lights used outdoors, and large bug lights are prohibited.

Mailboxes

- Mailboxes constructed or installed shall be substantially similar in design, dimension and material to the mailboxes installed by the Builder.

Painting and Staining

- The color of the exterior of all structures or dwellings, including, without limitation, doors, siding, gutters, downspouts, brick and trim, shall not be changed or altered.
- Repainting or staining doors, shutters, decks, or fences in a color different from the existing color requires an approved Application.
- Applications for painting or staining must include a sample of the color.

Patios

- An approved Application is required for construction of a patio.
- Patios shall be no higher than six (6) inches above the ground.
- Materials allowed are reinforced concrete, flagstone or brick. If brick or flagstone is used, a sturdy barrier must surround the perimeter of the patio unless the brick is at ground level.
- The patio must not extend past the side of the house.
- Patios must not affect the drainage on any property.
- Wooden patio structures are considered decks and must follow Guidelines for deck construction as set forth herein.

Play Equipment, Basketball Backboards, Play Structures, Etc.

- Portable and/or permanent basketball backboards and trampolines are prohibited.
- Play equipment such as bikes, wagons, skateboards, etc. are not allowed to remain overnight within any driveway, front yard, or side yard.
- An approved Application is required for permanent play structures such as play sets, swing sets, play houses, and jungle gyms. Structure should be no higher than twelve (12) feet.

Roofing

- Changes in roofing material (from asphalt shingles to cedar shakes) and color require an approved application.
- When replacing roofing, every effort should be made to replace the roof with matching material.

Security Doors and Windows

- An approved Application is required for security doors and windows.
- Security doors will only be allowed on rear doors not visible from the street.
- Security windows will only be allowed on the interior and screened by curtains or blinds so that they are not visible from the outside of the house.

Screened Porch

- An approved Application is required for screened porches.
- Screened porches and steps must be confined to the rear yard (i.e., the space behind the home between the two planes created by the sides of the house) and may not protrude from the side of the home.
- Wooden portions of screened porches must be stained or sealed, unless such staining or sealing is specifically prohibited by the manufacturer. If other than a clear stain or seal is used, a sample of the color should be included with the Application.
- Roof shingles must match those on the house.
- Siding must match the house.

- Any lattice, sun shields, privacy screens, benches, and other decorative items must be outlined in the Application and will be reviewed on a case by case basis.
- Screening must be of a non-rusting type.

Sheds

- An approved application is required for sheds.
- Shed applications shall include:
  - A site plan or plat of the property should show the exact dimensions of the property, easements, and all improvements, including the location and position of the shed.
  - Drawings, specifications or a picture of a similar shed must accompany application.
  - Samples of colors and description of materials to be used must be submitted with the application.
- Only one (1) shed per property will be approved.
- Sheds may not rise above six (6) feet, or the height of the fence, in any area.
- Sheds shall be installed on the rear of the lot.
- Metal sheds will not be considered. Sheds should be painted, sided, and roofed to match the exterior of the home.
- Sheds will be properly maintained and if damaged, repaired immediately.
- Additional landscaping to conceal sheds from the public or neighbors' view may be required.
- Total square footage of shed shall not exceed 10% of the available rear yard as measured inside property lines, less the footprint of any other ongoing storage, plantings, garden plots, or installed equipment such as air conditioning unit, playground equipment, patios, etc.
- Sheds must not interfere with the flow of drainage in swales or within surface drainage easements, or affect the drainage on any property.

Skylights

- An approved Application is required for skylights unless installed by the builder at the time of house construction.
  - Skylights will only be installed on the rear roof of the house (that portion of the house facing away from the street). No skylights will be approved that face the street.
  - The frame color of the sylight will be compatible with the roof color.
  - A picture of the proposed skylight, dimensions, color and a plan showing where it is to be installed must be submitted with the Application.

Storm Doors

- An approved Application is required for storm doors.
- Storm doors must be rustproof metal or wood with clear glass panels (or fiberglass screening in the summer). They must be attached flush to the original doorjamb. Raw aluminum storm doors will not be approved.
- Any modifications to the original doorjamb necessary for installation of a storm door must be specified on the Application.
- Storm doors match the entry door or the trim around the entry door.
  - Storm doors on the front of the house must be full view clear glass.
  - Storm doors on the rear or side of the house may be either full view, three quarters view clear glass.

Storm Windows

- An approved Application is required for storm windows.
- Storm window and screen trim shall be painted the same color as the window trim.

Swimming Pools

- Swimming pools are prohibited.
- Children's wading pools in rear yards are allowed and do not require an approved application.

Vegetable Gardens

- The association may have a community garden in the community green space as provided on the site drawing by the original developer.

Water Features

- Water features (example: lily ponds, water gardens, fountains, etc.). are not permitted.

Window Flower Boxes

- An approved Application is required for window flower boxes.

Kenney Commons

EXHIBIT A - APPLICATION

KENNEY COMMONS
ARCHITECTURAL CHANGE
APPLICATION

- TYPE or PRINT - Please READ INSTRUCTIONS and COMPLETE ALL SPACES. USE A SEPARATE APPLICATION FOR EACH REQUEST.
- Town laws require you to obtain a Building Permit on most structural changes to your home and some on your lot. This may include fences, decks, patios, sheds, etc. You are responsible for contacting the County to determine if a permit is required. Approval or denial of a request is based on the Homeowners Association criteria. Property owner has sole responsibility for compliance with County codes and regulations.
- Owner must contact xxxxxxxx
- ATTACH a detailed, scale drawing plat map or blueprint of the lot, with proposed alterations indicated IN RED (A copy of your lot location drawing received at settlement is ideal.). Include all lot and alteration dimensions, color changes, materials and design information.
- Any variation from the original Application must be resubmitted for approval.
- ATTACH structural drawings, including elevation measurements, the color and material list and photo if available, of proposed alteration.
- INCOMPLETE APPLICATIONS, OR APPLICATIONS SUBMITTED WITHOUT PLANS, ETC., WILL BE RETURNED.
- Use the reverse side of Application if more space is needed.
- SUBMISSION OF APPLICATION DOES NOT GIVE AUTHORIZATION TO BEGIN WORK. WRITTEN APPROVAL MUST BE OBTAINED PRIOR TO COMMENCING ALTERATIONS.

Name: _____ Date Submitted: _____

Address: _____ Work Telephone: (_____)_____

_____ Home Telephone: (_____)_____

Signature: _____ E-Mail Address _____

_____

Lot #:_____ Block: _____ Date Work to Begin: _____

Date Work to be Completed: _____

A. Proposed Alteration: _____

B. Types of materials:_____

C. Dimensions: _____

D. Colors: _____ House _____ Trim _____ Door _____ Other _____ Stain

E. Additional Details: _____

_____

_____

Signature and comments from all adjoining neighbors and/or those who have a view of the Applicant's property. Their signatures indicate an awareness of your intent and do not constitute or indicate approval or disapproval. Signers are encouraged to write to the Association if they have additional comments.

Address/Lot #	Signature	Comment, if any
Address/Lot #	Signature	Comment, if any
Address/Lot #	Signature	Comment, if any

_ _ _ FOR KC USE ONLY _ _ _

Date Received: _____ Date Action Taken: _____ Reviewed/ Approved by: _____

APPROVED: __
With these EXCEPTIONS:
_____
_____
_____
_____

NOT APPROVED: __
For these REASONS
_____
_____
_____
_____

INCOMPLETE/PENDING APPLICATION: __
__ Incomplete
__ Returned to Owner
__ Provide the following:
_____
_____

Kenney Commons

EXHIBIT B – SAMPLE VIOLATION LETTER

CERTIFIED MAIL – RETURN RECEIPT REQUESTED
AND FIRST CLASS MAIL

Record Owner or Tenant/Invitee

Re: Kenney Commons Homeowners Association, Inc. Second Notice of Covenant Violation

Dear Record Owner or Tenant/Invitee:

This letter shall serve as notice that you remain in violation of the Association's covenants, specifically Article ___ of the Association's (Declaration, Bylaws or Rules, Regulations and Architectural Guidelines), due to _____ (describe violation). As initial violation notice was previously sent to you.

If you fail to correct the above violation within ___ days of the date of this letter, the Board of Directors is authorized to impose a fine against you for your violation of Article ___ of the Associations (Declaration, Bylaws or Rules, Regulations and Architectural Guidelines). Please be advised that each recurrence of the above violation or each day during which it continues shall be deemed a separate offense, subject to a separate fine not to exceed a reasonable amount as established by the Board of Directors for each offense. Please note that the Board is also authorized to suspend your membership privileges due to the above violation.

You have the right to request a hearing before the Board of Directors if you wish to dispute or explain the above violation. Such request must be made in writing and must be received by the Board within 5 days of the date of this notice. If you request a hearing, the Board will schedule a hearing for you and notify you of the date and time.

In lieu of requesting a hearing, you may respond to this notice within 5 days of the date of this notice, acknowledging in writing that the violation occurred as alleged and promising that you will immediately correct the violation and will not allow the violation to recur. Such acknowledgement and promise, as well as correction of the violation, shall terminate the enforcement activity of the Association with regard to this particular violation.

Thank you for your cooperation with this matter. If you have any questions, you may contact the undersigned at _____.

Sincerely,
KENNEY COMMONS HOMEOWNERS ASSOCIATION, INC.

By: _____

cc: Record Owner (if not already listed above)

TOWN OF NORTH YARMOUTH

PLANNING BOARD

SITE PLAN REVIEW AND CONDITIONAL USE CHECKLIST

NAME OF APPLICANT: KENNEY COMMONS
LAURIE BACHELDER

DATE: 3-8-2022

This checklist has been prepared to assist applicants in developing their applications. It should be used as a guide in assembling the information necessary for a complete application. However, the checklist does not substitute for the statutory criteria or the requirements of Section IV. Site Plan Review & Conditional Use Procedures or Section X. Performance and Design Standards for Site Plan Review & Subdivision Review of the Land Use Ordinance. The Planning Board will use the checklist to make sure that your application is complete. The application need not contain separate plans as implied below. The perimeter survey, subdivision plan and engineering plans may be contained on the same drawing. However, detailed engineering drawings such as road profiles, drainage swales and erosion/sedimentation plans may best be presented on a separate sheet or sheets.

SITE PLAN PERFORMANCE & DESIGN STANDARDS		Received by Planning Board	Applicant Requests to be Waived	Waiver Approved by Planning Board	Applicant Requests Not Applicable
GENERAL REQUIREMENTS					
1. Request for Hearing Form	✓				
2. Fee Calculation Sheet	✓				
3. Waiver or N/A Request Form, if required	NA				
4. Abutter List & Notification Statement	✓				
5. DEP Approval, if required (Section 3 - 3.9B)	NA				
6. Subdivision Approval, if required (Section V)	NA				
7. Board of Zoning Appeal Approval, if required Section VI - 6.2)	NA				
8. MDOT Approval, if required (Section VIII – 8.4.J.2)	NA				
10-1 APPLICABILITY	✓				
10-2 GENERAL LAYOUT OF DEVELOPMENT					
A. Utilization of the Site	✓				
B. Lots					
B.1 Dimensional Requirements	✓				
B.2 Right of Way not included in Lot Area	NA				
B.3 Side Lot Lines perpendicular to Street	✓				
B.4 Lots Divided by Streams	NA				
B.5 Future Lot Planning (Subdivisions only)	NA				

TOWN OF NORTH YARMOUTH
PLANNING BOARD
SITE PLAN REVIEW AND CONDITIONAL USE CHECKLIST

SITE PLAN PERFORMANCE & DESIGN STANDARDS			Received by Planning Board	Applicant Requests to be Waived	Waiver Approved by Planning Board	Applicant Requests Not Applicable
B.6	Interconnected Development	NA				
C. Blocks - Utility/Pedestrian Easement		INTRO LETTER				
D. Utilities - Underground		✓				
E. Monuments						
E.1	Stone Monuments Locations	NA				
E.2	Stone Monuments or Capped Iron Pipe at boundaries	✓				
E.3	Stone Monuments Requirements	NA				
E.4	All Others Marked by Suitable Monumentation	NA				
10-3 BROOK, POND, VERNAL POOL AND WETLAND BUFFERS						
A. Purpose and Applicability						
A.1	Protect Areas not covered in Section 9-1	✓				
A.2	Distinguish between High and Low Value Wetlands	✓				
A.3	Residential Shoreland & Resource Protection Apply	✓				
B. Protected Resources						
B.1	Stream	✓				
B.2	Pond	NA				
B.3	Vernal Pool	NA				
B.4	High Value Wetlands	NA				
B.4.a	Contain Pond or Vernal Pool	NA				
B.4.b	Within Floodplain of Stream or Pond	NA				
B.4.c	Wetland Plant Species	REPORT ✓				
B.5	Low Value Wetland	REPORT ✓				
C. Standards						
C.1	Vegetative Buffers	ADDED LANDSCAPING ✓				

TOWN OF NORTH YARMOUTH
PLANNING BOARD
SITE PLAN REVIEW AND CONDITIONAL USE CHECKLIST

	SITE PLAN PERFORMANCE & DESIGN STANDARDS	Received by Planning Board	Applicant Requests to be Waived	Waiver Approved by Planning Board	Applicant Requests Not Applicable
C.2	Location, Species, Height, Canopy TBD				
C.3	Buffer Width Related to Slope (SEE TABLE) NA				
C.4	Natural State to Greatest Extent Practical ✓				
C.5	Buffer Strips Maintained in Natural State NA				
C.5.a	Clearing of Dead and Diseased Trees NA				
C.5.b	Underlying Vegetation (must not be removed) ✓				
C.6	Building and Structure Setback ✓				
C.7	Permanent Markers (must be installed) ✓				
D. Plan Submittals					
D.1	Site plan, Topo, Wetlands, Buffers ✓				
D.2	Existing Vegetation Described ✓				
D.3	Buffer (Any new buffers described) NA				
D.4	Maintenance and Restrictions of Buffers NA				
D.5	Deed restrictions and covenants NA				
D.6	Plat NA				
E. Exemptions					
E.1	Buffer and setbacks are not required adjacent to the following area:				
E.1.a	Swales and ditches ✓				
E.1.b	Artificial impoundments ✓				
E.1.c	Low value wetlands ✓				
E.2	Buffers and setbacks do not apply to				
E.2.a	Storm water management facilities ✓				
E.2.b	Road crossings, bridges, culverts, utilities ✓				
E.2.c	Docks, boat ramps, direct access ✓				

TOWN OF NORTH YARMOUTH
PLANNING BOARD
SITE PLAN REVIEW AND CONDITIONAL USE CHECKLIST

SITE PLAN PERFORMANCE & DESIGN STANDARDS		Received by Planning Board	Applicant Requests to be Waived	Waiver Approved by Planning Board	Applicant Requests Not Applicable
10-4 BUILDING DESIGN STANDARDS					
A. Purpose	ONLY FOOTPRINT SHOWN				
B. Applicability					
CONTENTS					
A. General Building Standards	TBD				
B. Primary Building Types	TBD				
C. Accessory Building Types	TBD				
D. Components	TBD				
E. Roof Types	TBD				
F. Special Definitions	TBD				
10-5 COMMUNITY FACILITIES IMPACT ANALYSIS AND MITIGATION	NA				
10-6 DRIVE THROUGH FACILITIES	NA				
10-7 EROSION AND SEDIMENTATION CONTROL					
A. Topography and Natural Surroundings	✓				
B. Best Management Practices					
B.1 Stripping, Removal, Re-Grading	✓				
B.2 Exposure to a Minimum	✓				
B.3 Temporary Measures	✓				
B.4 Permanent Measures	✓				
B.5 Sediment Basins or Silt Traps	✓				
B.6 Adjoining property and slope	✓				
B.7 Dust control	✓				
B.8 No grading or filling near water body	✓				
B.9 Measures monitored periodically	✓				

TOWN OF NORTH YARMOUTH
PLANNING BOARD
SITE PLAN REVIEW AND CONDITIONAL USE CHECKLIST

SITE PLAN PERFORMANCE & DESIGN STANDARDS		Received by Planning Board	Applicant Requests to be Waived	Waiver Approved by Planning Board	Applicant Requests Not Applicable
10-8 EMISSIONS NA					
10-9 EXTERIOR LIGHTING					
A.	Adequate for nighttime hours ✓				
B.	Street lighting NA				
C.	Lighting does not produce deleterious effects ✓				
D.	Fixtures shielded or hooded ✓				
E.	Blinking lights prohibited ✓				
F.	Maximum height NA				
G.	Spotlights prohibited NA				
10-10 FINANCIAL AND TECHNICAL CAPACITY					
A.	Adequate financial resources				
B.	Qualified contractors and consultants ✓				
10-11 FLOODPLAIN MANAGEMENT					
A. Consistent with Floodplain Ordinance NA					
B. Development/Subdivision Requirement ✓					
C. Building Prohibited on Floodplains NA					
C.1	Building prohibited in floodplain NA				
C.2	Statement and restriction NA				
C.3	Woodlands, grassland, pastureland, recreation NA				
C.4	Piers, docks, wharves, bridges and boat ramps NA				
10-12 HAZARDOUS, SPECIAL AND RADIOACTIVE MATERIALS					
A.	Handling, storage and use per standards NA				
B.	Reporting Requirement NA				
10-13 HISTORIC AND ARCHAEOLOGICAL SITES					
A.	Protect resources ✓				

TOWN OF NORTH YARMOUTH
PLANNING BOARD
SITE PLAN REVIEW AND CONDITIONAL USE CHECKLIST

SITE PLAN PERFORMANCE & DESIGN STANDARDS		Received by Planning Board	Applicant Requests to be Waived	Waiver Approved by Planning Board	Applicant Requests Not Applicable
B.	**Maine Historic Preservation Commission review** ✓		X		
10-14 LANDSCAPING, BUFFERS AND SCREENING					
A.	**Purpose** ✓				
B.	**Standards**				
B.1	Landscaping ✓				
B.1.a	Natural State Preserved ✓				
B.1.b	Public roads, areas, recreation sites, buildings ✓				
B.1.c	Newly Planted Deciduous Tree Requirements ✓				
B.1.d	Plan should include Landscapes ✓				
B.2	Buffers and Screening ✓				
B.2.a	Adjacent uses and screening ✓				
B.2.b	Year-round visual screen ✓				
B.2.c	Parking lots and areas ✓				
B.2.d	Garbage collection areas buffered TOWN COLLECTION ✓				
B.2.e	Sufficient buffering ✓				
B.2.f	Width of buffer ✓				
10-15 NATURAL BEAUTY AND AESTHETICS IN THE FARM AND FOREST DISTRICT, RESIDENTIAL SHORELAND DISTRICT AND RESOURCE PROTECTION DISTRICT NA					
10-16 NOISE					
A.	**Control Levels for Neighboring Properties** NA				
B.	**Sound Pressure Level Limits (SEE TABLE)** NA				
C.	**Measured by a Meter** NA				
10-17 SEWAGE DISPOSAL					
A.	**Subsurface Sewage Disposal** ✓				

TOWN OF NORTH YARMOUTH
PLANNING BOARD
SITE PLAN REVIEW AND CONDITIONAL USE CHECKLIST

	SITE PLAN PERFORMANCE & DESIGN STANDARDS		Received by Planning Board	Applicant Requests to be Waived	Waiver Approved by Planning Board	Applicant Requests Not Applicable
A.1	Follow State of Maine Rules	✓				
A.2	Hydrogeologic Assessment	NA				
A.2.a	Suitable soils	✓				
A.2.b	Water supplies	✓				
A.2.c	Groundwater quality	NA				
A.2.d	Monitoring wells	NA				
A.2.e	Operation and maintenance manual	NA				
B.	**Public Sewer System Disposal**					
B.1	Not allowed in Farm and Forest District, Residential Shoreland District or Resource Protection District	NA				
B.2	Sewer District statement of capacity	NA				
10-18	**SIGNS**					
A.	**General Requirements**	✓				
B.	**Village Center District**	on building?		X		
C.	**Identify or Advertise Must be on Premises**	✓				
D.	**Sign Area**	✓				
E.	**Installation and Height**	NA				
F.	**Height and Location by Roads**	NA				
G.	**Attached to Structure**	NA				
H.	**Maintenance and Removal**	NA				
I.	**Illumination**	NA				
J.	**Nonconforming Signs**	NA				
K.	**Special Event Signs**	NA				
L.	**Home Occupation Signs**	NA				

TOWN OF NORTH YARMOUTH
PLANNING BOARD
SITE PLAN REVIEW AND CONDITIONAL USE CHECKLIST

SITE PLAN PERFORMANCE & DESIGN STANDARDS		Received by Planning Board	Applicant Requests to be Waived	Waiver Approved by Planning Board	Applicant Requests Not Applicable
M.	Signs in the Resource Protection District and the Residential Shoreland District NA				
N.	Municipal and Public Safety Signs NA				
10-19 SOIL SUITABILITY ✓					
10-20 SOLID WASTE DISPOSAL					
A.	Disposal at Licensed Facility ✓				
B.	Alternative Arrangements NA				
10-21 STORAGE OF MATERIALS					
A.	Sufficient Setbacks and Screening NA				
B.	Dumpsters NA				
C.	Physical Screening NA				
D.	Buffers and Screening NA				
10-22 STORM WATER CONTROL					
A.	Designed to Minimize Runoff EXISTING POND ✓				
B. Requirements					
B.1	Design by Maine engineer ✓				
B.2	Easement width NA				
B.3	Oil and grease traps NA				
B.4	Designing engineer statement ✓				
B.5	Designed to Town Roadway Criteria NA				
B.6	Maintenance Plan ✓				
10-23 RECREATION AND OPEN SPACE LAND IN DEVELOPMENTS					
A. Applicability and Purpose NA					
B. Retention of Useable Open Space/Recreation Land					
B.1	Planning Board may Require Reservation of Land		X		
B.2	Percentage of Useable Open Space (SEE TABLE)		X		

TOWN OF NORTH YARMOUTH
PLANNING BOARD
SITE PLAN REVIEW AND CONDITIONAL USE CHECKLIST

SITE PLAN PERFORMANCE & DESIGN STANDARDS		Received by Planning Board	Applicant Requests to be Waived	Waiver Approved by Planning Board	Applicant Requests Not Applicable
C. Waivers of Minor Subdivisions of Mandatory Open Space			x		
D. Ownership and Maintenance of Common Open Space and/or Recreation Land					
D.1	Facilities & Property Ownership ✓				
D.1.a	Lot Owners' Association ✓				
D.1.b	Association Principal Purpose ✓				
D.1.c	The Town NA				
D.2	Subdivision of the Common Open Space Prohibited				
D.3	Monitoring Fee (Planning Board May Require)				
E. Homeowners Association Requirements ✓					
10-24 WATER SUPPLY					
A. Public Water Supply					
A.1	Written statement from Yarmouth Water District TBD				
A.2	System approved by Yarmouth Water District and North Yarmouth Fire Chief TBD				
B. Required Connection to Public Water Supply ✓					
C. Individual Wells Regulations NA					
D. Fire Protection					
D.1	Hydrant locations ON PARCEL ✓				
D.2	Storage capacity NA				
D.3	Hydrant specifications NA				
D.4	Easement NA				
10-25 WATER QUALITY					
A. Water Quality					
A.1	No discharge in surface or groundwater ✓				
A.2	Maine DEP and Fire Marshal's Office standards ✓				
A.3	License from Maine DEP NA				

TOWN OF NORTH YARMOUTH
PLANNING BOARD
SITE PLAN REVIEW AND CONDITIONAL USE CHECKLIST

SITE PLAN PERFORMANCE & DESIGN STANDARDS			Received by Planning Board	Applicant Requests to be Waived	Waiver Approved by Planning Board	Applicant Requests Not Applicable
A.4	Discharge treated	NA				
B. Groundwater		NA				
C. Wellhead Protection		NA				
D. Requirements for Hydrogeologic Assessments		NA				
D.1	Class A (high intensity) Soil Survey	NA				
D.2	Water table	NA				
D.3	Drainage conditions	NA				
D.4	Existing groundwater quality	NA				
D.5	Analysis and evaluation	NA				
D.6	Map of wastewater systems and wells	NA				
E. Projections of Groundwater Quality		NA				
F. Drinking Water Standards		NA				
G. Demonstrate Treatment		NA				
H. Contaminants		NA				
I. Construction Standards		NA				
J. System and Well Zones		NA				
10-26 PROTECTION OF SIGNIFICANT WILDLIFE HABITAT						
A. Designed to Protect		✓				
B. Identify and Map Wildlife Habitats		NA				
C. Consult and Obtain Written Report				x		
D. Deer Wintering Areas		NA				
E. Deed Restrictions		NA				
10-27 PUBLIC ACCESS TO THE SHORELINE		NA				
10-28 BACK LOTS AND ACCESS		NA				
A. Right-of-Way		NA				

TOWN OF NORTH YARMOUTH
PLANNING BOARD
SITE PLAN REVIEW AND CONDITIONAL USE CHECKLIST

SITE PLAN PERFORMANCE & DESIGN STANDARDS		Received by Planning Board	Applicant Requests to be Waived	Waiver Approved by Planning Board	Applicant Requests Not Applicable
A.1	Width and frontage NA				
A.2	Emergency vehicles NA				
A.3	Existing lot and right-of-way NA				
A.4	Backlots prohibited in subdivisions NA				
A.5	Private Roads Serving Three or More Residential Units and/or Non-residential Uses NA				
A.6	In the Farm and Forest District, Residential Shoreland District and Resource Protection District – lot size and width NA				
A.7	In the Village Center District and Village Residential District – dimensional requirements NA				
10-29 ACCESS MANAGEMENT STANDARDS					
A. Applicability ✓					
B. Adequacy of the Public Road System ✓					
C. Safe Sight Distances ✓					
C.1.	Designed ✓				
C.2	Measurements ✓				
C.2.a	Sight Distance Speed 25 mph ✓				
C.2.b	Height ✓				
C.2.c	Truck traffic ✓				
C.2.d	Recreational vehicle traffic ✓				
C.3	Placement ✓				
C.4	Site triangle ✓				
D. Access Management and Safety Standards					
D.1	Hazardous conflicts NA				
D.2	Residential Lots NA				

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D.2.a	Farm and Forest District, Residential Shoreland District and Resource Protection District NA				
D.2.b	Village Center District and Village Residential District ✓				
D.3	Commercial and Other Non-Residential Lots NA				
D.3.a	Farm and Forest District, Residential Shoreland District and Resource Protection District NA				
D.3.b	Village Center District and Village Residential District ✓				
D.4	Shared Driveways ✓				
D.5	Road, Pedestrian and Bicycle Connections Between Developments ✓				
D.6	Subdivisions NA				
D.7	Corner Lot Access ✓				
D.8	Access Ways to Non-Residential Developments or to Multiplex Developments ✓				
D.9	Driveway Turn-Around Area ✓				
D.10	Driveway Grades ✓				
D.11	Access Way Location and Spacing ✓				
D.11.a	Location from intersection ✓				
D.11.b	Existing private roads NA				
D.11.c	Demonstration of No Alternative NA				
10.30 SUBDIVISION STREET CONNECTIVITY REQUIRED IN THE VILLAGE CENTER AND VILLAGE RESIDENTAL DISTICTS					
A. Purpose ✓					
B. Applicability ✓					
C. Requirements ✓					
C.1	Proposed Subdivision Streets NA				

TOWN OF NORTH YARMOUTH
PLANNING BOARD
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	SITE PLAN PERFORMANCE & DESIGN STANDARDS		Received by Planning Board	Applicant Requests to be Waived	Waiver Approved by Planning Board	Applicant Requests Not Applicable
C.2	Proposed Street System	NA				
C.3	Proposed Transportation System	NA				
C.4	Redevelopment and Road Improvements	NA				
C.5	Future Street Extension	NA				
C.6	Reserved Streets for Future Street Connections	NA				
C.7	Waivers	NA				
C.7.a	Dead End Streets	NA				
C.7.b	Hammerhead Turn-around	NA				
C.7.c	Turn-Around	✓				
C.7.d	Emergency Access	✓				
10.31 SUBDIVISION STREET LENGTH AND CONNECTION REQUIREMENTS IN THE FARM AND FOREST DEISTRICT AND RESIDENTIAL SHORELAND DISTRICT						
A.	**Purpose**	NA				
B.	**Standards**	NA				
B.1	12 Residential Units or Lots	NA				
B.2	Dead-End Street	NA				
B.3	Connectivity Requirements	NA				
10.32 PEDESTRIAN WAYS AND BICYCLE ACCESS, CIRCULATION AND FACILITIES						
A.	**Applicability and Purpose**	✓				
B.	**Standards**	✓				
B.1	Village Center District and Village Residential District Sidewalk Requirements	✓				
B.2	Farm and Forest District and Residential Shoreland District, Resource Protection District Sidewalk Requirements	NA				
B.3	Sidewalk Design	✓				
B.4	Connect to existing	NA				

TOWN OF NORTH YARMOUTH
PLANNING BOARD
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	SITE PLAN PERFORMANCE & DESIGN STANDARDS	Received by Planning Board	Applicant Requests to be Waived	Waiver Approved by Planning Board	Applicant Requests Not Applicable
B.5	Site Plan ✓				
B.6	Parking Plans ✓				
B.6.a	Bicycle parking NA				
B.6.b	Pedestrian Way Locations ✓				
B.6.c	Village Center District and Village Residential District sidewalks on frontage with 10 or more parking spaces ✓				
10-33 INTERNAL VEHICULAR CIRCULATION					
A. Safe Movement ✓					
A.1	Clear route and Turning Area ✓				
A.2	Emergency Vehicles, Routes and Signage ✓				
A.3	Layout and Design of Parking Area ✓				
A.4	Designed to harmonize with site ✓				
10-34 OFF STREET PARKING					
A. Applicability ✓					
B. General Requirements ✓					
C. Parking Layout and Design ✓					
C.1	On lot or adjacent lot ✓				
C.2	Arranged so not necessary to back out on road ✓				
C.3	Location of Parking ✓				
C.4	Landscaping Plan Providing Screening ✓				
C.5	Joint use of Parking Area Approval ✓				
C.6	Durable surface ✓				
C.7	Parking space size ✓				
C.8	Diagonal parking NA				

SITE PLAN PERFORMANCE & DESIGN STANDARDS			Received by Planning Board	Applicant Requests to be Waived	Waiver Approved by Planning Board	Applicant Requests Not Applicable
D. Parking Space Requirements						
D.1	Sufficient to accommodate	✓				
D.2	Size of structure	✓				
D.3	Reduce structure for sufficient parking	NA				
D.4	On-street parking	NA				
D.5	Availability of parking	✓				
D.6	Pedestrian and bicycle safety	✓				
D.7	Other standards	NA				
E. Waivers		NA				
10-35 OFF STREET LOADING REQUIREMENTS		NA				
A. Specific Uses						
A.1	Maximum number of trucks	NA				
A.2	Type of business	NA				
A.3	Location of loading facility	NA				
A.4	Screening	NA				
A.5	Desirability of service roads or alleys	NA				
A.6	Other characteristics	NA				
A.7	Traditional layout and historical character	NA				
A.8	Minimize noise impacts	NA				

N/F
ANN
BLANCHARD
TM 7, LOT 80
4281/191

HOUSE

GRAVEL DRIVE

TO ROUTE 9

PARSONAGE ROAD

N/F
RONALD
BURGESS
TM 7, LOT 61

HOUSE

N/F
ALICIA & SOL
DOSTILIO
TM 7, LOT 79
34,522/143

DECK

HOUSE

WOOD FENCE
309.63'

20' SETBACK

SOLID PRIVACY FENCE (TYP.)

PROPOSED LANDSCAPE TREE (TYP.)

4' PAVED WALK TO EACH UNIT

DEVELOPED PARCEL
75,702 sf

EXISTING WELL

110.34'

⅝" IRF, 12" TALL ("LAPOINT" CAP)

⅝" IRF, 22' TALL ("PALMITER" CAP)

NEW BITUM. CURB

STEPS (TYP.)

4' WIDE STONE DRIP EDGE

BUILDING #1
(UNITS 1 - 3)
F.F. = 254.0

PORCH (TYP.)

NEW 5' WIDE PAVED SIDEWALK

24'

9' (TYP.)

PAVED PARKING AREA
(36 SPACES)

PROPOSED LANDSCAPE TREE (TYP.)

MANMADE POND

PROPOSED CONVEYANCE TO
BRUDER
21,768 sf

202.21'

193.57'

N/F
ROBERT & KAREN
BRUDER
TM 7, LOT 63
22,367/110

WOOD FENCE

DECK

HOUSE

10' SETBACK

BUILDING #2
(UNITS 4 - 6)
F.F. = 254.0

PAVEMENT CUT LINES

GRAVEL DRIVE

SOLID PRIVACY FENCE (TYP.)

18'

BUILDING #3
(UNITS 7 - 9)
F.F. = 252.0
4' WIDE STONE DRIP EDGE

15'

BUILDING #4
(UNITS 10 - 12)
F.F. = 251.0
4' WIDE STONE DRIP EDGE

5'

SOLID PRIVACY FENCE (TYP.)

PROPOSED LANDSCAPE TREE (TYP.)

382.94'

110.00'

⅝" IRF

NEW 5' WIDE PAVED SIDEWALK
NEW BITUM. CURB

TO ROUTE 231

WALNUT HILL ROAD

TO YARMOUTH

PAVEMENT CUT LINES

24' CTR

PAVED DRIVE

N/F
KEITH
STACKPOLE
TM 7, LOT 42
7958/183

HOUSE

N/F
RYAN & EMILY
THOMPSON
TM 7, LOT 41
37,665/144

N/F
JONATHAN & GINA
LAMARCHE
TM 7, LOT 40
35,524/220

HOUSE

DECK

PAVED DRIVE

NORTH

REV:	BY:	DATE:	CHANGES:

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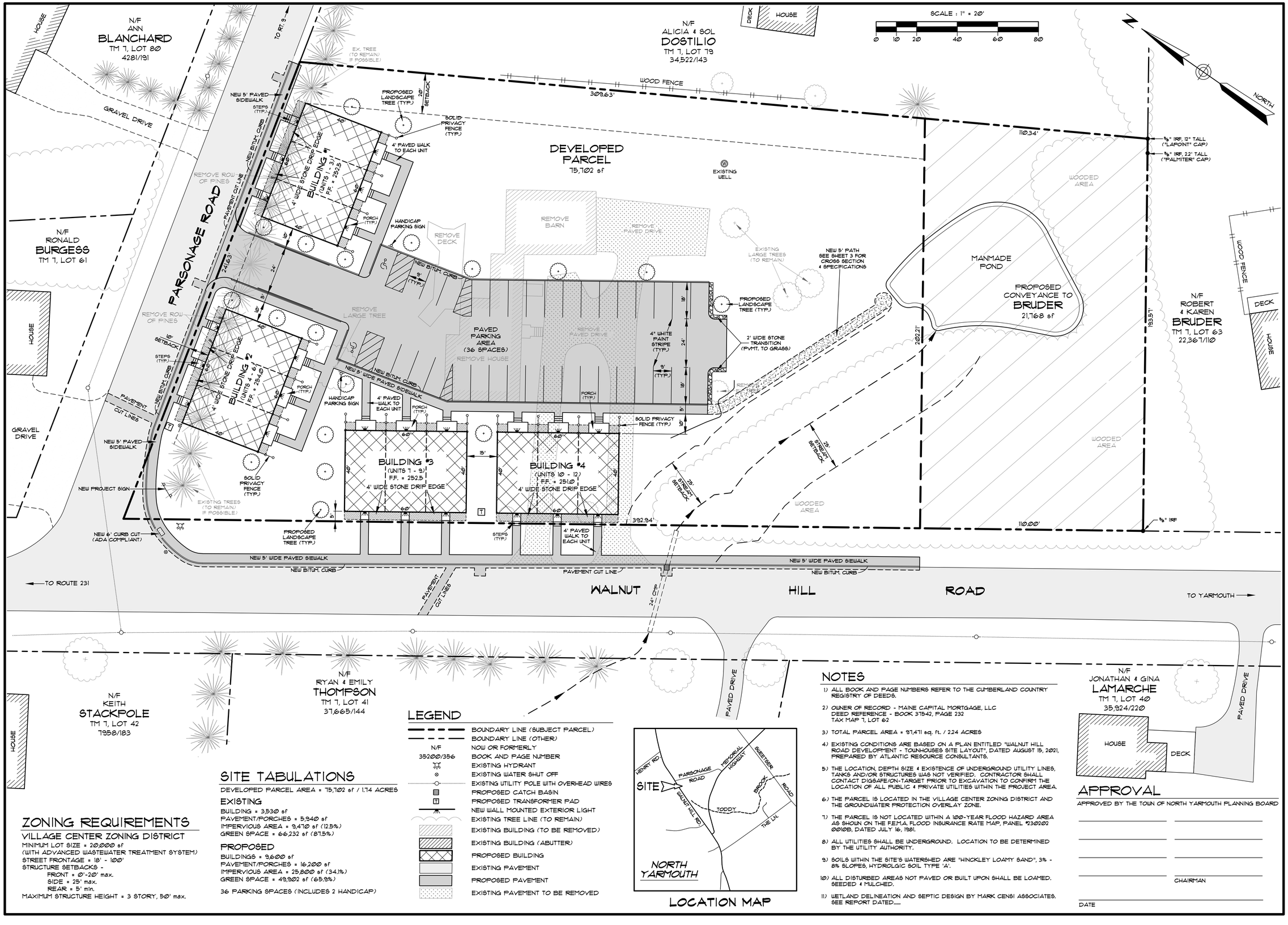
SJR ENGINEERING, INC.
16 THURSTON DRIVE
MONMOUTH, MAINE 04259
(207) 242-6248 tel
steve@sjreng.com
SJR ENGINEERING

AERIAL VIEW SITE PLAN
KENNEY COMMONS
521 WALNUT HILL ROAD - NORTH YARMOUTH MAINE
PREPARED FOR
MAINE CAPITAL MORTGAGE, LLC
4 CITY CENTER - PORTLAND, MAINE 04101

DATE	PROJECT
FEB. 2022	2022-12
DRAWN BY	SCALE
SJR	1" = 20'

SHEET 1



ZONING REQUIREMENTS

VILLAGE CENTER ZONING DISTRICT

MINIMUM LOT SIZE = 20000 sf
(WITH ADVANCED WASTEWATER TREATMENT SYSTEM)
STREET FRONTAGE = 18' - 100'
STRUCTURE SETBACKS -
FRONT = 0'-20' max.
SIDE = 25' max.
REAR = 5' min.
MAXIMUM STRUCTURE HEIGHT = 3 STORY, 50' max.

SITE TABULATIONS

DEVELOPED PARCEL AREA = 75,702 sf / 1.74 ACRES

EXISTING

BUILDING = 3,330 sf
PAVEMENT/PORCHES = 5,940 sf
IMPERVIOUS AREA = 9,470 sf (12.5%)
GREEN SPACE = 66,232 sf (87.5%)

PROPOSED

BUILDINGS = 9,600 sf
PAVEMENT/PORCHES = 16,200 sf
IMPERVIOUS AREA = 25,800 sf (34.1%)
GREEN SPACE = 49,902 sf (65.9%)

36 PARKING SPACES (INCLUDES 2 HANDICAP)

LEGEND

- BOUNDARY LINE (SUBJECT PARCEL)
- BOUNDARY LINE (OTHER)
- N/F — NOW OR FORMERLY
- 35200/356 — BOOK AND PAGE NUMBER
- EXISTING HYDRANT
- EXISTING WATER SHUT OFF
- EXISTING UTILITY POLE WITH OVERHEAD WIRES
- PROPOSED CATCH BASIN
- PROPOSED TRANSFORMER PAD
- NEW WALL MOUNTED EXTERIOR LIGHT
- EXISTING TREE LINE (TO REMAIN)
- EXISTING BUILDING (TO BE REMOVED)
- EXISTING BUILDING (ABUTTER)
- PROPOSED BUILDING
- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- EXISTING PAVEMENT TO BE REMOVED

LOCATION MAP

NOTES

1) ALL BOOK AND PAGE NUMBERS REFER TO THE CUMBERLAND COUNTRY REGISTRY OF DEEDS.
2) OWNER OF RECORD - MAINE CAPITAL MORTGAGE, LLC
DEED REFERENCE - BOOK 37542, PAGE 232
TAX MAP 7, LOT 62
3) TOTAL PARCEL AREA = 97,471 sq. ft. / 2.24 ACRES
4) EXISTING CONDITIONS ARE BASED ON A PLAN ENTITLED "WALNUT HILL ROAD DEVELOPMENT - TOWNHOUSES SITE LAYOUT", DATED AUGUST 15, 2021, PREPARED BY ATLANTIC RESOURCE CONSULTANTS.
5) THE LOCATION, DEPTH SIZE & EXISTENCE OF UNDERGROUND UTILITY LINES, TANKS AND/OR STRUCTURES WAS NOT VERIFIED. CONTRACTOR SHALL CONTACT DIGSAFE/ON-TARGET PRIOR TO EXCAVATION TO CONFIRM THE LOCATION OF ALL PUBLIC & PRIVATE UTILITIES WITHIN THE PROJECT AREA.
6) THE PARCEL IS LOCATED IN THE VILLAGE CENTER ZONING DISTRICT AND THE GROUNDWATER PROTECTION OVERLAY ZONE.
7) THE PARCEL IS NOT LOCATED WITHIN A 100-YEAR FLOOD HAZARD AREA AS SHOWN ON THE F.E.M.A. FLOOD INSURANCE RATE MAP, PANEL #230102 0010B, DATED JULY 16, 1981.
8) ALL UTILITIES SHALL BE UNDERGROUND. LOCATION TO BE DETERMINED BY THE UTILITY AUTHORITY.
9) SOILS WITHIN THE SITE'S WATERSHED ARE "HINCKLEY LOAMY SAND", 3% - 8% SLOPES, HYDROLGIC SOIL TYPE 'A'.
10) ALL DISTURBED AREAS NOT PAVED OR BUILT UPON SHALL BE LOAMED, SEEDED & MULCHED.
11) WETLAND DELINEATION AND SEPTIC DESIGN BY MARK CENSI ASSOCIATES. SEE REPORT DATED____

APPROVAL

APPROVED BY THE TOWN OF NORTH YARMOUTH PLANNING BOARD

_____ _____
_____ _____
_____ _____
_____ CHAIRMAN
_____
DATE

STATE OF MAINE * STEPHEN J. ROBERTS #4837 * REGISTERED PROFESSIONAL ENGINEER
FOR APPROVALS ONLY

REV:	BY:	DATE:	CHANGES:

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SJR ENGINEERING, INC.

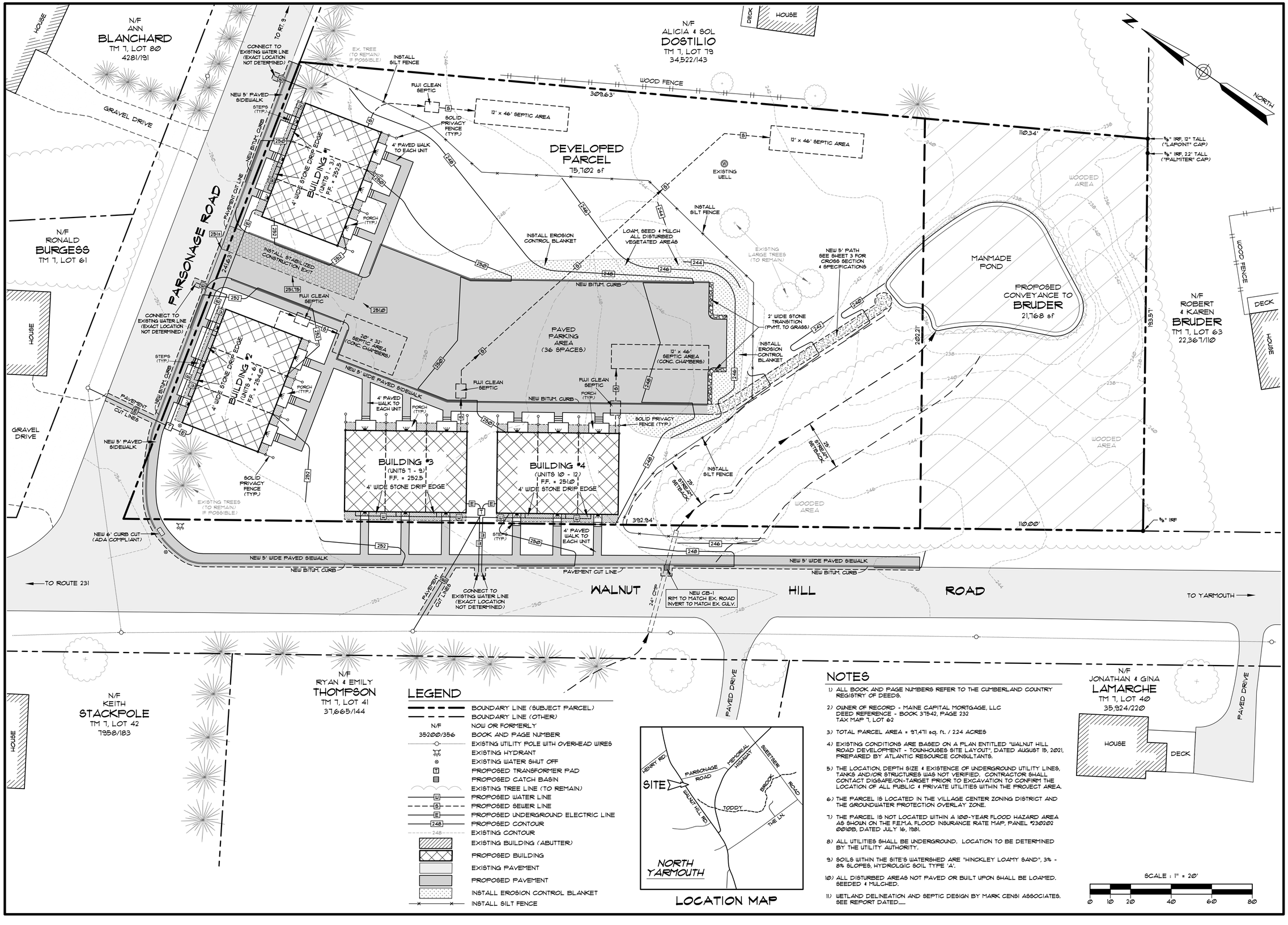
SJR ENGINEERING, INC.
16 THURSTON DRIVE
MONMOUTH, MAINE 04259
(207) 242-6248 tel
steve@sjreng.com
SJR ENGINEERING

SITE & DEMOLITION PLAN

KENNEY COMMONS
521 WALNUT HILL ROAD - NORTH YARMOUTH MAINE
PREPARED FOR
MAINE CAPITAL MORTGAGE, LLC
4 CITY CENTER - PORTLAND, MAINE 04101

DATE	PROJECT
FEB. 2022	2022-12
DRAWN BY	SCALE
SJR	1" = 20'

SHEET 1



LEGEND

- BOUNDARY LINE (SUBJECT PARCEL)
- BOUNDARY LINE (OTHER)
- N/F — NOW OR FORMERLY
- 35200/356 — BOOK AND PAGE NUMBER
- EXISTING UTILITY POLE WITH OVERHEAD WIRES
- EXISTING HYDRANT
- EXISTING WATER SHUT OFF
- PROPOSED TRANSFORMER PAD
- PROPOSED CATCH BASIN
- EXISTING TREE LINE (TO REMAIN)
- PROPOSED WATER LINE
- PROPOSED SEWER LINE
- PROPOSED UNDERGROUND ELECTRIC LINE
- PROPOSED CONTOUR
- EXISTING CONTOUR
- EXISTING BUILDING (ABUTTER)
- PROPOSED BUILDING
- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- INSTALL EROSION CONTROL BLANKET
- INSTALL SILT FENCE

LOCATION MAP

NOTES

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11) WETLAND DELINEATION AND SEPTIC DESIGN BY MARK CENSI ASSOCIATES. SEE REPORT DATED____

SCALE : 1" = 20'

0 10 20 40 60 80

STATE OF MAINE — STEPHEN J ROBERTS — #4853 — REGISTERED PROFESSIONAL ENGINEER

FOR APPROVALS ONLY

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GRADING & EROSION CONTROL PLAN
KENNEY COMMONS
521 WALNUT HILL ROAD - NORTH YARMOUTH MAINE
PREPARED FOR
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4 CITY CENTER - PORTLAND, MAINE 04101

DATE	PROJECT
FEB. 2022	2022-12
DRAWN BY	SCALE
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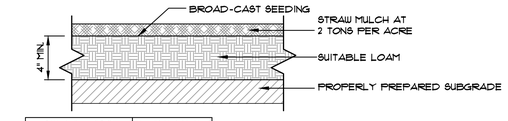
SHEET 2

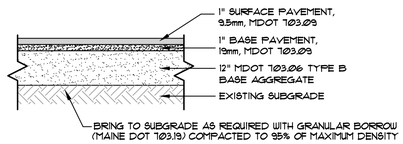


PERMANENT SEED MIX	APPLICATION RATE
	lbs/1000 sf
KENTUCKY BLUEGRASS	.46
CREEPING RED FESCUE	.46
PERENNIAL RYEGRASS	.11
TOTAL SEED RATE	1.03

PLACE LOAM & SEED ON ALL DISTURBED AREAS NOT TO BE RIP RAPPED OR GRAVELED

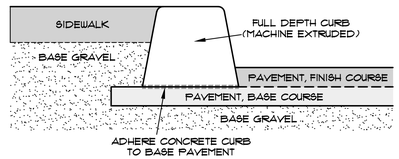
LOAM & SEED DETAIL

NOT TO SCALE



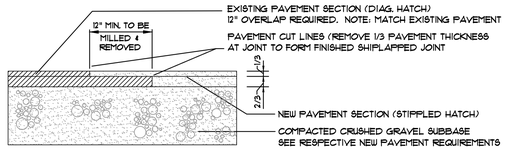
SIDEWALK CROSS SECTION

NOT TO SCALE



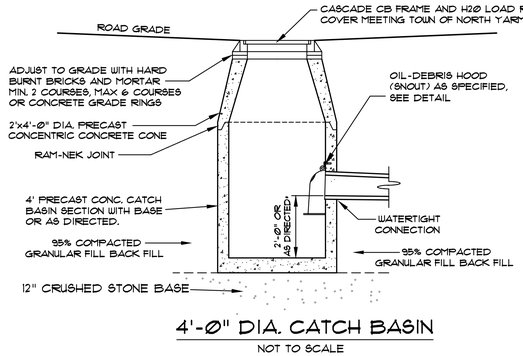
CONCRETE CURB CROSS SECTION

NOT TO SCALE



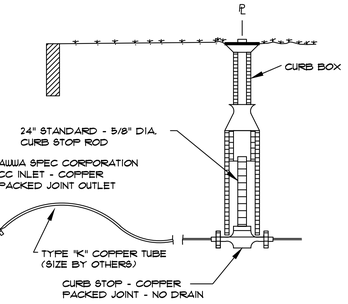
PAVEMENT SAWCUT JOINT DETAIL

NOT TO SCALE



4'-0" DIA. CATCH BASIN

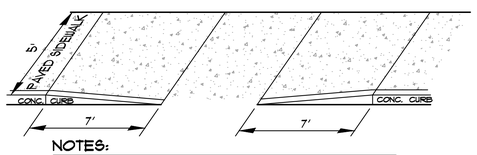
NOT TO SCALE



NOTE: INSTALL 6' (8" IN ROCK) OF SAND, OR WATER DISTRICT APPROVED BACKFILL, ALL AROUND SERVICE LINE.

TYPICAL DOMESTIC WATER SERVICE

NOT TO SCALE

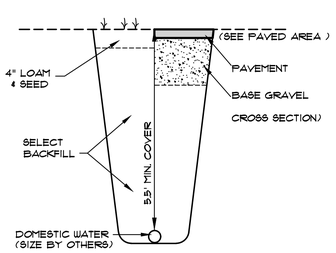


NOTES:

1) THE DIMENSIONS SHOWN AT ROADWAY EDGE ARE FIXED DISTANCES.
2) RAMP CROSS SECTION TO BE SAME AS ADJACENT SIDEWALK (DEPTH OF SURFACE AND FOUNDATION)
3) IN NO CASE ARE THE RAMPS TO BE PLACED BEHIND THE STOP LINE.

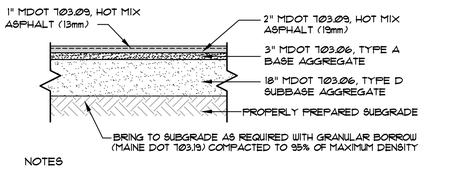
SIDEWALK TIPDOWN DETAIL

NOT TO SCALE



WATER SERVICE TRENCH DETAIL

NOT TO SCALE

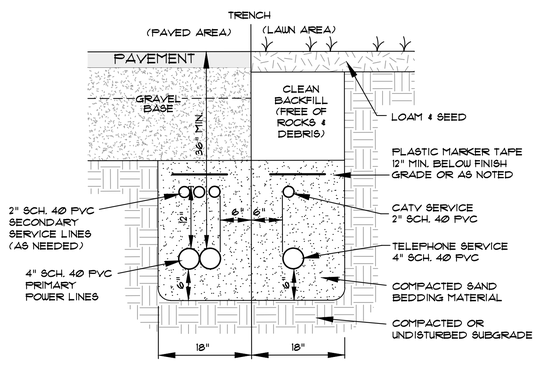


NOTES

1) COMPACT GRAVEL SUBBASE, BASE COURSE TO 95% OF THEIR MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557.
2) HOT MIX ASPHALT PAVEMENT MUST BE COMPACTED TO 92%-97% OF ITS THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM D-2041.
3) A TACK COAT MUST BE USED BETWEEN SUCCESSIVE LIFTS OF BITUMINOUS PAVEMENT.
4) PROVIDE NON-FROST SUSCEPTIBLE COMPACTED FILL GRANULAR BORROW (MDOT 703.19) BELOW PAVEMENT IN FILL AREAS.
5) CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

PAVED AREA CROSS SECTION

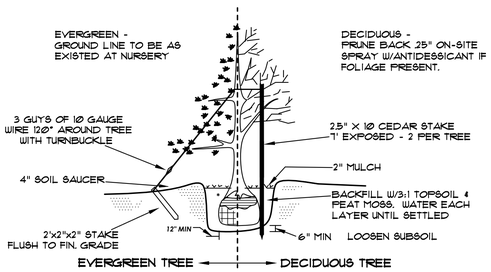
NOT TO SCALE



NOTE: ALL WORK IS TO COMPLY WITH THE RESPECTIVE UTILITY COMPANY STANDARDS

UNDERGROUND UTILITY TRENCH DETAIL

NOT TO SCALE



NOTE: WRAP DECIDUOUS TREES (1" CAL.+) WITH BURLAP OR ASPHALTIC KRINKLE KRAFT TREE WRAP.

NOTE: STREET TREES OF NURSERY STOCK CONFORMING TO THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN.

TREE PLANTING DETAIL

NOT TO SCALE

GENERAL NOTES

1) SEE SHEET 1 FOR SITE SPECIFIC NOTES.

2) THE CONTRACT WORK TO BE PERFORMED ON THIS PROJECT CONSISTS OF FURNISHING ALL REQUIRED LABOR, MATERIALS, EQUIPMENT, IMPLEMENTS, PARTS AND SUPPLIES NECESSARY FOR OR APPURTENANT TO, THE INSTALLATION OF CONSTRUCTION IMPROVEMENTS IN ACCORDANCE WITH THESE DRAWINGS AND AS FURTHER ELABORATED IN ANY ACCOMPANYING SPECIFICATIONS.

3) THE WORK SHALL BE PERFORMED IN A THOROUGH WORKMANLIKE MANNER. ALL CONTRACTORS TO CONFORM TO ALL APPLICABLE OSHA STANDARDS. ANY REFERENCE TO A SPECIFICATION OR DESIGNATION OF THE AMERICAN SOCIETY FOR TESTING MATERIALS, FEDERAL SPECIFICATIONS, OR OTHER STANDARDS, CODES OR ORDERS, REFERS TO THE MOST RECENT OR LATEST SPECIFICATION OR DESIGNATION.

4) ALL CONSTRUCTION WITHIN THE TOWN OF NORTH YARMOUTH RIGHT OF WAY SHALL COMPLY WITH CITY PUBLIC WORKS STANDARDS. ALL UTILITY CONSTRUCTION SHALL CONFORM TO RESPECTIVE UTILITY STANDARDS.

5) THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY THE TOWN OF NORTH YARMOUTH PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF AUGUSTA AND/OR MDOT, REQUIRED TO PERFORM ALL THE WORK (STREET OPENINGS, BUILDING PERMIT, ETC.). THE CONTRACTOR SHALL POST ALL BONDS AS REQUIRED, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.

6) PRIOR TO CONSTRUCTION, THE SITE CONTRACTOR IS TO INFORM ALL AREA UTILITY COMPANIES AND GOVERNMENTAL AGENCIES OF PLANNED CONSTRUCTION. THE SITE CONTRACTOR IS REQUIRED TO CONTACT DIG-SAFE (811) AT LEAST 3 BUSINESS DAYS PRIOR TO ANY EXCAVATION TO VERIFY ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS.

7) THE PROJECT DRAWINGS ARE GENERALLY SCHEMATIC AND INDICATE THE POSSIBLE LOCATION OF EXISTING UNDERGROUND UTILITIES. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY MAPS, MUNICIPAL RECORD MAPS, AND FIELD SURVEY. IT IS NOT GUARANTEED TO BE CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SERVICES, WHEN THOSE SERVICES ARE TO BE LEFT IN PLACE. THE CONTRACTOR IS TO PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING THE EXCAVATING AND BACKFILLING OPERATIONS. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED UTILITIES BE FOUND, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.

8) OSHA REGULATIONS MAKE IT UNLAWFUL TO OPERATE CRANES, BOOMS, HOISTS, ETC. WITHIN TEN FEET (10') OF ANY ELECTRIC LINE. IF THE CONTRACTOR MUST OPERATE CLOSER THAN 10', THE CONTRACTOR MUST CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS BEFORE ENCROACHING ON THIS REQUIREMENT.

9) IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLANS, APPROVALS, AND DETAILS FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL THE SITE CONDITIONS IN THE FIELD AND CONTACT THE DESIGN ENGINEER IF THERE ARE ANY DISCREPANCIES REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT AN APPROPRIATE REVISION CAN BE MADE PRIOR TO BIDDING.

10) ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED IN WRITING BY THE OWNER, DESIGN ENGINEER, AND APPROPRIATE GOVERNMENTAL AGENCY PRIOR TO INSTALLATION.

11) THE CONTRACTOR SHALL RESTORE ALL UTILITY STRUCTURES, PIPE, UTILITIES, PAVEMENT, CURBS, SIDEWALKS, AND LANDSCAPED AREAS DISTURBED BY CONSTRUCTION TO AS GOOD AS BEFORE BEING DISTURBED AS DETERMINED BY THE CITY OF AUGUSTA CEO. ANY DAMAGES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

12) TRAFFIC CONTROL MEASURES SHALL BE UTILIZED IN ACCORDANCE WITH MAINE DOT STANDARDS. THE CONTRACTOR SHALL PROVIDE, MAINTAIN AND PROTECT TRAFFIC CONTROL DEVICES TO THE EXTENT REQUIRED BY LAW FOR THE PROTECTION OF THE PUBLIC CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, AND UNIFORMED TRAFFIC CONTROL PERSONNEL AS REQUIRED OR ORDERED BY THE DESIGN ENGINEER OR CODE ENFORCEMENT PERSONNEL. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE TOWN . PAVEMENT MARKINGS SHALL BE FAST DRYING TYPE IN ACCORDANCE WITH MDOT SPECIFICATIONS. TUELVE INCH (12") WIDE STOP BAR AND FOUR INCH (4") WIDE STRIPES SHALL BE LOCATED AS SHOWN ON THE PLANS.

13) THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF ALL PRODUCT, MATERIALS AND PLANT SPECIFICATIONS TO THE OWNER AND DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 10 WORKING DAYS FOR REVIEW.

14) THE CONTRACTOR SHALL RETAIN AN INDEPENDENT TESTING LABORATORY FOR SOIL AND PAVEMENT MATERIALS AND COMPACTION TESTING AT NO COST TO THE OWNER. RESULTS OF THE TESTING ARE TO BE SUPPLIED TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COSTS ASSOCIATED WITH ANY RECONSTRUCTION AND RE-TESTING OF UNSATISFACTORY SOILS.

15) ALL EXCAVATION SHALL BE BACKFILLED TO EXISTING GRADE BEFORE THE END OF THE DAY OR ADEQUATELY PROTECTED FROM DANGER TO HUMANS AND ANIMALS.

16) THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL FIELD LAYOUT. THE OWNER WILL PROVIDE A BENCH MARK AT THE CONSTRUCTION SITE FROM WHICH TO BEGIN LAYOUT.

17) THE CONTRACTOR SHALL FURNISH ELECTRICAL POWER, WATER, AND SANITARY FACILITIES FOR HIS EXCLUSIVE USE AT THE CONSTRUCTION SITE SHOULD THE CONTRACTOR DEEM THIS ESSENTIAL FOR THE PROPER PERFORMANCE OF THE CONTRACT.

18) WORK MAY PROGRESS MONDAY THROUGH SATURDAY 7:00 AM TO 7:00 PM. WORK AT OTHER TIMES MAY PROCEED UPON WRITTEN APPROVAL BY THE OWNER AND THE TOWN OF NORTH YARMOUTH. THE CONTRACTOR SHALL BE REQUIRED TO CONFORM WITH ALL RULES AND REGULATIONS SET FORTH IN THE CITY LAND USE ORDINANCE REGULATIONS.

19) THE CONTRACTOR SHALL GUARANTEE THE FAITHFUL REMEDY OF ANY DEFECTS DUE TO FAULTY MATERIALS OR WORKMANSHIP AND GUARANTEES PAYMENT FOR ANY RESULTING DAMAGE WHICH SHALL APPEAR WITHIN A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT.

20) THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.

21) A PRE-CONSTRUCTION CONFERENCE WITH THE OWNER, DESIGNERS, TOWN OFFICIALS AND CONTRACTOR SHALL BE REQUIRED BEFORE ANY CONSTRUCTION OCCURS ON THE PROJECT. DURING CONSTRUCTION, THERE SHALL BE WEEKLY PROGRESS MEETINGS WITH THE OWNER (ON SITE OR TELECONFERENCE) UNTIL PROJECT COMPLETION.

22) PROPER IMPLEMENTATION AND MAINTENANCE OF EROSION CONTROL MEASURES ARE OF PARAMOUNT IMPORTANCE FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ONSITE INSPECTIONS OF THE OWNER, THEIR REPRESENTATIVES, OR STATE/LOCAL/FEDERAL INSPECTORS AT NO ADDITIONAL COST TO THE OWNER.

23) ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE THEIR OWN MATERIAL SCHEDULES BASED UPON PLAN REVIEW.ALL SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING THE WORK. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MDOT STANDARD SPECIFICATIONS, LATEST REVISION.

GRADING AND DRAINAGE NOTES

1) UNLESS OTHERWISE NOTED, STORM DRAIN PIPE SHALL BE IN ACCORDANCE WITH MDOT SPECIFICATIONS SECTION 603 PIPE CULVERTS AND STORM DRAINS, LATEST REVISION WITH THE EXCEPTION THAT THE ONLY ACCEPTABLE TYPES OF PIPE ARE AS FOLLOWS: REINFORCED CONCRETE PIPE, HDPE/SMOOTH INTERIOR CORRUGATED PLASTIC PIPE.

2) HDPE/SMOOTH INTERIOR CORRUGATED PLASTIC PIPE (SICP) MAY ONLY BE USED FOR PIPE SIZES 48" DIAMETER AND SMALLER.

3) TOPSOIL STRIPPED IN AREAS OF CONSTRUCTION THAT IS SUITABLE FOR REUSE AS LOAM SHALL BE STOCKPILED ON SITE AT A LOCATION TO DESIGNATED BY THE OWNER. UNSUITABLE SOIL SHALL BE SEPARATED, REMOVED AND DISPOSED OF AT AN APPROVED DISPOSAL LOCATION OFFSITE.

4) ALL EXISTING STRUCTURES, FENCING, TREES, ETC., WITHIN THE CONSTRUCTION AREA, UNLESS OTHERWISE NOTED TO REMAIN, SHALL BE REMOVED AND DISPOSED OF OFFSITE. ANY BURNING ONSITE SHALL BE SUBJECT TO TO LOCAL ORDINANCES AND PROJECT SPECIFICATIONS.

5) THE SITE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND PIPING ON-SITE OR IN THE RIGHT OF WAY PRIOR TO EXCAVATION. THE CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO GRADING/EXCAVATION START.

6) SITE EXCAVATION AND FILL-IN-PLACE TO ESTABLISH THE DESIRED SUB-GRADE SHALL BE SCHEDULED SUCH THAT EROSION CONTROL PRACTICES ARE IN PLACE AND FUNCTIONING DOWN-GRADIENT OF THE EARTHWORK PRIOR TO THE START OF EARTHMOVING ACTIVITIES.

7) BASED ON FEMA MAPPING, NO AREA WITHIN THE SITE BOUNDARIES IS IN THE 100 YEAR FLOOD PLAIN.

LAYOUT NOTES

1) ALL SIGNS INDICATED ON THE PLANS ARE TO MEET ALL REQUIREMENTS AND STANDARDS OF THE MDOT AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

2) PROPERTY LINE AND RIGHT OF WAY MONUMENTS SHALL NOT BE DISTURBED BY CONSTRUCTION. IF DISTURBED, THEY SHALL BE RESET TO THEIR ORIGINAL LOCATIONS AT THE CONTRACTORS EXPENSE BY A MAINE PROFESSIONAL LAND SURVEYOR.

STATE OF MAINE * STEPHEN J ROBERTS #4859 * REGISTERED PROFESSIONAL ENGINEER
FOR APPROVALS ONLY

REV:	BY:	DATE:	CHANGES:

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SJR ENGINEERING, INC.

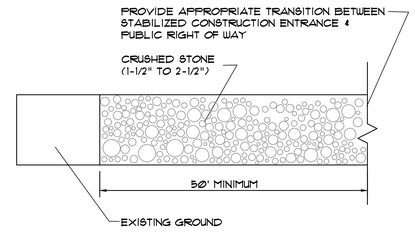
SJR ENGINEERING, INC.
16 THURSTON DRIVE
MONMOUTH, MAINE 04259
(207) 632-1676 tel & fax
steve@sjreng.com
SJR ENGINEERING

CONSTRUCTION NOTES & DETAILS
KENNEY COMMONS
521 WALNUT HILL ROAD - NORTH YARMOUTH MAINE
PREPARED FOR
MAINE CAPITAL MORTGAGE, LLC
4 CITY CENTER - PORTLAND, MAINE 04101

DATE	PROJECT
FEB. 2022	2022-12
DRAWN BY	SCALE
SJR	N.T.S.

SHEET 3

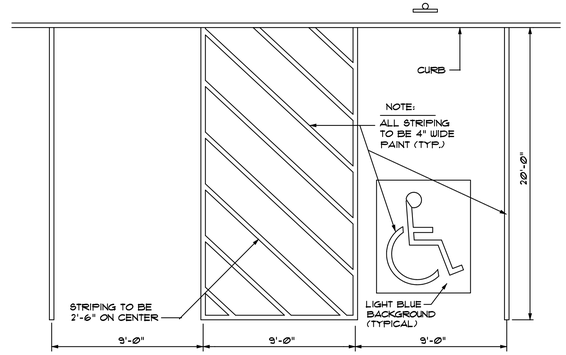
SUPERHUMUS SPECIFICATION SHEET



1. STONE SIZE - AASHTO DESIGNATION M 43, SIZE #2 (2½" - 1½") USE CRUSHED STONE
2. LENGTH - AS EFFECTIVE BUT NOT LESS THAN 50'
3. THICKNESS - NOT LESS THAN 8"
4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS
5. WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS, OR OTHER APPROVED METHODS.
6. MAINTENANCE - THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURED USES TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT OF WAYS MUST BE REMOVED IMMEDIATELY.

STABILIZED CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE



HANDICAPPED PARKING SPACE DETAIL

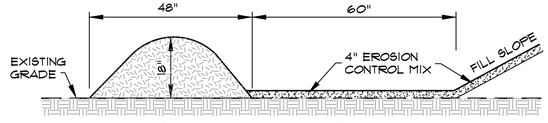
NOT TO SCALE

THE FILTER BERM SHALL CONSIST OF A WOOD WASTE COMPOST/BARK MULCH MIX OR RECYCLED COMPOSTED BARK FLUME GRIT AND FRAGMENTED WOOD GENERATED FROM WATER FLUME LOG HANDLING SYSTEMS. COMPARABLE COMPOSTED MIXES CAN BE USED UPON WRITTEN APPROVAL OF THE ENGINEER.

THE MIX SHALL CONFORM TO THE FOLLOWING: pH BETWEEN 5.0-8.0, PARTICLE SIZE - 100% PASSING THROUGH A 6" SCREEN AND 80% RETAINED ON A ¾" SCREEN, SOLUBLE SALTS CONTENT SHALL BE LESS THAN 4.0 mmhos/cm.

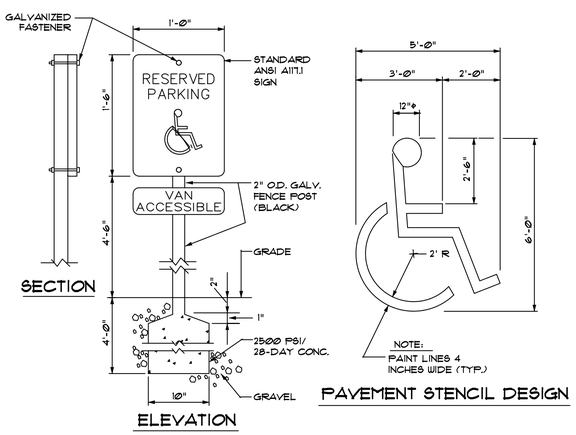
THE COMPOSTED BERM SHALL BE PLACED, UNCOMPACTED, ALONG A RELATIVELY LEVEL CONTOUR.

THE BERM MAY BE USED IN COMBINATION WITH SILT FENCE TO IMPROVE SEDIMENT REMOVAL AND PREVENT CLOGGING OF THE BERM BY LARGER SEDIMENT PARTICLES (SILT FENCE PLACED ON THE UPHILL SIDE OF BERM).



EROSION CONTROL FILTER BERM

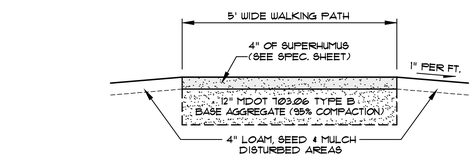
NOT TO SCALE



PAVEMENT STENCIL DESIGN

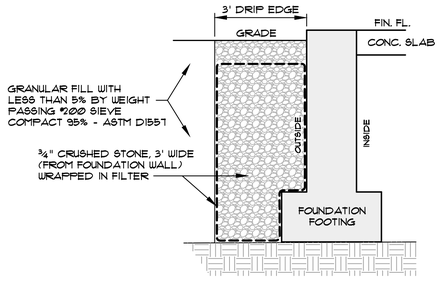
HANDICAP SIGN DETAIL

NOT TO SCALE



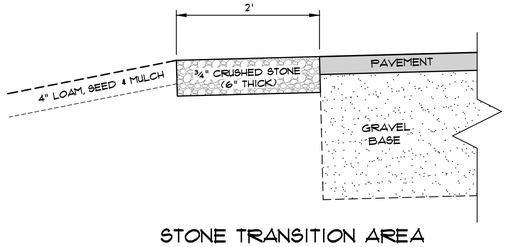
FOOTPATH AND SIDE SLOPE CROSS SECTION

NOT TO SCALE



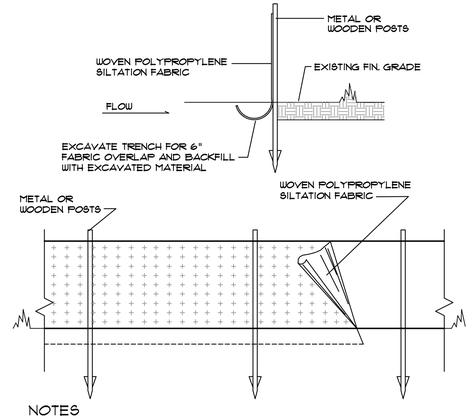
FOUNDATION UNDERDRAIN DETAIL
STONE DRIP EDGE

NOT TO SCALE



STONE TRANSITION AREA
PAVEMENT TO GRASS

NOT TO SCALE



NOTES

REFERENCE IS MADE TO THE BEST MANAGEMENT PRACTICE FOR EROSION AND SEDIMENT CONTROL: B-1 SEDIMENT BARRIERS.

SILTATION FABRIC WITH INTEGRAL MESH AND POSTS MAY BE USED.

EROSION CONTROL FILTER BERM IS AN ACCEPTABLE ALTERNATIVE TO SILT FENCING.

SILT FENCE DETAIL

NOT TO SCALE

STATE OF MAINE * STEPHEN J. ROBERTS #4837 REGISTERED PROFESSIONAL ENGINEER
FOR APPROVALS ONLY

REV:	BY:	DATE:	CHANGES:

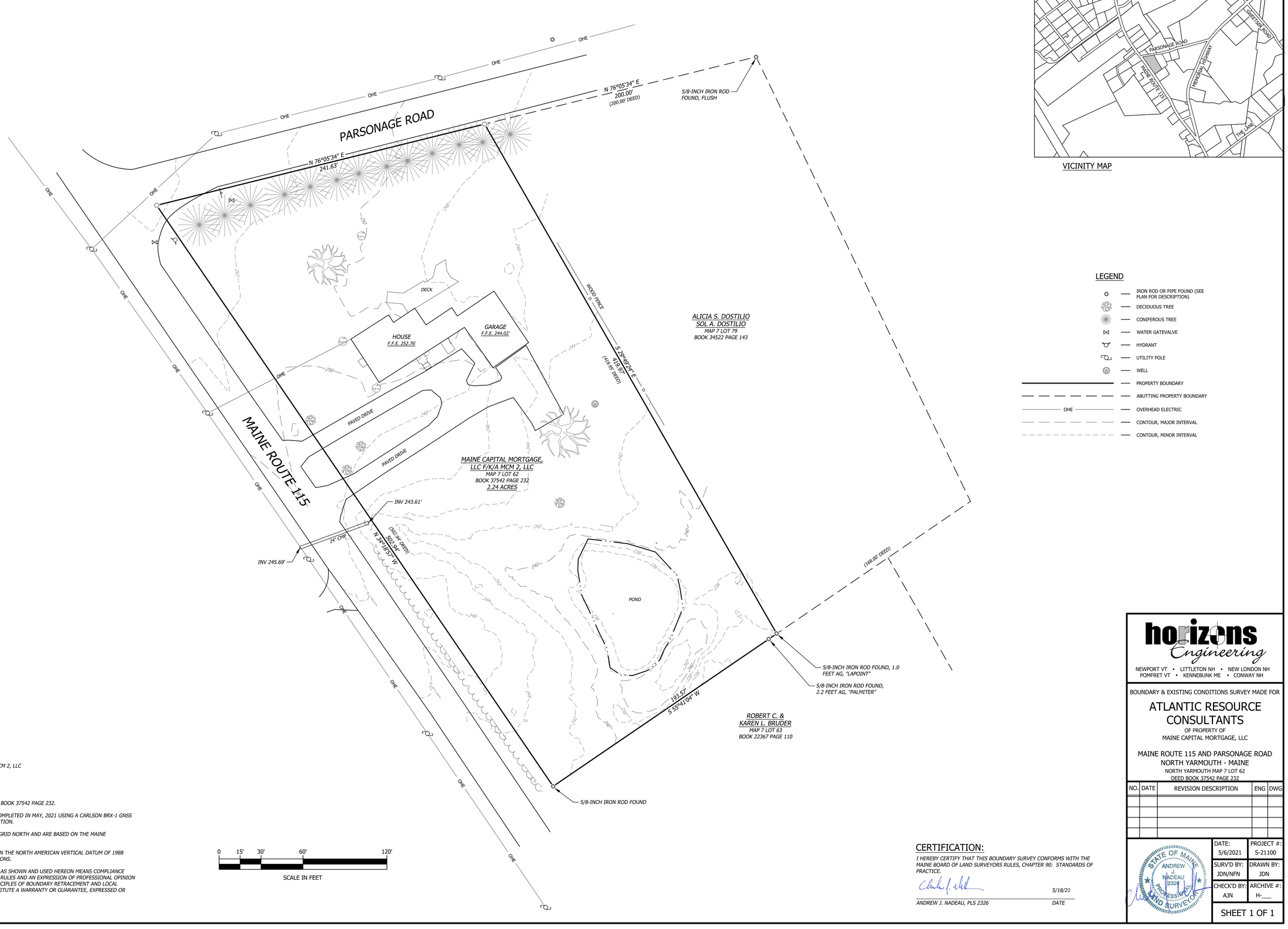
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SJR ENGINEERING, INC.

SJR ENGINEERING, INC.
16 THURSTON DRIVE
MONMOUTH, MAINE 04259
(207) 622-1676 tel & fax
steve@sjreng.com
SJR ENGINEERING

CONSTRUCTION DETAILS
KENNEY COMMONS
521 WALNUT HILL ROAD - NORTH YARMOUTH MAINE
PREPARED FOR
MAINE CAPITAL MORTGAGE, LLC
4 CITY CENTER - PORTLAND, MAINE 04101

DATE	PROJECT
FEB. 2022	2022-12
DRAWN BY	SCALE
SJR	N.T.S.

SHEET 4



VICINITY MAP

LEGEND

- IRON ROD OR PIPE FOUND (SEE PLAN FOR DESCRIPTION)
- DECIDUOUS TREE
- CONIFEROUS TREE
- WATER GATEVALVE
- HYDRANT
- UTILITY POLE
- WELL
- PROPERTY BOUNDARY
- ABUTTING PROPERTY BOUNDARY
- OHE — OVERHEAD ELECTRIC
- CONTOUR, MAJOR INTERVAL
- CONTOUR, MINOR INTERVAL

GENERAL NOTES

1. OWNER OF RECORD:
   MAINE CAPITAL MORTGAGE, LLC F/K/A MCM 2, LLC
   4 CITY CENTER
   PORTLAND, ME 04101
2. REFERENCE DEED:
   CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 37542 PAGE 232.
3. THIS PLAN IS BASED ON A FIELD SURVEY COMPLETED IN MAY, 2021 USING A CARLSON BRX-1 GNSS AND LEICA TPS SERIES ROBOTIC TOTAL STATION.
4. THE BEARINGS SHOWN HEREON REFER TO GRID NORTH AND ARE BASED ON THE MAINE COORDINATE SYSTEM.
5. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND ARE BASED ON STATIC GPS OBSERVATIONS.
6. THE WORD "CERTIFY" OR "CERTIFICATION" AS SHOWN AND USED HEREON MEANS COMPLIANCE WITH APPLICABLE LAND SURVEY LAWS AND RULES AND AN EXPRESSION OF PROFESSIONAL OPINION BASED ON THE FACTS OF THE SURVEY, PRINCIPLES OF BOUNDARY RETRACEMENT AND LOCAL STANDARD OF CARE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.

CERTIFICATION:

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY CONFORMS WITH THE MAINE BOARD OF LAND SURVEYORS RULES, CHAPTER 90: STANDARDS OF PRACTICE.

ANDREW J. NADEAU, PLS 2326 — DATE 5/18/21

horizons Engineering
NEWPORT VT • LITTLETON NH • NEW LONDON NH
POMFRET VT • KENNEBUNK ME • CONWAY NH

BOUNDARY & EXISTING CONDITIONS SURVEY MADE FOR

ATLANTIC RESOURCE CONSULTANTS

OF PROPERTY OF
MAINE CAPITAL MORTGAGE, LLC

MAINE ROUTE 115 AND PARSONAGE ROAD
NORTH YARMOUTH - MAINE
NORTH YARMOUTH MAP 7 LOT 62
DEED BOOK 37542 PAGE 232

NO.	DATE	REVISION DESCRIPTION	ENG	DWG

STATE OF MAINE — ANDREW J. NADEAU 2326 — PROFESSIONAL LAND SURVEYOR

DATE: 5/6/2021	PROJECT #: S-21100
SURV'D BY: JDN/NFN	DRAWN BY: JDN
CHECK'D BY: AJN	ARCHIVE #: H-___

SHEET 1 OF 1