

# Proposed Amendments



## Town of North Yarmouth

# Land Use Ordinance

# I. GENERAL PROVISIONS

## SECTION 1.3 PURPOSE

- A. To implement the provisions of the town's duly adopted Comprehensive Plan, ~~adopted March-13, 2004,~~ as amended from time to time.

## SECTION 1.8 CONTRACT ZONING

### A. Authorization:

Pursuant to 30-A M.R.S.A. § 4352(8), contract zoning is hereby authorized for rezoning of property where, for reasons such as the unusual nature or unique location of the development proposed, the ~~Board of Selectmen~~ Select Board finds it necessary or appropriate to modify the zoning district regulations applicable to a parcel of land, which will allow reasonable uses of the land and activities which would not have been permitted by the existing zoning district regulations but which remain consistent with the Town of North Yarmouth's Comprehensive Plan, and compatible with the existing and permitted uses within the existing zoning district classification. Nothing in this section shall authorize a rezoning, or an agreement to change or retain a zone, which is inconsistent with the Town's Comprehensive Plan.

~~In consideration of a request for a change in zoning classification for~~ Considering a request for a contract zone agreement for a particular property or group of properties under this section, the ~~Board of Selectmen~~ Select Board may impose certain conditions and restrictions on the use of the property where it finds:

- a. that such conditions and restrictions are necessary to protect the public health, safety, and general welfare;
- b. ~~and~~ when the ~~Board of Selectman~~ Select Board seek to advance desired land use objectives consistent with the Comprehensive Plan, and
- c. ~~and~~ where such uses provide a public purpose or benefit.

### B. Standards:

4. The proposed contract zoning agreement shall clearly describe the extent of variation (if any) from the ~~lot~~ standards for the zone in which the parcel is located, and may include site plan drawings and all other pertinent information to support the contract.

### C. Conditions and Restrictions:

Conditions and restrictions imposed by the ~~Board of Selectmen~~ Select Board under the authority of this section shall relate only to the physical development and operation of the property and may include, but shall not be limited to, the following:

1. Limitation of the number and type of permitted uses of the property.
2. ~~The height and lot coverage of any structure~~ Restrictions on the scale and density of development
3. Specifications for the design and layout of building(s), accessory buildings and other site improvements
4. ~~The setback of any structure.~~ Contributions toward the provision of municipal services required by or a
5. The hours of operation for the proposed use.
6. ~~The installation, operation and maintenance of physical improvements, such as parking-lots, traffic control devices, fencing, shrubbery and screening.~~

6. The creation or preservation of open space areas or buffer zones, protection of natural areas and historic features.
7. The dedication of property, undeveloped or improved, for public purposes, such as streets, sidewalks and trails, parks, utility systems, and conservation easements.
8. Schedules for commencement and completion of construction.
9. Provisions for enforcement and remedies for breach of any condition restriction.
10. Performance guarantees securing completion and maintenance of improvements, and guarantees against defects;

**D. Notice Requirements and Procedures:**

2. In accordance with 30-A M.R.S.A. §4352(8), the Planning Board shall hold a public hearing. Notice of this hearing shall be posted in the town office at least thirteen (13) days prior to the public hearing and shall be published in a newspaper of general circulation within the town at least two (2) times, the date of the first publication must be at least twelve (12) days prior to the hearing and the second notice at least seven (7) days prior to the hearing. Notice shall also be sent to the property owner and all abutters within a five-hundred foot (500 ft.) radius of the boundary lines of the property to be rezoned being considered for contract zoning at their last-known address. This notice shall contain a copy of the proposed conditions and restrictions, with a map indicating the property to be rezoned.
3. After holding a public hearing, ~~T~~the Planning Board shall make a recommendation to the ~~Board of Selectmen~~ Select Board on the proposal and its conformance with the Town's Comprehensive Plan and land use goals, along with recommended conditions and restrictions. This recommendation is advisory in nature; the ~~Board of Selectmen~~ Select Board may act independently of the recommendation of the Planning Board.
4. The ~~Board of Selectmen~~ Select Board shall hold a public hearing and, following any testimony, approve, modify or deny the contract zoning request. If ~~t~~the ~~Board of Selectmen~~ Select Board modifies the proposal by doing any one or more of the following, the proposal will need to be referred back-again to the Planning Board for a public hearing and subsequent recommendation to the ~~Board of Selectmen~~ Select Board:
  - a. Adds to the list of permitted uses or activities or hours of operation;
  - b. Substantially modifies restrictions on the scale and density of development
  - c. Substantially modifies specifications for the design and layout of building(s), accessory buildings and other site improvements
  - d. ~~b~~. Eliminates or makes less restrictive performance standards
  - e. ~~Reduces setback requirements~~;
  - d. ~~Increases the density beyond that allowed in the zone~~;

### **III. ADMINISTRATION AND ENFORCEMENT**

#### **SECTION 3.3 BUILDING/LAND USE PERMITS [Amended 5/17/08]**

**A. Submissions:** The application shall be accompanied by the following information:

8. If the proposed development is located within the Village Center District, a scaled drawing providing evidence that the proposed building, renovation, or addition complies with Section 10.4 Building Standards.

## SECTION 3.9 CONFORMANCE WITH OTHER LAWS, REGULATIONS

- A. **General:** It is the applicant's responsibility to pursue all required local, state and federal permits. All existing and proposed land use activities shall be in conformance with all pertinent local, state, and federal ordinances, statutes, laws and regulations. The applicant must comply with all permit conditions and restrictions.

## IV. SITE PLAN REVIEW AND CONDITIONAL USE PROCEDURES

### SECTION 4.3 REVIEW AND APPROVAL AUTHORITY

- A. **Waivers of Application Requirements:** The Planning Board may waive any of the submission requirements based upon a written request by the applicant. Such request must be made at the time of the pre-application conference or at the initial review of the application if no pre-application conference is held and provide narrative justifying the request. A waiver of any submission requirement may be granted only if the Planning Board finds that the information is not required to determine compliance with the standards of this Ordinance.

### SECTION 4.4 PROCEDURES

A. **Pre-application Meeting Conference:**

1. Prior to submitting a formal application for Site Plan Review, the applicant is required to attend a pre-application meeting with the Planning Board. Additional staff may be invited to attend the pre-application meeting at the discretion of the CEO. ~~may request a pre-application conference with the CEO or the Planning Board. A pre-application conference is strongly advised for large commercial, industrial or institutional activities. A pre-application conference with the Planning Board is required for all applications for a Conditional Use Permit.~~ The pre-application ~~meeting conference~~ shall be informal and informational in nature. There shall be no fee for a pre-application review, and such review shall not cause the plan to be a pending application or proceeding under Title 1 M.R.S.A. §302. No decision on the substance of the plan shall be made at the pre-application meeting conference.
2. The purposes ~~of the pre-application meeting conference are~~ is to:
  - a. Allow the CEO, staff and Planning Board to understand the nature of the proposed development ~~use~~ and the issues involved,
  - c. Identify any issues that need to be addressed in ~~future submissions~~ the formal application, and
  - d. Make the applicant aware of any opportunities for coordinating the development with community policies, programs, or facilities.

~~d-~~ e. Schedule a Site Visit.
3. Site Visit Inspection: At the pre-application meeting, ~~t~~ The CEO/Planning Board may schedule a site ~~inspection~~ visit if deemed necessary, ~~and resolve any requests for waivers and variations from the submission requirements.~~
4. Information Required: There are no formal submission requirements for a pre-application ~~conference meeting.~~ However, the applicant is encouraged to submit a sketch plan and narrative, and be prepared to describe the following topics: ~~should be prepared to discuss the following topics:~~

- a. The proposed site, including its location, size, and general characteristics (a sketch plan of the site and proposed project is strongly recommended),
  - b. The nature of the proposed use and potential development,
  - c. A site inventory and analysis and a narrative and/or plan describing how the proposed development plan relates to the site inventory and analysis.
  - ~~b.d.~~ Copies of any available deeds and easements affecting the subject lot(s).
  - ~~e.e.~~ Any issues or questions about existing municipal regulations and their applicability to the project,
  - ~~d.f.~~ Any requests for waivers from the submission requirements.
5. Site Plan Review Applications within the Groundwater Protection Overlay District: The CEO shall notify the Yarmouth Water District of the date, time and place of the pre-application meeting conference at least 7 days prior to the conference if the proposed use is to be located within the Groundwater Protection Overlay District.

**B. Application Submission and Review Procedures:** The applicant shall prepare and submit a Site Plan Review application, including a development plan and supporting documentation meeting the submission requirements set forth below. This material shall be submitted to the Office of the CEO. ~~CEO. to make a preliminary determination of whether the application is complete before the application is placed on the Planning Board's agenda. The applicant shall notify by first-class mail all property owners within 500 feet of the parcel on which a proposed development is located at least 14 days prior to the meeting at which the application is to be considered. The applicant shall submit evidence of such notification. The notice shall include an accurate description of the project and the availability of the application for review. If the proposed use is located within the Groundwater Overlay District, the applicant shall mail a complete copy of the application to the Yarmouth Water District at least two weeks prior to the date of the first meeting at which the application is to be considered. [Amended 6/12/10]~~

- ~~1. The CEO shall make a preliminary determination of whether the application is complete before the application is placed on the Planning Board's agenda. At the first meeting at which the application is considered, the Planning Board shall authorize the CEO to give a dated receipt to the applicant. The Commission and Yarmouth Water District and other interested parties, as appropriate. [Amended 6/12/10] The CEO shall notify the Selectmen, Fire Chief, Road Commissioner, Building Inspector, Plumbing Inspector, Conservation Commission and Yarmouth Water District and other interested parties, as appropriate. [Amended 6/12/10]~~
2. The Office of the CEO shall circulate copies of the application to staff including but not limited to: Fire Chief, Road Commissioner, and Yarmouth Water District and other interested parties, as appropriate. [Amended 6/12/10]
3. The applicant shall notify by certified mail all property owners within 500 feet of the parcel on which a proposed development is located at least 14 days prior to the meeting at which the application is to be considered. The applicant shall submit evidence of such notification. The notice shall include an accurate description of the project and the availability of the application for review.
4. If the proposed use is located within the Groundwater Overlay District, the applicant shall mail a complete copy of the application to the Yarmouth Water District at least two weeks prior to the date of the first meeting at which the application is to be considered.

5. ~~2.~~ Within ~~60~~ 30 days of the receipt of a formal Site Plan Review application, the Planning Board shall review the material and determine whether or not the submission is complete. ~~–~~ If the application is determined to be incomplete, the Planning Board may vote to either table the application to a specific date and time or reject the application. ~~shall authorize T~~ the CEO ~~to~~ will notify the applicant in writing of this finding, ~~and shall specify the additional materials required to make the application complete. The CEO shall advise the applicant that the Planning Board will not consider the application until the additional information is submitted. These steps, except the notification requirements, shall be repeated until the application is found to be complete. If the application is rejected, a future submission will be reviewed as a new application.~~
6. ~~3.~~ **Public Hearing:** Upon a determination that a complete application has been submitted for review, the Planning Board may begin review of the site plan application or decide to schedule a public hearing is necessary. **A public hearing shall be required for all applications for a Conditional Use.** The hearing shall be held within 30 days of finding the application complete, or at the next regularly scheduled Board meeting, after the Board's determination it has received a complete application. The Board shall require that the applicant publish the notice of the date, time and place of the hearing in a newspaper of general circulation in the town at least 2 times, the date of the first publication to be at least 14 ~~7~~ days prior to the hearing. The CEO shall specify the newspaper of general circulation. The applicant shall provide a copy of the published notice in the newspaper. The Planning Board shall require that the applicant give written notice of the date, time, and place of the hearing to all persons who received the notice in Subsection B.1, above.
8. ~~5.~~ ~~On-site Inspection~~ Site Visit: The Planning Board may hold ~~an on-site inspection of the~~ visit to review the existing conditions, field verify the information submitted and investigate a development proposal. The Planning Board may schedule this visit either before or after the first meeting at which the application is considered. The Planning Board may decide not to hold ~~an on-site inspection~~ site visit when the site is snow covered. If an application is pending during a period when there is snow cover, the deadline by which the Planning Board shall ~~take~~ final action on the application as specified in Subsection B.6. below, may be extended, which extension shall not exceed 60 days after the Planning Board is able to conduct an on-site inspection. The CEO shall notify the applicant of the ~~on-site inspection~~ site visit.

#### **E. Submission Requirements:**

3. **All Other Applications for Site Plan Review and/or Conditional Use Approval**, other than a single family dwelling, accessory apartment or home occupation, must contain the following information:

#### **F. Proposed Development Activity:**

- ~~9.~~ ~~Graphic representations of how the development will look upon completion using artist renderings, photo manipulation, computer generated imaging or similar techniques. The submission of such graphic representations is encouraged for all applications and may be required by the Planning Board where they determine that the location, scale or nature of the proposal requires such graphic representations to enable the Board to evaluate the application under the performance and design standards of this Ordinance.~~
15. A utility plan showing, in addition to provisions for water supply and wastewater disposal, the location and nature of electrical, telephone, cable TV, and any other utility services to be installed on the site.

g. In addition to the information required above, the Planning Board may require any of the following additional information for a major development:

1) Graphic representations of how the development will look upon completion using artist renderings, photo manipulation, computer generated imaging or similar techniques. The submission of such graphic representations is encouraged for all applications and may be required by the Planning Board where they determine that the location, scale or nature of the proposal requires such graphic representations to enable the Board to evaluate the application under the performance and design standards of this Ordinance.

~~4) A site inventory and analysis and a narrative and/or plan describing how the proposed development plan relates to the site inventory and analysis.~~

9) 3) A planting schedule keyed to the site plan indicating the general varieties and sizes of trees, shrubs, and other vegetation to be planted on the site, as well as information pertaining to provisions that will be made to retain and protect existing trees, shrubs, and other vegetation.

~~5. The name, registration number, and seal of the architect, engineer, landscape architect and/or similar professional who prepared the plan.~~

~~6. A utility plan showing, in addition to provisions for water supply and wastewater disposal, the location and nature of electrical, telephone, cable TV, and any other utility services to be installed on the site.~~

~~7. A planting schedule keyed to the site plan indicating the general varieties and sizes of trees, shrubs, and other vegetation to be planted on the site, as well as information pertaining to provisions that will be made to retain and protect existing trees, shrubs, and other vegetation.~~

## **V. SUBDIVISION REVIEW PROCEDURES AND CRITERIA**

### **SECTION 5.3 PRE-APPLICATION MEETING, SKETCH PLAN AND SITE ~~INSPECTION~~ VISIT**

A. **Purpose:** The purpose of the pre-application meeting and ~~on-site inspection~~ site visit is for the applicant to present general information regarding the proposed subdivision to the Planning Board and receive the Board's comments prior to the expenditure of substantial sums of money on surveying, soils identification, and engineering by the applicant.

B. **Procedure:**

2. ~~Yarmouth Water District~~ Interested Stakeholders: The CEO shall invite the ~~Yarmouth Water District~~ Interested Stakeholders to this meeting if any portion of the subdivision is located within the Groundwater Protection Overlay District or if the subdivision intends to utilize the public water supply system. The Office of the CEO applicant shall provide a copy of the pre-application sketch plan to the Yarmouth Water District at least one week prior to the pre-application meeting.

C. **Submission:**

3. A copy of any available deeds, easements and encumbrances applicable to the proposed subdivision.

D. ~~On-Site Inspection~~ Site Visit: The Planning Board shall endeavor to hold ~~an on-site inspection~~ a site visit of the property within 30 days of the Pre-application meeting. The applicant shall place "flagging" at the centerline of any proposed streets, and at the approximate intersections of the street centerlines and lot corners, prior to the on-site inspection. The Planning Board shall reserve

the right to postpone the on-site inspection if the Board determines that the on-site inspection is not possible due to surface conditions of the site, such as, but not limited to, snow cover, flooding rains, and frozen ground, or due to the unavailability of Planning Board members.

- E. Rights not Vested:** The pre-application meeting, the submittal or review of the sketch plan or the ~~on-site inspection~~ site visit shall not be considered the initiation of the review process for the purposes of bringing the plan under the protection of Title 1 M.R.S.A. §302.

## **SECTION 5.5 MINOR SUBDIVISION**

### **B. Procedure:**

- a. Within 6 months after the ~~on-site inspection~~ site visit by the Planning Board, the applicant shall submit an application to the Code Enforcement Officer (CEO) for approval of a final plan at least 14 days prior to a scheduled meeting of the Planning Board. Failure to submit the application within 6 months shall require resubmission of the sketch plan to the Planning Board. The final plan shall approximate the layout shown on the sketch plan, plus any recommendations made by the Planning Board. [Amended 6/12/10]

## **SECTION 5.6 PRELIMINARY PLAN FOR MAJOR SUBDIVISION**

### **A. Procedure:**

1. Within 6 months after the ~~on-site inspection~~ site visit by the Planning Board, the applicant shall submit an application for approval of a preliminary plan to the CEO at least ~~14~~ 30 days prior to a scheduled meeting of the Planning Board. Failure to submit an application within 6 months shall require resubmission of the sketch plan to the Planning Board. The preliminary plan shall approximate the layout shown on the Sketch Plan, plus any recommendations made by the Planning Board.

## **SECTION 5.7 FINAL PLAN FOR MAJOR SUBDIVISION**

### **A. Procedure:**

1. Within 6 months after the approval of the preliminary plan, the applicant shall submit an application for approval of the final plan at least ~~14~~ 30 days prior to a scheduled meeting of the Planning Board. Applications shall be submitted to the Planning Board in care of the CEO. If the application for the final plan is not submitted within 6 months after preliminary plan approval, the Planning Board shall require resubmission of the preliminary plan, except as stipulated below. The final plan shall approximate the layout shown on the preliminary plan, plus any changes required by the Planning Board.
8. The Planning Board shall notify the North Yarmouth Road Commissioner, School Superintendent, local law enforcement, the Yarmouth Water District (if applicable) and North Yarmouth Fire Chief of the proposed subdivision, the number of dwelling units proposed, the length of streets and roads, and the size and construction characteristics of any permitted building types with multiple residential units, (apartments), multiplex, and commercial or industrial buildings. The Planning Board shall request that these officials comment upon the adequacy of their department's existing capital facilities to service the proposed subdivision.



## SECTION 5.10 INSPECTIONS AND ENFORCEMENT

### B. Violations and Enforcement:

6. No lot in a subdivision may be sold, leased, or otherwise conveyed before the road or street upon which the lot fronts is completed in accordance with these regulations up to and including the entire frontage of the lot. ~~No unit in a multiplex development shall be occupied before the road or street upon which the unit is accessed is completed in accordance with these regulations.~~

## VII. ZONING DISTRICT REGULATIONS

### SECTION 7.4 DISTRICT LAND USE TABLE

- A. **General:** All land use activities shall conform to the use, development, and performance and design standards of the district(s) in which such use is located, ~~and all standards identified in Article XI Performance and Design Standards for Specific Activities.~~ The following Table 7-1. Land Uses by District identifies which uses of land, buildings, or structures are permitted by right, permitted subject to review, and/or permitted subject to the issuance of a conditional use permit in the various districts. Throughout this Ordinance reference is made to Table 7-1. in which allowed uses, permitted uses, conditional uses and prohibited uses are organized by categories of use such as "residential uses" or "institutional uses." These headings or categories shall carry no legal meaning, but rather serve only for organizational purposes.

**TABLE 7.1 LAND USES BY ZONING DISTRICT [Amended 5/17/08<sup>1</sup>]**

**A = Allowed Use; P = Permitted Use (CEO Review); SPR = Site Plan Review (Planning Board Review)  
CU = Conditional Use (Planning Board Review); N = Prohibited Use**

USES	Village Center	Village Residential	Farm and Forest	Resource Protection	Residential Shoreland	Royal River Overlay*	Groundwater Overlay*
<b>Residential Uses</b>							
Single-family detached dwelling <sup>2</sup>	P	P	P	N <sup>3</sup>	P	SPR	P
Duplex	P	P	P	N	P	N	P
Manufactured housing - individual lot <sup>4</sup>	P	P	P	N	P	SPR	P
Conversions - seasonal to year-round residences	P	P	P	N	P	SPR	P
Mobile Home Park	CU/SPR	SPR	N	N	N	N	N
<del>Multiplex</del>	<del>SPR</del>	<del>SPR</del>	<del>N</del>	<del>N</del>	<del>N</del>	<del>N</del>	<del>SPR</del>
Apartments	CU/SPR	N	N	N	N	N	CU/SPR
Multiple Residential units above-ground floor mixed-use in a permitted Building Type <sup>9</sup>	SPR	SPR N	N	N	N	N	SPR
Accessory Apartment <sup>5</sup> [Amended 5/17/08]	P	P	P	N	N	N	P
Accessory use – Home Occupation <sup>6</sup>	P	P	P	N	SPR	SPR	SPR
Home heating fuel tanks & fuel storage (greater than 660 gallons of liquid fuel <sup>7</sup> per parcel of land)	SPR	SPR	SPR	N	N	N	N
Accessory use – Home Based Occupation <sup>8</sup> [Amended 5/30/09]	P	P	P	N	N	SPR	SPR
<b>Commercial and Industrial Uses</b>							
Beauty salons	SPR	CU/SPR	N	N	N	N	CU/SPR
Bed and breakfast	SPR	SPR	SPR**	N	N	N	SPR
Boat builders and refinishers	SPR	N	N	N	N	N	N
Business/professional office less than 2,000 sq.ft. gross floor area	SPR	SPR	CU/SPR* *	N	N	N	SPR
Business/professional office, 2,000 to 10,000 sq.ft. gross floor area	SPR	N	N	N	N	N	SPR
Retail sales/services, less than 2,000 sq.ft. gross floor area	SPR	SPR	N	N	N	N	SPR
Retail sales/services, 2,000 to 10,000 sq.ft. gross floor area	SPR	N	N	N	N	N	CU/SPR

Notes: \*Overlay Districts are regulations and standards in addition to those of the underlying district. Where there is a discrepancy, the more restrictive provision applies. All uses, including “Allowed Uses” must comply with the Overlay District Performance Standards. The Royal River Corridor Overlay District includes the Royal River, Chandler Brook and the East Branch.  
\*\*Can only be conversions of buildings in existence as of June 14, 2005.

<sup>1</sup> Tables were also reformatted to include blank lines for future amendments.

<sup>2</sup> Includes “community living arrangements” for 8 or fewer persons with disabilities as defined in 30-A M.R.S.A. Section 4357-A

<sup>3</sup> Single-family residential structures may be allowed by special exception only according to the provisions of Section 7-5. Special Exceptions. Two-family residential structures are prohibited.

<sup>4</sup> Shall meet the requirements of Section 11-5. Manufactured Housing On Individual Lots

<sup>5</sup> Shall meet the requirements of Section 11-1. Accessory Apartments

<sup>6</sup> Shall meet the requirements of Section 11-4. Home Occupations

<sup>7</sup> Propane tanks, or other tanks with liquefied gaseous fuels are allowed. Home heating fuel tanks and fuel storage of 660 gallons or less is allowed with all residential uses.

<sup>8</sup> Signs, exterior displays and any other indications of a home based occupation in a residential zone require conditional use approval from the Planning Board [Amended 5/30/09]

<sup>9</sup> See Article X Section 10.4 for permitted Building Types.

**TABLE 7.1 LAND USES BY ZONING DISTRICT (continued from prior page)**

**A = Allowed Use; P = Permitted Use (CEO Review); SPR = Site Plan Review (Planning Board Review)**

**CU = Conditional Use (Planning Board Review); N = Prohibited Use**

USES	Village Center	Village Residential	Farm and Forest	Resource Protection <sup>1</sup>	Residential Shoreland <sup>1</sup>	Royal River Overlay*	Groundwater Overlay*
<b>Utility Uses</b>							
Essential services, excepting the following (a. and b.) <sup>2</sup> [Amended 5/17/08]	P	P	P	SPR	SPR	P	CU/SPR
a. Roadside distribution lines (34.5kV and lower)	P	P	P	P	P	P	P
b. Non-roadside or cross-country distribution lines	P	P	P	SPR	SPR	SPR	P
Service drops, as defined, to allowed uses <sup>3</sup>	A	A	A	P	A	P	A
Public utility buildings	SPR	SPR	SPR	SPR	SPR	SPR	SPR
Oil pipelines	CU/SPR	CU/SPR	CU/SPR	CU/SPR	CU/SPR	CU/SPR	N
Telecommunications towers	SPR	CU/SPR	SPR	N	SPR	N	SPR
<b>Institutional Uses</b>							
Public and private schools	SPR	SPR	CU/SPR	N	N	N	SPR
<u>Public and private schools over 50,000 sq ft</u>	<u>CU/SPR</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>CU/SPR</u>
Day care and nursery schools	SPR	SPR	CU/SPR	N	N	N	SPR
Church including accessory residence	SPR	SPR	N	N	N	N	SPR
Cemetery <sup>5</sup>	SPR	SPR	P	N	N	N	N
Library and museum	SPR	SPR	N	N	N	N	SPR
Fraternal and social institutions	SPR	CU/SPR	CU/SPR	N	N	N	CU/SPR
Municipal and other governmental buildings	SPR	SPR	SPR	N	N	N	SPR
New municipal transfer stations	SPR	SPR	SPR	N	N	N	N
Municipal recycling facility	SPR	SPR	N	N	N	N	SPR
Nursing home/congregate care	SPR	CU/SPR	N	N	N	N	SPR <sup>4</sup>
Small non-residential facilities less than 5,000 sq.ft gross floor area for educational, scientific, or nature interpretation purposes	SPR	SPR	SPR	N	SPR	N	SPR

Notes: \*Overlay Districts are regulations and standards in addition to those of the underlying district. Where there is a discrepancy, the more restrictive provision applies. All uses, including "Allowed Uses" must comply with the Overlay District Performance Standards. The Royal River Corridor Overlay District includes the Royal River, Chandler Brook and the East Branch.

<sup>1</sup> See restrictions Section 9-1. Residential Shoreland District and Resource Protection District Standards.

<sup>2</sup> Utilities (gas, water, power lines etc.) excluding service drops and buildings, as defined in Article XII. Definitions.

<sup>3</sup> Electric and/or telephone utility line extensions, see restrictions in Section 9-1. Residential Shoreland District and Resource Protection District Standards.

<sup>4</sup> Must be served by sewer or advanced wastewater treatment systems for on-site sewage disposal.

<sup>5</sup> See Family Burial Ground

**TABLE 7.2 SPACE AND DIMENSIONAL REQUIREMENTS**

District	Minimum Lot Area (Acres)	Maximum Residential Density <sup>1</sup> (Acres)	Maximum Lot Coverage (%) <sup>2</sup>	Street Frontage <sup>3</sup> (Feet)	Structure Setback From Property Lines (Feet) <sup>6</sup>			Maximum Structure Height (Feet) <sup>4</sup>
					Front	Side	Rear	
Village Center	1 acre <sup>4</sup>	N/A	70%	<del>18</del> 20'-100'	0'-20' MAX	25' MAX	5' MIN	3 stories, no higher than 50 feet
Village Residential	1 acre	1 Residential unit per acre; Subdivisions – 1 residential unit per net residential acre	30%	Routes 9, 115 and 231 – 200 feet; Other streets – 100 feet	20' MIN	10' MIN	10' MIN	2.5 stories, no higher than 35 feet
Farm and Forest <sup>5</sup>	3 acres	1 Residential unit per 3 acres; Subdivisions– 1 residential unit per 3 net residential acres	20%	MIN 200 feet	50' MIN	20' MIN	20' MIN	2.5 stories, no higher than 35 feet
Residential Shoreland	3 acres	1 Residential unit per 3 acres; Subdivisions – 1 residential unit per 3 net residential acres	20%	MIN 200 feet	50' MIN	20' MIN	20' MIN	35'
Resource Protection	3 acres	1 Residential unit per 3 acres; Subdivisions – 1 residential unit per 3 net residential acres	20%	MIN 200 feet	50' MIN	20' MIN	20' MIN	35'

<sup>1</sup> See Subsection C. for calculation of “net residential acreage”, which is only applicable to subdivisions

<sup>2</sup> See Subsection D. for Pocket Neighborhood Standards.

<sup>3</sup> Not applicable to wireless communications towers, windmills, antennas, barn silos and structures having no floor area

<sup>4</sup> Minimum Lot Size:

- a. The minimum lot size can be reduced in the Village Center to 20,000 square feet when the lot is served by an advanced wastewater treatment system, or the existing system is retrofitted with an advanced wastewater system that meets or exceeds the state definition providing 50 percent or more reduction in nitrates and has demonstrated that water quality will not be degraded.
- b. The minimum lot size can be further reduced below 20,000 sf when that lot treats its wastewater on a separate lot that complies with Maine Subsurface Wastewater Disposal criteria.
- c. gallon per day design flows may be utilized when presented and proven to not exceed the assumed 4 bedroom or 360 gpd flows of a typical residential home per lot. This type of development requires Planning Board approval.
- d. Pocket Neighborhoods allow for the use of reduced lot size below 20,000 sf (as described in b. above) and can use gallons per day design flow (as described in c. above), if designed to comply with the standards of Subsection D.

<sup>5</sup> Open space or clustered subdivisions are mandatory and at least 50 percent of the total parcel must be preserved in open space pursuant to Section 11-3. Cluster Housing Development and Open Space Development.

<sup>6</sup> In the Village Center District, Civic buildings (institutional uses) are exempt from maximum setback requirements. The recommended maximum front yard setback for Civic Buildings (institutional uses) is 60'.

D. **Pocket Neighborhoods** allow for the arrangement of a single building type around a ~~central~~ common ~~civic courtyard~~ space to promote greater density than otherwise allowed with the base district.

1. The purpose of a Pocket Neighborhood is:
  - b. To allow the creation of fine-grained ~~public urban courtyards~~ civic space surrounded by buildings of the same type.
2. Pocket Neighborhoods must be designed to meet the following standards:
  - a. Pocket Neighborhoods consist of three elements; the building lots on which buildings are placed, the ~~courtyard~~ civic space around which the building lots are arranged, and access areas which may or may not include driveways, parking lots, and pedestrian walks.
  - b. Pocket Neighborhoods include one of the following three house types, subject to Article X Section 10.4 Building Standards: ~~the following standards:-~~
    - 1) A cottage, ~~14 ft. min - 20 ft. max width, 40 ft. max length, 1 story max. A cottage is a detached building with one unit.~~
    - 2) A bungalow, ~~not to exceed 36 feet width, 50 ft. max length, 2 stories max. A bungalow is a detached building with one unit and a front porch. The gable of the bungalow must not face the courtyard, and the second story must be contained within the roof structure or,~~
    - 3) A townhouse, ~~18 ft. min - 36 ft. max width, 50 ft. max length, min 2 stories - 3 stories max. A minimum of 2 townhouses must attach. A maximum of 6 townhouses may attach.~~
  - e. Pocket Neighborhoods may not contain public or private thoroughfares, except that a new public or private thoroughfare may be constructed adjacent to a pocket neighborhood to provide frontage for the Pocket Neighborhood.
  - g. Parking lots within a Pocket Neighborhood may provide no more than ~~one~~ 1 parking space per unit constructed within the Pocket Neighborhood. One additional parking space per 4 units may be provided for guest parking.
  - i. The ~~civic space courtyard~~ at the center of a Pocket Neighborhood must be at least 20 ft. wide on its shortest side, and have an area not smaller than 1000 sf and not larger than 10,890 sf (1/4 acre).
  - j. The ~~courtyard~~ civic space must be built to create a ~~civic~~ common, park, or square.
  - k. A ~~courtyard~~ civic space with 4 or more sides must directly front a thoroughfare or alley on at least one side and no more than 2 sides.
  - l. A ~~courtyard~~ civic space with 3 sides must directly front a thoroughfare or alley on only one side.
  - m. A Pocket Neighborhood must consist of at least 4 and no more than 20 units of the ~~same~~ permitted building types.
  - n. No building may orient a rear wall towards the ~~courtyard~~ civic space or any thoroughfare, except alleys.

- o. Building lots must meet the following lot measurement and building setback standards ~~for the multi-use court~~, rather than for the base zoning district:
- p. Pedestrian walkways and sidewalks providing access within a pocket neighborhood-~~multi-use court~~ may not exceed a width of 10 ft.

## VIII. GENERAL REQUIREMENTS: APPLICABLE TO ALL LAND USES

### SECTION 8.4 DESIGN AND CONSTRUCTION STANDARDS FOR ROADS AND DRIVEWAYS

#### **B. Classification.**

Streets are classified according to the average daily traffic (ADT) they are intended to serve, as calculated by the number of average daily trips, as follows:

1. Average daily trip.

**Table 8.1**

Average Weekday Trip Generation Rates	
Housing Type (trips per dwelling unit)	
Single- family detached	10
Duplex, <del>Multiplex</del> , Townhouse, Apartments, Condominium, etc	8
Mobile Home	5.5
Retirement Home	3.5

## IX. SPECIAL DISTRICT STANDARDS

### SECTION 9.1 RESIDENTIAL SHORELAND DISTRICT AND RESOURCE PROTECTION DISTRICT PERFORMANCE STANDARDS

#### **K. Parking Areas:**

3. In determining the appropriate size of proposed parking facilities, the following shall apply:
  - a. Typical parking space: approximately ~~40~~ 9 feet wide and ~~20~~ 18 feet long ~~g, except that~~  
~~p~~ Parking spaces for a vehicle and boat trailer shall be 40 feet long.

### SECTION 9.3 ROYAL RIVER CORRIDOR OVERLAY DISTRICT

**B. Standards:** In addition to the provisions of the underlying district, all land use activities within the Royal River Corridor Overlay District shall be in accordance with these provisions.

2. Subdivisions:
  - c. Additional Submission: The applicant shall submit a Royal River Corridor Management Plan that includes consideration for preserving natural beauty, enhancing wildlife habitat and corridors, considers public access to water bodies and inter-connected trails, and shows how the subdivision development will contribute to the town's vision for the Royal River Corridor District as described in the town's Comprehensive Plan. ~~and the Open Space Plan.~~

# X. PERFORMANCE AND DESIGN STANDARDS FOR SITE PLAN REVIEW AND SUBDIVISION REVIEW

## SECTION 10.2 GENERAL LAYOUT OF DEVELOPMENT

### C. Lots: [Amended 4/9/16]

- ~~1. If more than one residential dwelling unit or more than one principal non-residential structure is constructed on a single parcel, all dimensional requirements shall be met for each additional dwelling unit or principal structure. For purposes of this section, an accessory apartment shall not be counted as a residential unit or principal structure. If more than one principal building is located on a lot, the lot size and location of each building shall be such that a separate lot conforming to the provisions of this Ordinance could be created for each building. The creation of a separate lot shall be demonstrated by submitting a plan to the CEO showing how the land could be divided to create conforming lots.~~
1. If more than one building is located on a lot, a plan must be submitted to the CEO to show how the the lot can be divided by theoretical lot lines to create multiple building lots that conform to the standards of this Ordinance. Theoretical lot lines show compliance with the standards of this Ordinance without causing legal subdivision of land. Theoretical lot lines may not span multiple lots of record.

## SECTION 10.4 BUILDING DESIGN STANDARDS

~~**A. Applicability:** The following standards apply to all multiplex developments, and all commercial, industrial, institutional and other non-residential development that requires site plan approval.~~

### ~~**B. Standards:**~~

- ~~1. New structures and additions to or expansions of existing structures shall be designed and constructed so that they are visually integrated with existing buildings and features, both on the site and on adjacent properties, with respect to size, scale, building materials and setbacks from streets.~~
- ~~2. No less than 20 percent of the front façade of any building shall be window area.~~
- ~~3. Minimum front yard building setback: 20 feet~~
- ~~4. Parking is permitted only to the sides or to the rear of buildings. No such parking shall be permitted in the area between the street on which the building fronts and a line parallel to the street intersecting the front of the building at its greatest distance from the street line, and paving shall not cover more than 25 percent of such area. The use of shared parking, shared driveways and the cross-connection of parking lots is strongly encouraged. This paragraph shall not require the relocation of parking spaces existing on the effective date of this Ordinance (June 14, 2005).~~
5. **Drive-Through Facilities<sup>†</sup>:** Any use that provides drive-through service must be located and designed to minimize the impact on neighboring properties and traffic circulation. No drive-through facility shall be located in the area of the site adjacent to a residential use. Communication systems must not be audible on adjacent properties in residential use. Vehicular access to the drive-through shall be through a separate lane that prevents vehicle queuing within normal parking areas. Adequate queuing space must be provided to prevent any vehicles from having to wait on a public street, within the entry from the street, or within designated parking areas. The drive-through must not interfere with any sidewalk or bicycle path.

<sup>†</sup> Drive through eateries are prohibited; drive through bank tellers are conditional uses in Village Center District

## SECTION 10.4 BUILDING STANDARDS

### PURPOSE

- To provide buildings that reflect the scale and character of buildings within the community.
- To allow for flexible building expansion to increase floor area.
- To allow for attached or detached accessory buildings to provide additional usable space.
- To allow additional buildings and structures to be provided on a lot.

### APPLICABILITY

- This section applies to the construction of all new buildings, building renovations, and building additions in the Village Center District.
- This section applies to single-family detached dwelling units in a Pocket Neighborhood.
- This section does not apply to a single-family detached dwelling but may be used as advisory guidelines.

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## 1. NUMBER OF BUILDINGS

PURPOSE - To be able to effectively regulate the number of buildings allowed on a lot.

APPLICABILITY - Applies to all buildings and accessory buildings.

### A. GENERAL

1. Multiple primary buildings may be built on each lot.
2. Multiple accessory buildings may be built on each lot.
3. An accessory building may not permanently occupy a lot without a primary building except:
  - a. On lots actively used for agricultural uses, the barn accessory building may occupy a lot without a primary building.
  - b. An accessory building may be built on a lot prior to a primary building only if both the primary and accessory buildings have been permitted according to the standards of this Section.

## 2. NONCONFORMING BUILDINGS

PURPOSE - To allow for the flexible modification, adaption, reuse, and expansion of buildings that existed prior to and were made non-conforming by this Ordinance.

APPLICABILITY - Applies to all buildings, accessory buildings, and additional structures that existed prior to the adoption of this Ordinance, and that do not meet all the standards of this Article.

### A. GENERAL

1. Routine repair and maintenance of nonconforming buildings is permitted.
2. Nonconforming buildings may be altered to eliminate or reduce a nonconformity or to create a conforming building type that meets the standards of this Ordinance.
3. The width and length of the main building mass of a nonconforming building may be expanded within the allowed setbacks of the district and to the extent permitted by the assigned building type.
4. A nonconforming building may be increased in height to the extent permitted by the assigned building type, except when the floor to ceiling heights of the nonconforming building are greater than those allowed for the assigned building type.
5. Nonconforming buildings may be expanded by adding components that meet the standards of this Ordinance, except when the main building mass exceeds either of the maximum width and length dimensions permitted by the assigned building type. In this case, the total square footage of the building may not exceed the sum of the square footage that would be permitted for a main building mass, rear wing, and side wing of the same building type.
6. When nonconforming buildings are expanded with permitted massing components, floor height standards may be waived to allow floor heights to match.
7. When nonconforming buildings are expanded, windows, doors, and roof shape may take the form of the nonconforming building.

8. A nonconforming building may not be moved in whole or part to another location unless the building conforms to the standards of the district to which the building is moved.
9. When the main building mass of a nonconforming building is destroyed and requires total replacement, the building must be rebuilt to meet the standards of this Ordinance.
10. When any portion of a nonconforming building is damaged and does not require a total reconstruction, it may be repaired and rebuilt to its previous condition.
11. Where a nonconforming building, including the main building mass or components, encroach into setbacks, the building may be expanded vertically so long as the additions and modifications otherwise meet the standards of this Ordinance.

### **3. BUILDING ASSEMBLY**

#### **PURPOSE**

- To provide a clear and flexible system for enabling the construction of new buildings and the expansion and modification of existing buildings.
- To allow for a broad range of building designs.

APPLICABILITY - Applies to all primary buildings and accessory buildings.

#### **A. GENERAL**

1. All primary and accessory buildings must meet the standards for one of the building types provided within this Ordinance.
2. Each primary building and accessory building must be comprised of a main building mass with a rectangular form and a single allowed roof type.
3. The following building types are not required to take a rectangular form but must meet standards for building dimensions, height, and setbacks: inn, civic building, and fabrication building.
4. The outer wall of a main building mass must be located entirely in a single plane. Deviations to the wall plane are allowed only through permitted articulations.
5. For the purpose of measurement, building length and width standards apply only to the main building mass of primary and accessory buildings. Components have unique dimensions and standards.
6. Integral components may be used to cut away space within the boundaries of the roof or main building mass provided the eaves and ridge beam of the roof are not affected.

#### **B. ATTACHMENTS**

1. Primary buildings may only attach to other primary buildings (or to their components) the number of times indicated in Section B Primary Building Types.
2. Accessory buildings may only attach to primary buildings or other accessory buildings (or to their components) the number of times indicated in Section C Accessory Building Types.

3. Components may attach to primary and accessory buildings.
4. A building may not encroach on setbacks in order to attach to an adjacent building.
5. Primary buildings may attach to other primary buildings or to the components of other primary buildings on no more than two sides.
6. Primary buildings that are allowed to attach to other primary buildings may do so on side or rear walls only.
7. Where a building is allowed to attach to other buildings (or to its component), only one building or component may attach to each building face.
8. Permitted attachments may occur across theoretical or legal lot lines.
9. Where two primary buildings attach, the division between buildings must be apparent on the building's exterior through seams in materials, downspouts, pilasters, buttresses, or other vertical structural elements that are less than 6 horizontal inches from the surface of a building's facade.
10. A group of attached buildings, including their components, must provide gaps or breaks in the street wall at intervals no greater than 180 ft (measured from the centerline of the break) along any frontage. These gaps may consist of on-site civic space, a pedestrian or service thoroughfare, an extension of the adjacent sidewalk, or narrow side yards.
11. Breaks must measure at least 3 ft and no more than 12 ft in width when separating two buildings that do not share internal circulation.
12. Where breaks are required between two attached buildings that share circulation, the hyphen component may be used to bridge the resulting gap between the two buildings provided that through-block access is maintained at ground level through a public lobby, passage, or archway and the hyphen is set back at least 10 ft from the frontage.
13. Breaks must measure at least 10 ft and no more than 12 ft in width when separating two buildings that share internal circulation.
14. A group of attached buildings, including their components, that share internal circulation are limited in aggregate length to no more than 180 ft along any frontage.
15. When a group of attached buildings that share internal circulation includes a corner building, the corner building is limited in width to 70 ft along the secondary frontage. Any additional gap between buildings may be closed using a side wing or rear addition that has a roof type that is distinct from the main building mass.

### **C. INTERNAL CIRCULATION**

1. Buildings must maintain an independent structural system, with the exception of party walls, which are shared.
2. Breaks in a party wall between two attached buildings may only occur in order to share circulation, corridors, stairwells, and elevators.

3. First floor commercial units may share a unit between two or more attached buildings by special permit.
4. Party walls must be structural, load bearing, and extend through the width of both buildings to form a continuous wall.
5. The soffit along the frontage of a building may not encroach on a neighboring building lot.

#### **D. NUMBER OF UNITS**

1. Buildings have a maximum number of units as regulated in Section B Primary Building Types and Section C Accessory Building Types.
2. If a permitted accessory building cannot be constructed due to site restrictions or other design related concerns, the accessory unit associated with the accessory building may be incorporated into the primary building, provided the total area of the accessory unit does not exceed either 30% the area devoted to the buildings primary unit, or the maximum floor area of the permitted accessory building, whichever is smaller.

### **4. ROOFS**

**PURPOSE** - To provide for buildings that have identifiable roof shapes based on local character.

**APPLICABILITY** - Roof standards apply to all primary and accessory building types and components, with the exception of the civic building, which may have more unique and complex assemblies.

#### **A. GENERAL**

1. The primary building mass, accessory building, or component may only employ one roof type.
2. Pitched roofs must converge, symmetrically, to a single ridge beam at their highest point.
3. Shed roofs are considered to be symmetrical provided the vertical separation between the base of the eaves and the top of the ridge beam is the same across the entire length of the roof.
4. Asymmetrical roof assemblies are prohibited.
5. The upper slope of mansard and gambrel roof profiles must always be less steep than the lower slope.
6. The highest point of the roof of any component must be lower than or equal to the highest point of the roof of the primary building, unless specifically allowed to be taller.
7. Gable ends must be located on the narrowest building face or component face, except for townhouses, live-work/ flex buildings, and bungalows, which must orient the ridge beam parallel with the frontage.

#### **B. NONCONFORMING ROOFS**

1. Routine repair and maintenance of nonconforming roofs is permitted.
2. Nonconforming roofs may be altered to eliminate or reduce a nonconformity or to create a conforming roof that meets the standards of this Ordinance.

3. When a nonconforming roof is damaged or destroyed, it may be repaired or rebuilt to its previous condition.
4. Accessory buildings and components added to nonconforming buildings may use a roof that takes the form and pitch of the nonconforming primary building.

## **5. COMPONENTS**

**PURPOSE** - To provide a clear and flexible system for enabling the construction of new buildings and the expansion and modification of existing buildings.

**APPLICABILITY** - Applies to all primary buildings and accessory buildings.

### **A. GENERAL**

1. At least one component is required per primary building except on the mixed-use building.

### **B. ATTACHMENTS**

1. All components may attach to other components, unless otherwise indicated.
2. All components are allowed to stack on top of one another, unless otherwise indicated.
3. Multiple components of the same type may be used more than once, unless otherwise indicated.
4. Multiple components of the same type may not attach to each other, unless specifically allowed, and must be separated horizontally by a distance of no less than 1 ft.
5. Two components may not occupy the same space (overlap), unless specifically allowed in Section D Components.
6. Any enclosed component that is permitted to extend flush with a side or rear lot line is permitted to attach to a neighboring structure also built flush to the same lot line.

### **C. ENCROACHMENTS**

1. Components may encroach their entire width and/or depth into all setbacks, unless specifically disallowed in Section D Components.
2. Components may be allowed to encroach into the public right-of-way with authorization from the Permitting Authority.

### **D. NONCONFORMING COMPONENTS**

1. Routine repair and maintenance of nonconforming components is permitted.
2. Nonconforming components may be altered to eliminate or reduce a nonconformity or to create a conforming component that meets the standards of this Ordinance.
3. The dimensions of a nonconforming component may be expanded within the allowed setbacks of the district and to the extent permitted by the assigned component type.

4. When a nonconforming component is destroyed and requires total replacement, the component must be rebuilt to meet with the standards of this Ordinance.
5. When any portion of a nonconforming component is damaged and does not require a total reconstruction, it may be repaired and rebuilt to its previous condition.

## **E. FIRE ESCAPES**

1. Fire escapes may be added to existing buildings when no other means of providing egress is possible or practical.
2. Exterior fire escapes may encroach upon side and rear setbacks only.
3. Sizing and location of fire escapes must meet all local and state fire codes.

## **6. HEIGHT**

**PURPOSE** - To create a predictable and clear approach to measuring and regulating height of buildings.

**APPLICABILITY** - Applies to all new buildings or modifications to existing buildings that increase the overall height of the structure.

### **A. STORY HEIGHT**

1. Building height in this Ordinance is measured in stories.
2. Story height is measured from the surface of any floor to the surface of the floor above it or, if there is no floor above, from the surface of the floor to the top of the wall plate.
3. For buildings with pitched roofs, habitable space is allowed within the pitch and is not considered a story.
4. A building that has more than one floor contained within the structure of a pitched roof must count all but the top floor as a story.
5. A habitable floor within a pitched roof must be counted as a story if the roof rafters intersect the wall plate or top of the exterior wall frame at a height more than 2 feet above the finished floor of the space.
6. Basements are counted as a story when 5 feet or more of an exterior wall located within the frontage zone is exposed above the average ground level.
7. In the event that floor heights vary in different parts of the same building, such that multiple stories in one area equate in height to one story in another, the shorter floor-to-floor height should be used to determine number of stories, provided that none of the floors are mezzanines.

### **B. HEIGHT EXCEPTIONS**

1. Maximum height standards do not apply to mechanical equipment; vents or exhausts; solar panels or skylights; flagpoles; chimneys; parapets; or other non-habitable architectural features.

2. The maximum heights of roof decks, towers, turrets, and cupolas are regulated in Section D Components.
3. Maximum height standards for Amateur (HAM) Radio Equipment, and wireless telecommunications facilities are regulated by other Articles within this Ordinance.

## **7. BUILDING ORIENTATION**

### PURPOSE

- To ensure that buildings address the street in a way that reinforces or creates the character desired in a neighborhood.
- To enable people to access the fronts of buildings.
- To provide consistent placement of buildings within a neighborhood.

APPLICABILITY - Applies to all new primary buildings, accessory buildings, and components.

### **A. GENERAL**

1. All primary buildings must front on a primary thoroughfare, with the exception of cottages, bungalows and townhouses, which may front on alleys or civic space.
2. The facade of all primary buildings and accessory buildings, and massing components must have the same orientation.
3. Buildings must be oriented parallel to the primary frontage line, with the following exceptions:
  - a. In the case where a thoroughfare bends, a building may take the orientation of adjacent buildings or orient toward the corner, at an angle determined by drawing an imaginary line between the endpoints of the two side lot lines along the frontage.
  - b. Buildings that are part of a Pocket Neighborhood must be oriented parallel to the civic space they face.
  - c. Building orientation may rotate by 22.5 degrees by waiver, based on demonstrating that natural landscape features preclude meeting building orientation standards and that those features were not man-made, modified, or adjusted.

## **8. BUILDING ELEVATION**

### PURPOSE

- To ensure that buildings with first floor residential uses are raised above the level of the ground as a way to protect privacy where buildings are located close to the street.
- To ensure that buildings with first floor commercial spaces are located at grade to the extent possible to provide accessible shopfronts.

APPLICABILITY - Applies to all new primary buildings and accessory buildings with residential first floor units.

## **A. GENERAL**

1. Buildings must be elevated along their primary frontage to meet first floor elevation requirements of each primary and accessory building type.
2. Buildings that are located within 10 ft of a frontage line must have the first floor at the same grade or higher than the abutting sidewalk.
3. Primary buildings that contain dwelling units on a first floor frontage must be elevated above grade a minimum of 2 ft along the frontage, except for the following, which may be built at grade:
  - a. Live/work flex buildings.
  - b. Accessory buildings.
4. First floor elevation is measured from the average ground level at the front of the building to the top of the finished floor of the first story of a building.

## **9. FENESTRATION**

### **PURPOSE**

- To ensure that buildings relate to the street by providing a rhythm of door and window openings.
- To minimize blank walls along thoroughfares to keep eyes on the street.

**APPLICABILITY** - Applies to all new primary buildings, accessory buildings, and components, not including civic buildings.

### **A. GENERAL**

1. Fenestration requirements apply to all building facades, except where installation of windows along side or rear property lines is infeasible due to separation requirements mandated by the fire code.
2. The required fenestration percentages apply to the total area of each story of each building facade as measured from the surface of the floor of that story, to the surface of the next floor above; or, if there is no floor above, to either the top of the wall plate, or the base of the buildings eaves, whichever is shorter.
3. Windows and doors must have clear, transparent glass that has a minimum Visible Light Transmission of 50% as indicated by the glass manufacturer.
4. All windows and doors on a building face must be square or vertical in proportion and must have center or edge alignment that is vertical and horizontal, except as follows:
  - a. Stairwell windows may be circular, or take the shape of any regular polygon, other than a triangle, taking the orientation of the roof pitch.
  - b. Shopfront windows are exempt.



5. Lifting, swinging, or sliding carriage house doors are not permitted within the frontage zone, except for:
  - a. On commercial building facades, where doors must be comprised of 50% transparent glass, with multiple vertically proportioned windows or window lights combined to create horizontal compositions.
  - b. On accessory buildings.
  - c. On civic buildings.
6. Residential sliding doors and windows are prohibited along frontages.
7. Window and door openings may not vertically span more than one story, including floor structures or mechanical systems.
8. Entrances to basements may not be located within the frontage zone.
9. To the extent possible, window and door patterns and window configurations should be used to break the direct line of sight between neighboring properties to minimize privacy impacts.

## **B. NONCONFORMING FENESTRATION**

1. Routine repair, maintenance, and replacement of nonconforming windows and doors is permitted.
2. Nonconforming windows and doors may be altered to eliminate or reduce a nonconformity or to create conforming windows and doors that meet the standards of this Ordinance.
3. Accessory buildings and components added to nonconforming buildings may use window and door patterns that take the form and rhythm of the nonconforming primary building.

## **10. PRIMARY ENTRANCES**

### **PURPOSE**

- To ensure that buildings are accessible from thoroughfares as a way to encourage pedestrian activity.
- To prevent extended blank walls that can cause a street to feel uncomfortable for pedestrians.

### **APPLICABILITY**

- All new primary buildings and accessory buildings.
- Modifications to existing buildings that include a change in use to a commercial use.

## **A. GENERAL**

1. At least one primary entrance must be located along the primary frontage of a primary building's main building mass.
2. Cottages, houses, apartment houses, and duplexes may have their primary entrance on the side of a primary building's main building mass, provided the side door is located within the frontage zone.
3. Primary entrances must provide both ingress and egress and be operable and permanently clear at all times.
4. On buildings that contain commercial uses, entrance doors must be provided at intervals of no greater than every 30 linear feet along first floor facades.
5. Primary entrance spacing requirements must be met for each building individually, in that doors on adjacent buildings may not be used to meet the spacing requirement.
6. Primary entrance spacing is measured as the distance between the center line of doors along a facade.

## **11. SHOPFRONTS**

**PURPOSE** - To ensure that areas intended for commercial activity have a shopfront treatment that supports business vitality.

**APPLICABILITY** - The first floor facade of new primary and accessory buildings including shophouses, mixed-use buildings, shops, accessory shops, and extended shopfronts.

### **A. GENERAL**

1. Shopfronts must provide doors and windows with a minimum of 70% glazing.
2. Shopfronts may include carriage house doors that meet the glazing requirements.
3. Buildings on corner lots with shopfronts must extend shopfront fenestration a minimum of 12 feet along the secondary frontage.
4. Entrance doors into publicly-accessible commercial units must be provided at intervals of no greater than every 25 linear feet along first floor facades.
5. Glazing percentage requirements are based on the surface area of the shopfront. Shopfront surface area is the first floor height multiplied by the total width of the first floor of a building, measured at the frontage.
6. The area of a commercial unit is determined by the first floor height multiplied by horizontal distance between the interior walls of the unit, measured at the frontage.
7. Where a shopfront does not extend across a building's entire facade, the area of the

shopfront must be determined by the first floor height multiplied by the total width of the commercial unit.

## **B. NONCONFORMING SHOPFRONTS**

1. Routine repair and maintenance of nonconforming shopfronts is permitted.
2. Nonconforming shopfronts may only expand along a frontage if primary entrance, door and window, and building type standards are met.

## **12. BUILDING ARTICULATION**

### **PURPOSE**

- To enable buildings that contribute to the overall character of a street.
- To minimize exaggerated building articulations that can interrupt pedestrian movement and result in a disorienting built environment.

APPLICABILITY - Applies to new buildings.

### **A. GENERAL**

1. Architectural features and small articulations less than 6 horizontal inches from the surface of a building's facade are permitted.
2. Forecourts are permitted on mixed-use buildings, apartment buildings, fabrication buildings, and civic buildings, provided they meet the following standards:
  - a. Only one building facade may have a forecourt.
  - b. Forecourts must provide access to the first floor of a building with the same frequency of windows and doors as the facade it is associated with.
  - c. The width of a forecourt must be no greater than 1/3 of the building face to which it is associated.
  - d. The maximum depth of a forecourt must maintain a ratio of 1:1 with the height of the associated building face, measured from the surface of the forecourt to the base of the eaves or top of the parapet.
  - e. The average elevation of the floor of a forecourt must not exceed 1 ft above the abutting sidewalk.
  - f. Courtyards located away from the frontage are allowed for mixed-use buildings, apartment buildings, fabrication buildings, and civic buildings, but their dimensions, shape, and size are not regulated by this Ordinance.
  - g. Arcades, may extend across the gap created by a forecourt to create a peristyle, provided they are not enclosed by glass, railings, or other physical obstructions.

3. Corner buildings with first floor shopfronts may have a chamfered corner, provided the length of the resulting chamfer face is less than 12 feet and that both edges of the chamfer are equidistant from the corner.
  - a. Chamfered corners must provide an entrance. This entrance may not be counted toward the primary entrance spacing requirement.
  - b. Mixed use buildings may extend the chamfer to upper stories as desired. All other building types must limit the chamfer to the first floor only.

### **13. SLOPES & TERRACES**

#### **PURPOSE**

- To ensure that buildings located in mixed-use areas meet the sidewalk.
- To allow terraces as a way to provide pedestrian circulation adjacent to shopfronts on streets with steep slopes.

**APPLICABILITY** - Applies to new buildings or existing buildings that want to construct a terrace.

#### **A. GENERAL**

1. Buildings with a 0 ft front setback must provide entrances at grade to the abutting sidewalk.
2. Shopfronts must step down entrances to meet the grade of the adjacent sidewalk along the frontage.
3. If a building with a 0 ft setback is located on a sloped frontage, the first floor of each commercial unit must match the average elevation of the abutting sidewalk along the frontage of each commercial unit.
4. When the grade of a thoroughfare at a primary or secondary frontage has a slope of 10% or greater, the adjacent buildings may provide a level terrace in their front setback.
5. The following standards apply to buildings that are set back less than 12 ft from the street:
  - a. The terrace must be paved to match the adjacent sidewalk.
  - b. A railing or low wall must be provided wherever the terrace is elevated more than 1 ft above grade.
  - c. Stairs may be provided between abutting terraces to promote pedestrian circulation along shopfronts.
  - d. When applied, terraces must extend along the entire frontage of the building.

6. The following standards apply to all buildings with a setback greater than 12 ft:
  - a. The terrace must be surfaced with grass or other vegetation with the exception of permitted patios, or driveways, sidewalks, or walkways that cross the terrace.
  - b. The lot may be terraced for all, or a portion, of its frontage.
  - c. The terrace may provide steps to the adjacent sidewalk anywhere along the frontage.

#### **14. LINER BUILDINGS**

PURPOSE - Liner buildings are a tool to help create or maintain an active and safe street.

APPLICABILITY - Liner building standards apply to any building, use, or lot where a liner building is used to provide parking lot screening.

##### **A. GENERAL**

1. Buildings that may be used as liner buildings include, the mixed use building, townhouse, and live/work flex.
2. Liner buildings must be placed between the building, lot, or use being lined, and the abutting thoroughfare according to the following standards:
  - a. The total length of liner buildings along a facade being lined should be at least 50% the length of that facade.
  - b. Gaps in the liner may not exceed 20 ft in continuous length.
  - c. Liner buildings are only required along the ground floor frontage of the building, lot, or use being lined, but may extend taller.
3. Liner buildings may occupy the same lot as the building, lot, or use being lined, and may share internal circulation, structural system, and individual units between them in the manner of a single building.

#### **15. MEZZANINES**

PURPOSE - To allow partial floors.

APPLICABILITY - Applies to construction of mezzanines in new buildings or existing buildings.

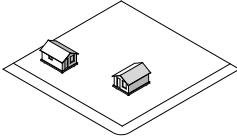
##### **A. GENERAL**

1. Publicly accessible mezzanines may be provided within a building story with the following standards:
  - a. A building story must be at least 18 ft in height to accommodate a public mezzanine.
  - b. A public mezzanine must have a ceiling height of at least 8 ft measured from the finished floor of the mezzanine to the surface of the finished ceiling or underside of the structural members of an unfinished ceiling.

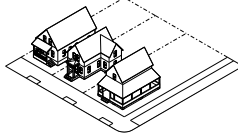
- c. The area of a public mezzanine may be no greater than 50% the area of the main floor beneath it.
2. Utility or mechanical mezzanines, intended only for access by repair personnel, may be provided within a full building story with the following standards:
  - a. A building story must be at least 15 ft in height to accommodate a mechanical mezzanine.
  - b. Mechanical mezzanines may be designed as a crawlspace, and have a minimum ceiling height of 4 ft.
  - c. Mechanical mezzanines may be no greater than 75% the area of the main floor beneath them.
3. From the exterior of the building, mezzanines should appear like part of the story they are associated with. A mezzanine may not appear like a complete building story from the outside.

**TABLE B - BUILDING TYPE SUMMARY**

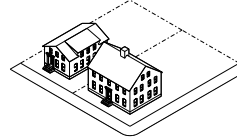
**1. INFORMAL BUILDING**



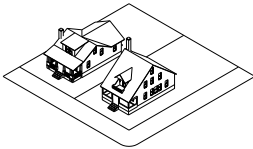
**2. COTTAGE**



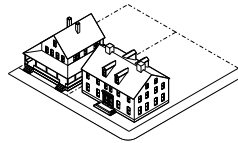
**3. HOUSE**



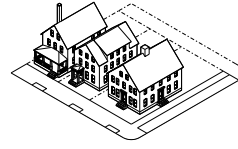
**4. BUNGALOW**



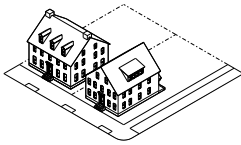
**5. DUPLEX**



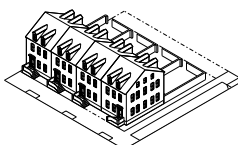
**6. APARTMENT HOUSE**



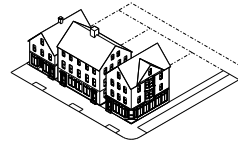
**7. APARTMENT BUILDING**



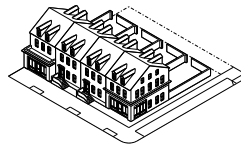
**8. TOWNHOUSE**



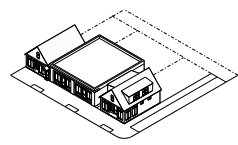
**9. SHOPHOUSE**



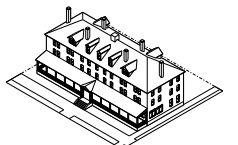
**10. LIVE/WORK FLEX**



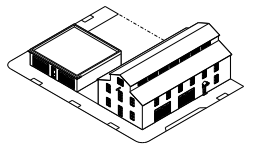
**11. SHOP**



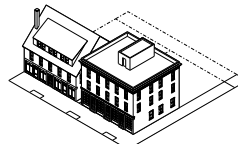
**12. INN**



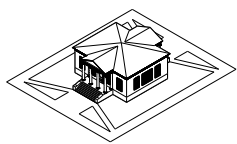
**13. FABRICATION BUILDING**



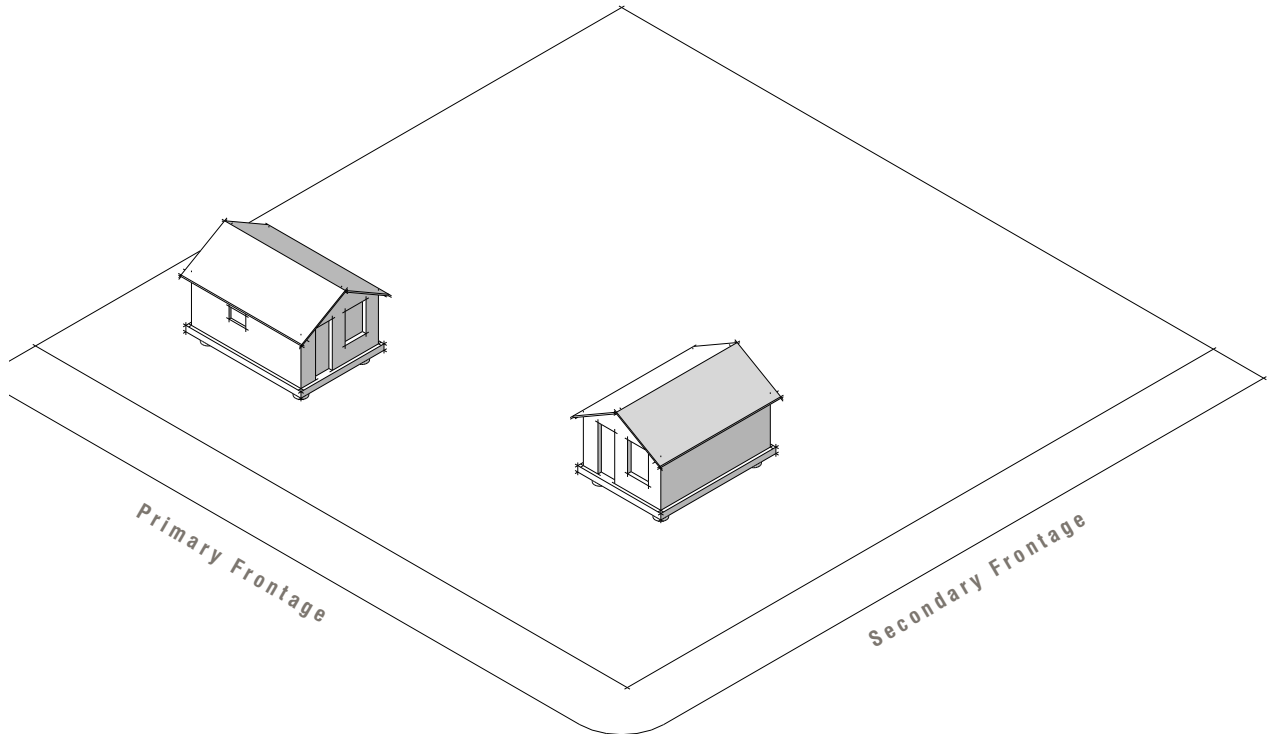
**14. MIXED-USE BUILDING**



**15. CIVIC BUILDING**



## 1. INFORMAL BUILDING



### a. DESCRIPTION

A light imprint, low impact, temporary, and informal building that enables creative use of property, including shacks, yurts, cabins, lean-tos, a-frames.

### b. BUILDING FORM

Building Floor Plate	500 sf max
Total Stories	1 max
First Floor Height	12 ft max
First Floor Elevation	n/a
Roof	see Section E Roof Types
Attachments	none

### c. ALLOWABLE UNITS

1 unit max

### d. WINDOWS & DOORS

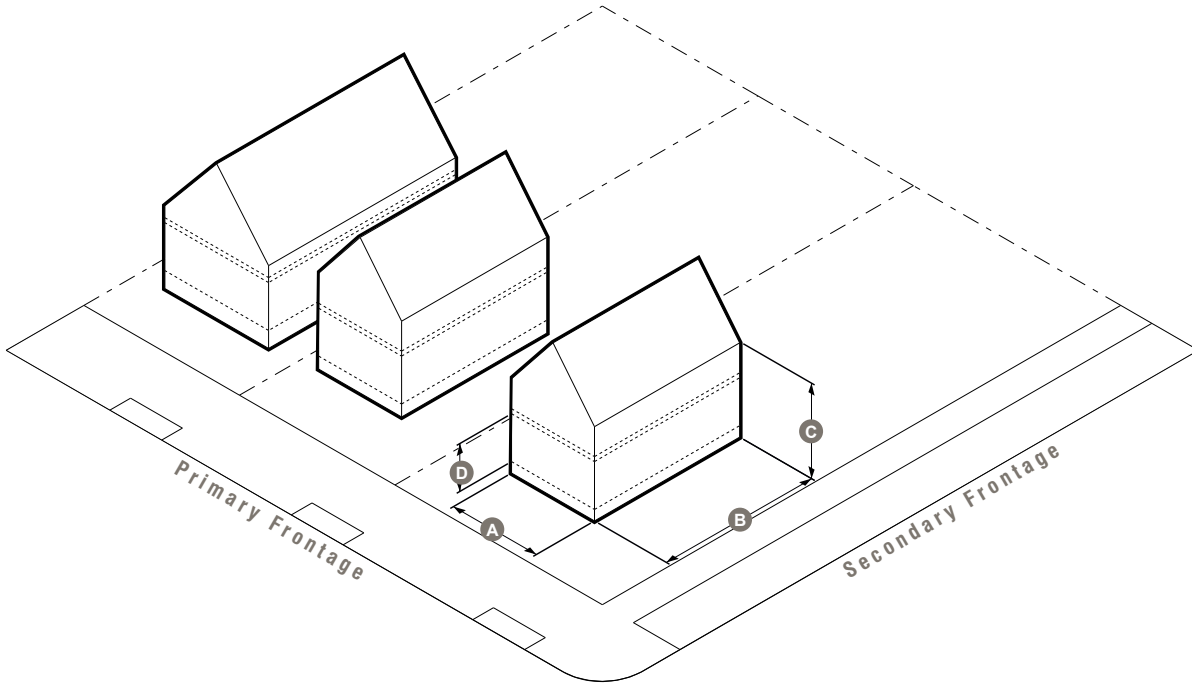
First Floor Fenestration	n/a
Upper Floor Fenestration	n/a

### e. STANDARDS

1. Informal buildings may function as a primary or accessory building.
2. The total aggregate area of informal buildings on a single lot (or series of adjacent lots in common ownership) may not exceed 5,000 sf.
3. Informal buildings do not need to front onto a thoroughfare.
4. For a structure to be considered an informal building it must meet any three of the following four standards.
  - a. Building is less than 500 SF total.
  - b. Building has no permanent physical connection to off-site water, electrical, or sewage utilities.
  - c. Building has no insulation.
  - d. Building has no permanent foundation. Informal foundations may consist of:
    - i. Jacks, blocks, or piers that rest on the surface of the bare ground.
    - ii. A chassis with independent suspension and axles capable of free rotation.
    - iii. Any other type of foundation that may be de-constructed and removed with minimal site disturbance, and with little need for heavy machinery or invasive techniques.



## 2. COTTAGE



### a. DESCRIPTION

A small detached building with one unit.

### b. BUILDING FORM

Building Width	14 ft min, 20 ft max	(A)
Building Length	40 ft max	(B)
Total Stories	1 story max	(C)
First Floor Height	9 ft min, 10 ft max	(D)
Upper Floor Height	n/a	(E)
First Floor Elevation	2 ft min	
Components	see Section D Components	
Roofs	see Section E Roof Types	
Attachments	none	

### c. ALLOWABLE UNITS

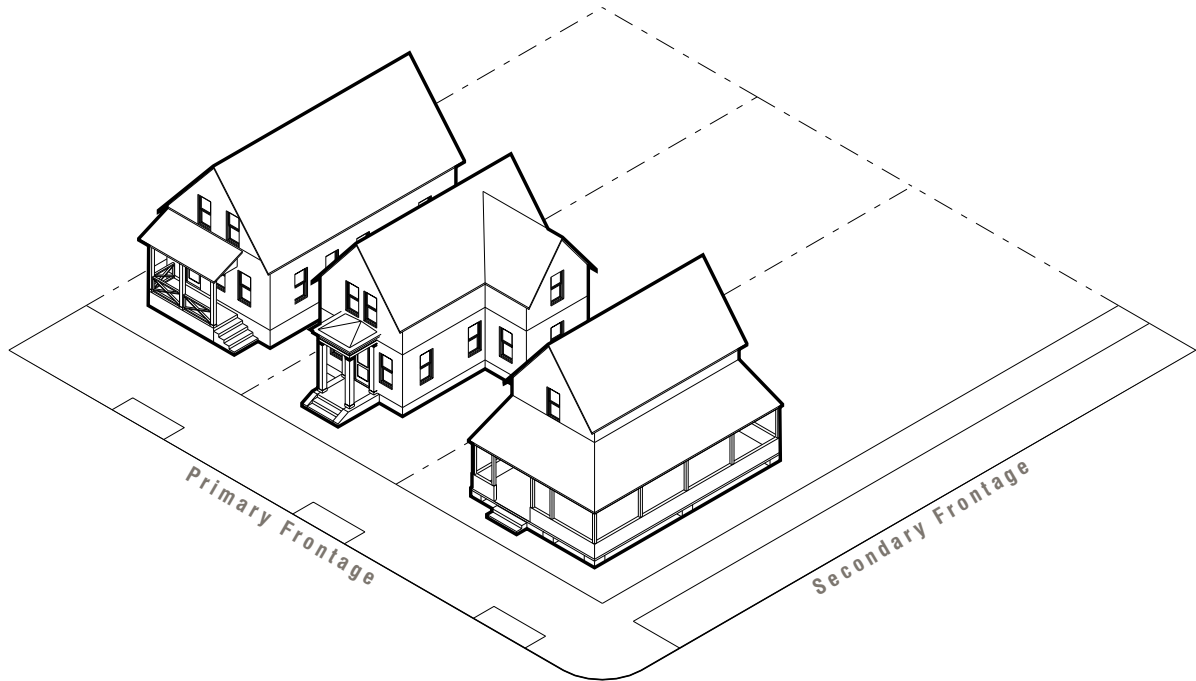
1 unit max

### d. FENESTRATION

First Floor Fenestration	20% min
Upper Floor Fenestration	20% min

### e. STANDARDS

1. A Cottage may possess a chassis with independent suspension and axles capable of free rotation, provided:
  - a. The Cottage has a permanent connection to water, sanitary, and power utilities.
  - b. The chassis is screened in such a way as to be indistinguishable from a traditional foundation.
  - c. The Cottage may not encroach on setbacks.



**f. MASSING COMPONENTS**

Rear Addition	●
Side Wing	●

**g. ARCHITECTURAL COMPONENTS**

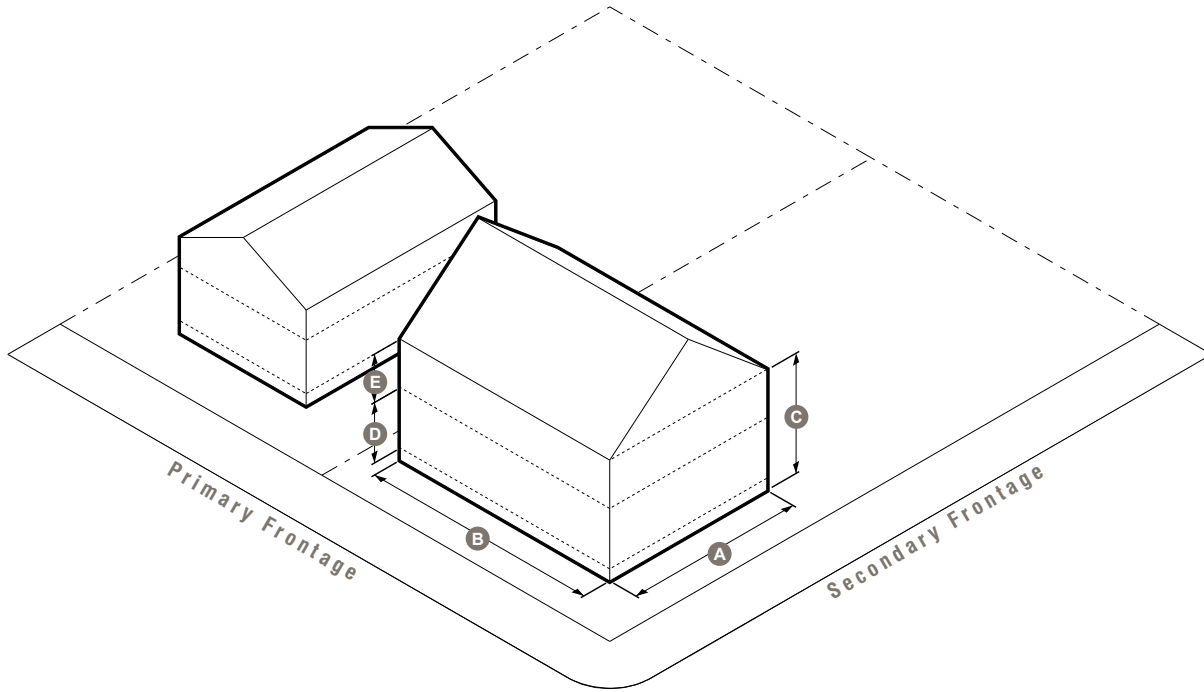
Porch	●
Gallery	●
Stoop	●
Cross Gable	●
Shed Dormer	●
Dormer Window	●
Bay Window	●
Balcony	●
Portico	●
Canopy	●
Deck	●
Roof Deck	●

**h. ROOFS**

Gable Roof	●
Hipped Roof	●
Mansard Roof	●
Gambrel Roof	●

● Permitted

### 3. HOUSE



#### a. DESCRIPTION

A detached building with one unit.

#### b. BUILDING FORM

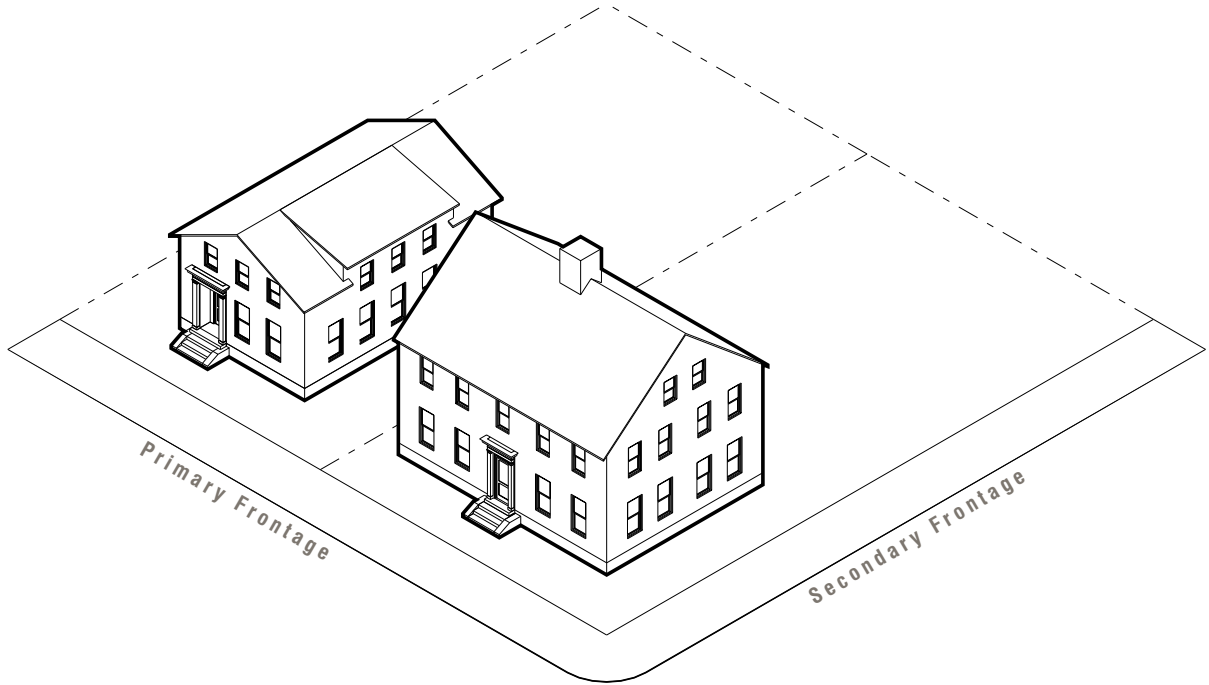
Building Width	21 ft min, 36 ft max	(A)
Building Length	48 ft max	(B)
Total Stories	2 stories max	(C)
First Floor Height	9 ft min, 12 ft max	(D)
Upper Floor Height	9 ft min, 10 ft max	(E)
First Floor Elevation	2 ft min	
Components	see Section D Components	
Roofs	see Section E Roof Types	
Attachments	none	

#### c. ALLOWABLE UNITS

1 unit max

#### d. FENESTRATION

First Floor Fenestration	20% min
Upper Floor Fenestration	20% min



**f. MASSING COMPONENTS**

Rear Addition	●
Side Wing	●
Connector	●
Porte-Cochere	●
Tower	●

**g. ARCHITECTURAL COMPONENTS**

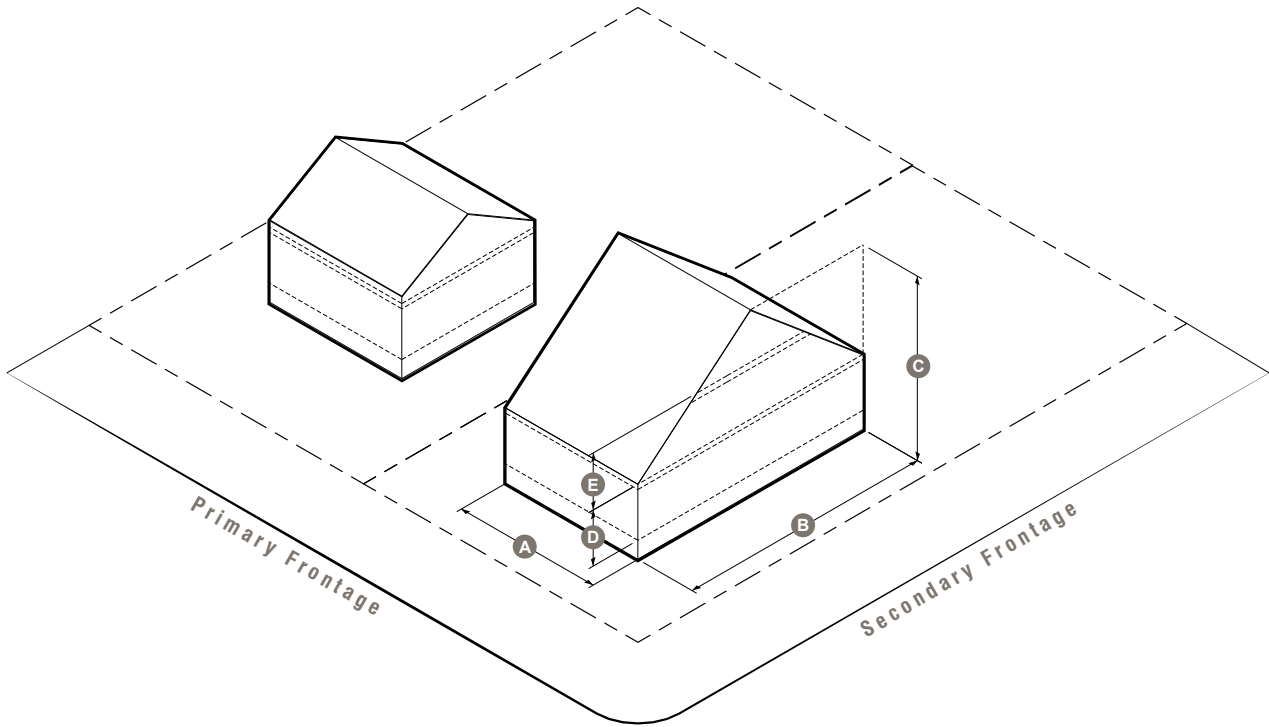
Porch	●
Gallery	●
Stoop	●
Cross Gable	●
Shed Dormer	●
Dormer Window	●
Bay Window	●
Balcony	●
Turret	●
Portico	●
Canopy	●
Deck	●
Roof Deck	●
Cupola	●

**h. ROOFS**

Gable Roof	●
Hipped Roof	●
Mansard Roof	●
Gambrel Roof	●

● Permitted

## 4. BUNGALOW



### a. DESCRIPTION

A detached building with one unit and a front porch

### b. BUILDING FORM

Building Width	36 ft max	(A)
Building Length	50 ft max	(B)
Total Stories	2 stories max (2)	(C)
First Floor Height	9 ft min, 12 ft max	(D)
Upper Floor Height	9 ft min, 10 ft max	(E)
First Floor Elevation	2 ft min	
Components	see Section D Components	
Roofs	see Section E Roof Types	
Attachments	none	

### c. ALLOWABLE UNITS

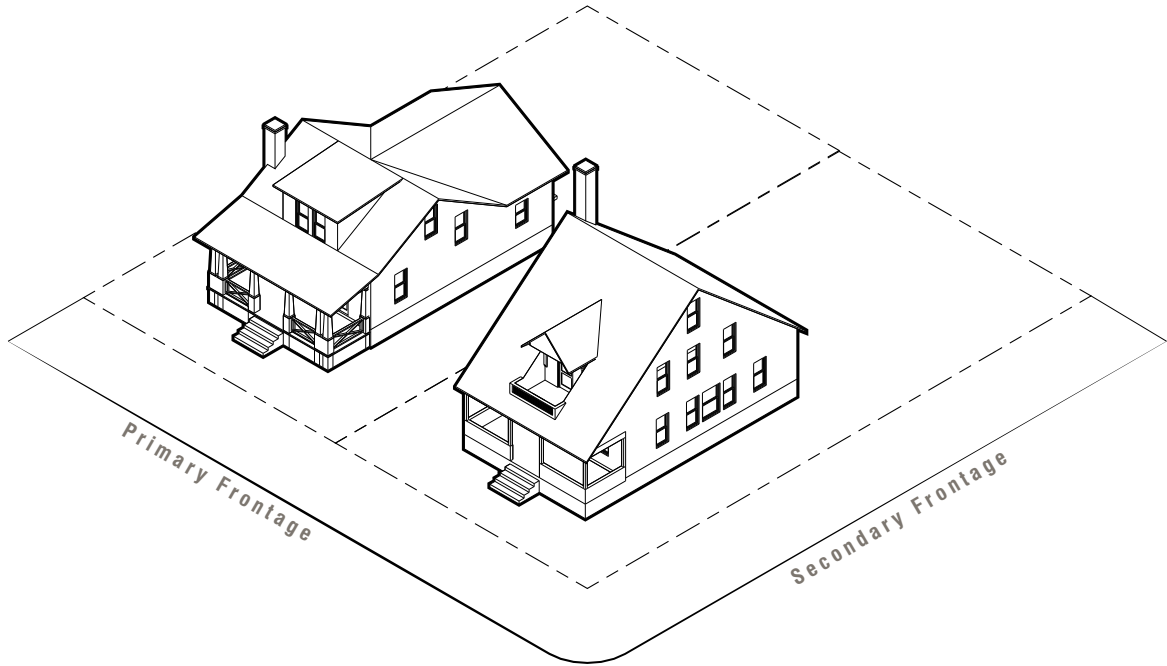
1 unit max

### d. WINDOWS & DOORS

First Floor Fenestration	20% min
Upper Floor Fenestration	20% min

### e. STANDARDS

1. The gable end of a bungalow must be oriented away from the primary frontage.
2. Upper stories must be contained within the roof structure.



**f. MASSING COMPONENTS**

Rear Addition	●
Side Wing	●
Connector	●
Porte-Cochere	●

**g. ARCHITECTURAL COMPONENTS**

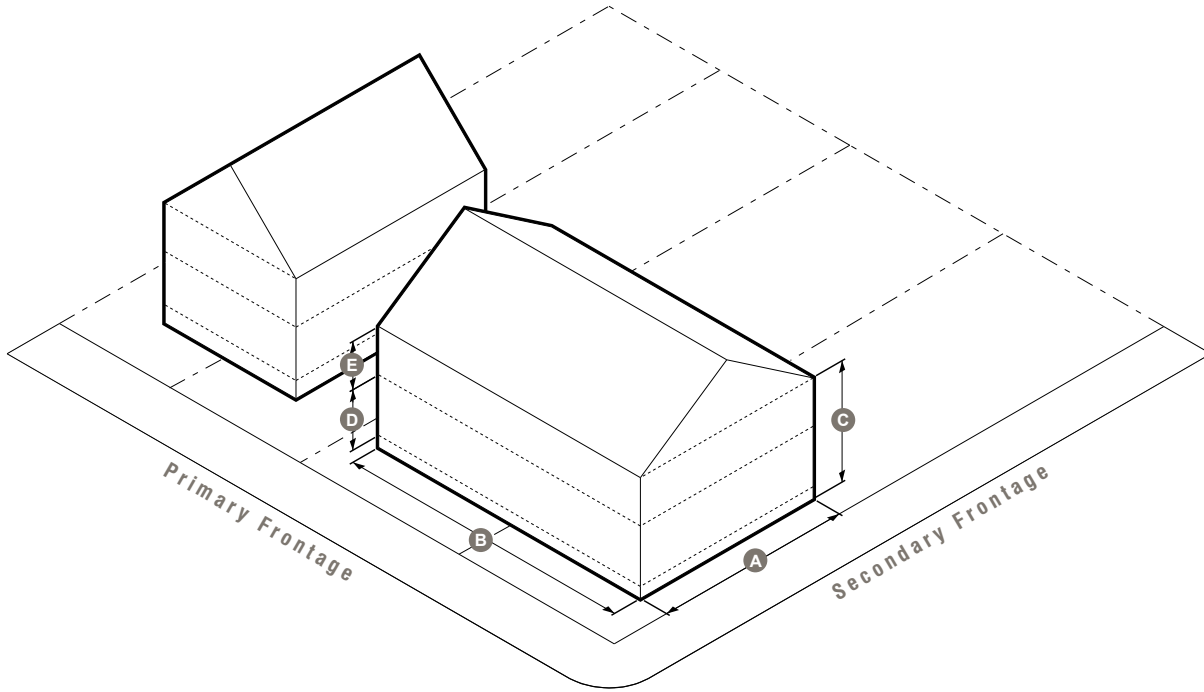
Porch	●
Gallery	●
Stoop	●
Cross Gable	●
Shed Dormer	●
Dormer Window	●
Bay Window	●
Balcony	●
Portico	●
Canopy	●
Deck	●
Roof Deck	●
Cupola	●

**h. ROOFS**

Gable Roof	●
Gambrel Roof	●

● Permitted

## 5. DUPLEX



### a. DESCRIPTION

A moderately scaled building type comprised of 2 units arranged side by side, where the building spans two lots, with one unit on each lot.

### b. BUILDING FORM

Building Width	36 ft max	A
Building Length	48 ft max	B
Total Stories	3 max	C
First Floor Height	9 ft min, 12 ft max	D
Upper Floor Height	9 ft min, 12 ft max	E
First Floor Elevation	2 ft min	
Components	see Section D Components	
Roofs	see Section E Roof Types	
Attachments	none (3)	

### c. ALLOWABLE UNITS

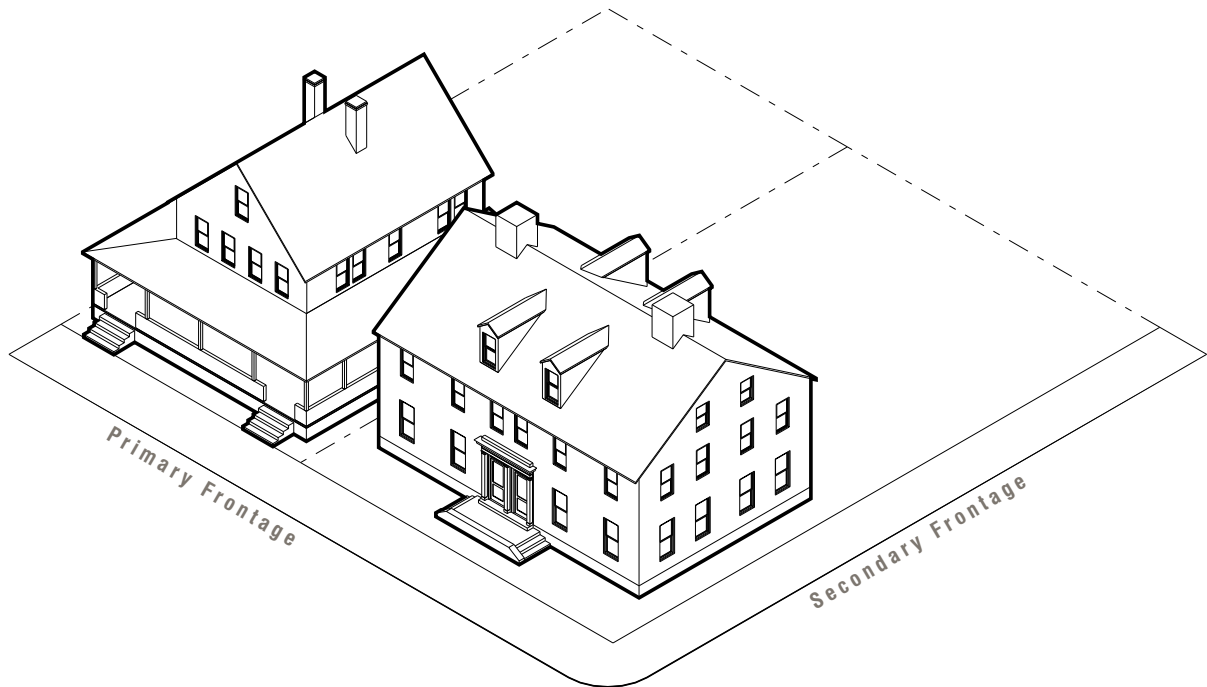
2 units max

### d. FENESTRATION

First Floor Fenestration	20% min
Upper Floor Fenestration	20% min

### e. STANDARDS

1. A porch or gallery may be built on the third floor of a primary frontage provided that there is only one porch or gallery below it on either the first or second floor.
2. A duplex may not attach to adjacent buildings.
3. The duplex is a single building that extends across a lot line. The internal shared wall does not count as an attachment.
4. A duplex may sit on a single lot provided the duplex is placed using theoretical lot lines showing how the lot can be divided in future, with one unit on each lot.



**f. MASSING COMPONENTS**

Rear Addition	●
Side Wing	●
Connector	●
Porte-Cochere	●
Tower	●

**g. ARCHITECTURAL COMPONENTS**

Porch	●
Gallery	●
Stoop	●
Cross Gable	●
Shed Dormer	●
Dormer Window	●
Bay Window	●
Balcony	●
Turret	●
Portico	●
Canopy	●
Deck	●
Roof Deck	●
Cupola	●

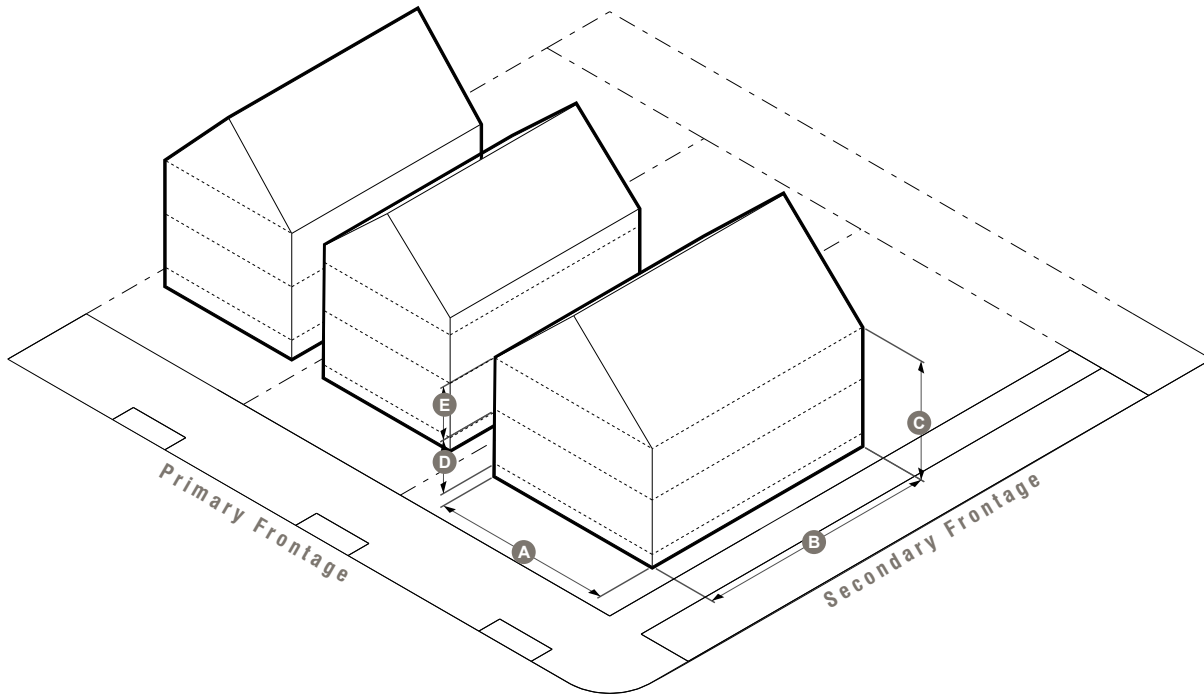
**h. ROOFS**

Gable Roof	●
Hipped Roof	●
Mansard Roof	●
Gambrel Roof	●

● Permitted



## 6. APARTMENT HOUSE



### a. DESCRIPTION

A moderately scaled building type comprised of up to 5 units arranged side by side and/or stacked one above the other, yet occupying a single lot.

### b. BUILDING FORM

Building Width	36 ft max	A
Building Length	75 ft max	B
Total Stories	3 max	C
First Floor Height	9 ft min, 12 ft max	D
Upper Floor Height	9 ft min, 12 ft max	E
First Floor Elevation	2 ft min	
Components	see Section D Components	
Roofs	see Section E Roof Types	
Attachments	none	

### c. ALLOWABLE UNITS

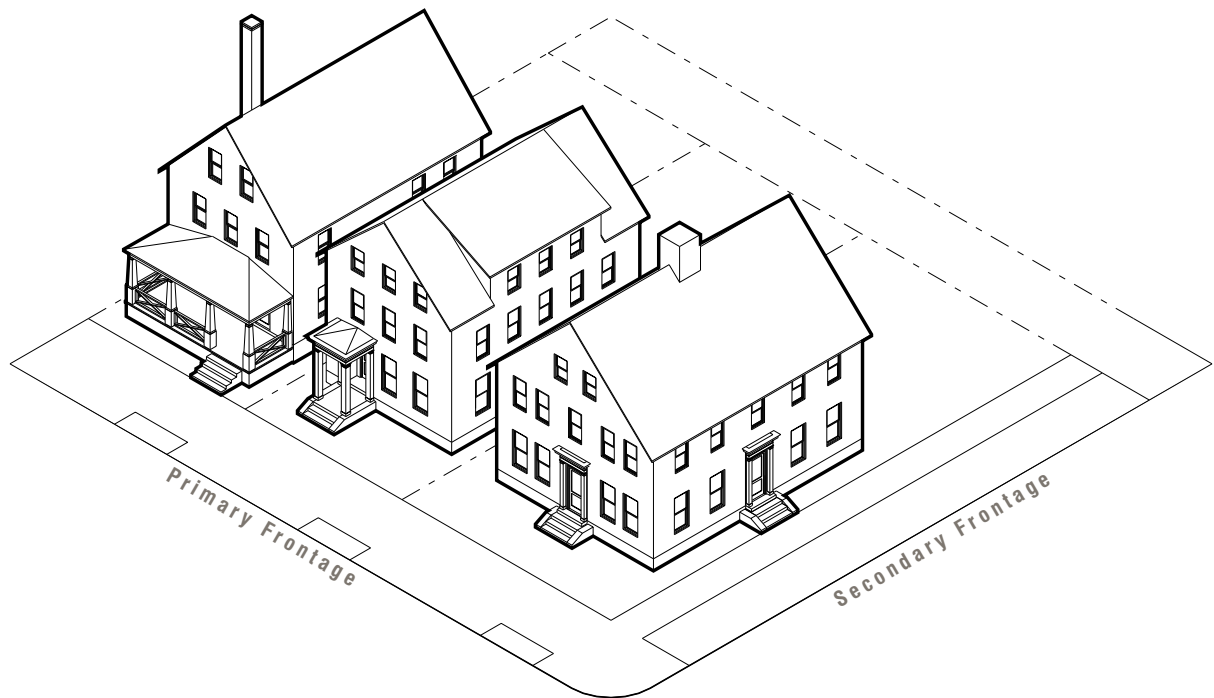
5 units max

### d. FENESTRATION

First Floor Fenestration	20% min
Upper Floor Windows & Doors	20% min

### e. STANDARDS

1. A porch or gallery may be built on the third floor of a primary frontage provided that there is only one porch or galley below it on either the first or second floor.



**f. MASSING COMPONENTS**

Rear Addition	●
Side Wing	●
Connector	●
Porte-Cochere	●
Tower	●

**g. ARCHITECTURAL COMPONENTS**

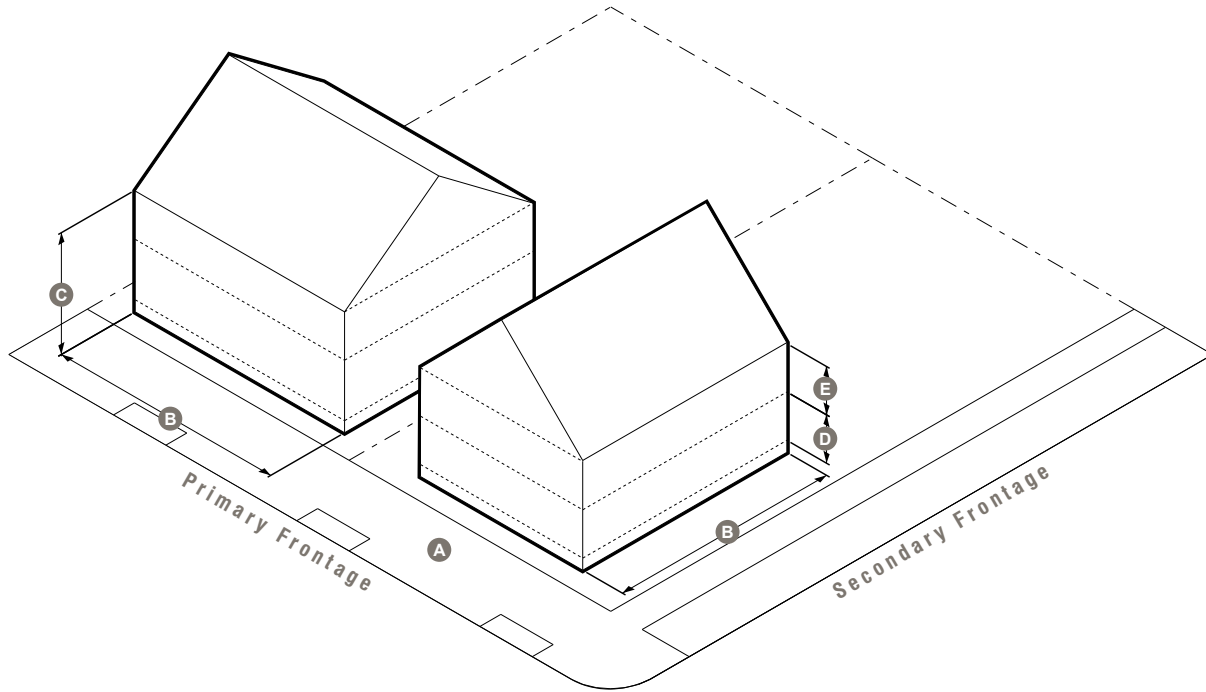
Porch	●
Gallery	●
Stoop	●
Cross Gable	●
Shed Dormer	●
Dormer Window	●
Bay Window	●
Balcony	●
Turret	●
Portico	●
Canopy	●
Deck	●
Roof Deck	●
Cupola	●

**h. ROOFS**

Gable Roof	●
Hipped Roof	●
Mansard Roof	●
Gambrel Roof	●

● Permitted

## 7. APARTMENT BUILDING



### a. DESCRIPTION

A moderately scaled building type comprised of up to 12 units.

### b. BUILDING FORM

Building Width	60 ft max	A
Building Length	75 ft max	B
Total Stories	3 stories max	C
First Floor Height	9 ft min, 15 ft max	D
Upper Floor Height	9 ft min, 12 ft max	E
First Floor Elevation	2 ft min	
Components	see D Components	
Roofs	see E Roof Types	
Attachments	none	

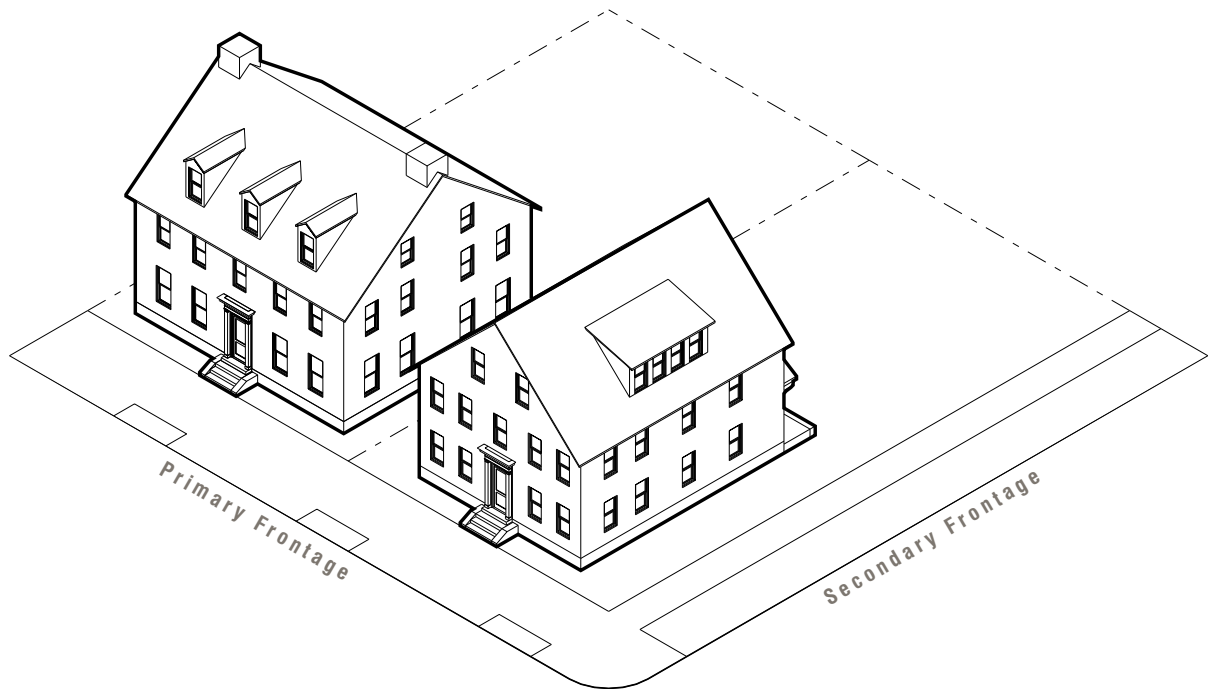
### c. ALLOWABLE UNITS

12 units max

### d. FENESTRATION

First Floor Fenestration	20% min
Upper Floor Fenestration	20% min

### e. STANDARDS



**f. MASSING COMPONENTS**

Rear Addition	●
Side Wing	●
Connector	●
Porte-Cochere	●
Tower	●

**g. ARCHITECTURAL COMPONENTS**

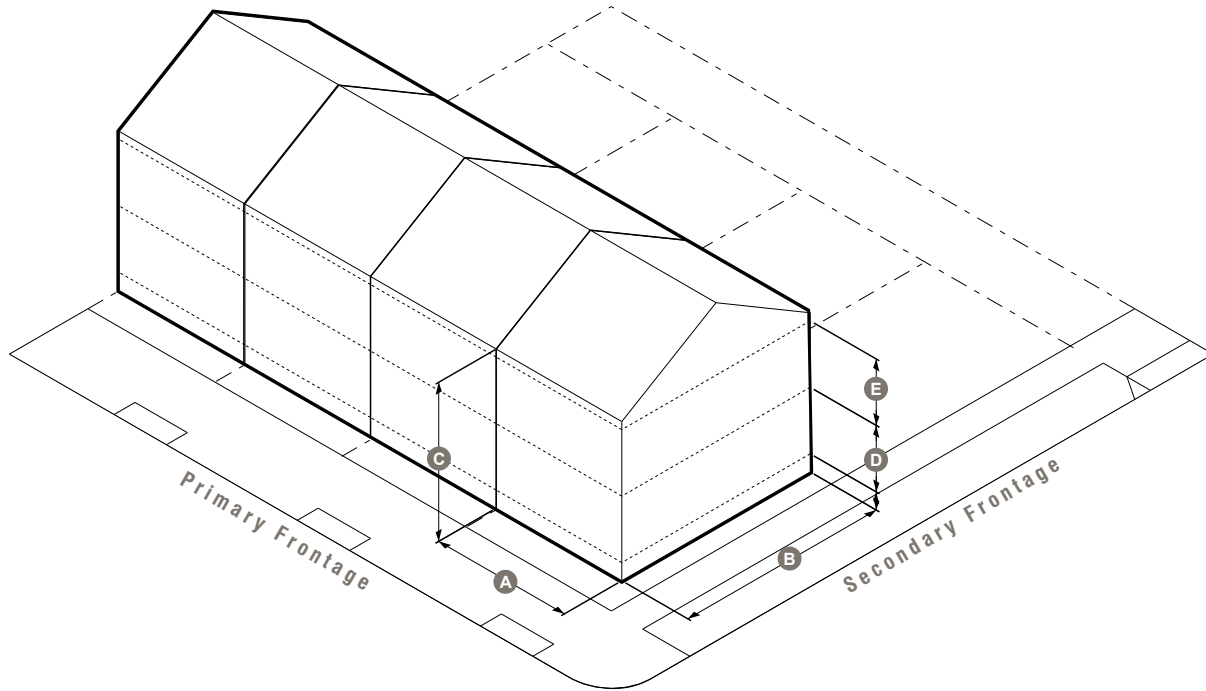
Porch	●
Gallery	●
Stoop	●
Cross Gable	●
Shed Dormer	●
Dormer Window	●
Bay Window	●
Balcony	●
Turret	●
Portico	●
Canopy	●
Deck	●
Roof Deck	●
Cupola	●

**h. ROOFS**

Gable Roof	●
Hipped Roof	●
Mansard Roof	●
Gambrel Roof	●

● Permitted

## 8. TOWNHOUSE



### a. DESCRIPTION

A small- to medium-sized attached building type comprised of up to 3 units.

### b. BUILDING FORM

Building Width	18 ft min, 36 ft max	A
Building Length	50 ft max	B
Total Stories	2 min, 3 max	C
First Floor Height	9 ft min, 12 ft max	D
Upper Floor Height	9 ft min, 12 ft max	E
First Floor Elevation	2 ft min	
Components	see Section D Components	
Roofs	see Section E Roof Types	
Attachments	1 side min	

### c. ALLOWABLE UNITS

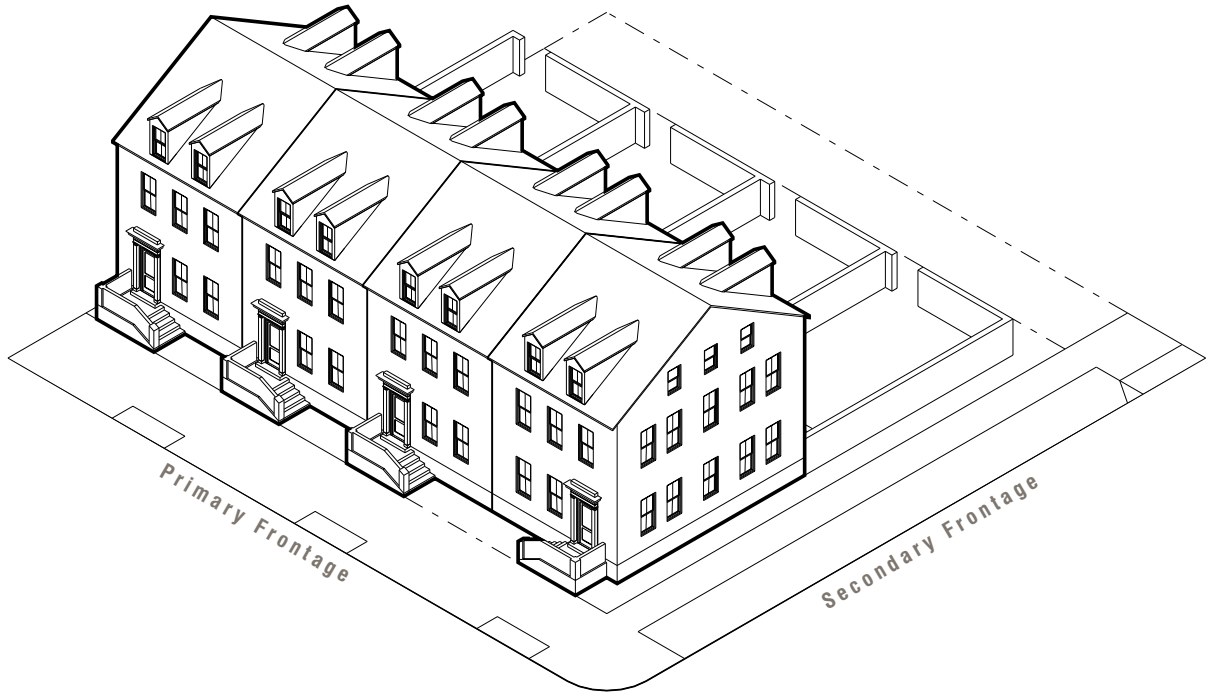
3 unit max

### d. FENESTRATION

First Floor Fenestration	20% min
Upper Floor Fenestration	20% min

### e. STANDARDS

1. A townhouse must attach to a townhouse or live/work flex on at least one side.
2. A maximum of 6 townhouses are allowed to attach.
3. All buildings in a single grouping of attached townhouses must maintain the same front setback.



**f. MASSING COMPONENTS**

Rear Addition	●
Side Wing	●
Connector	●
Porte-Cochere	●

**g. ARCHITECTURAL COMPONENTS**

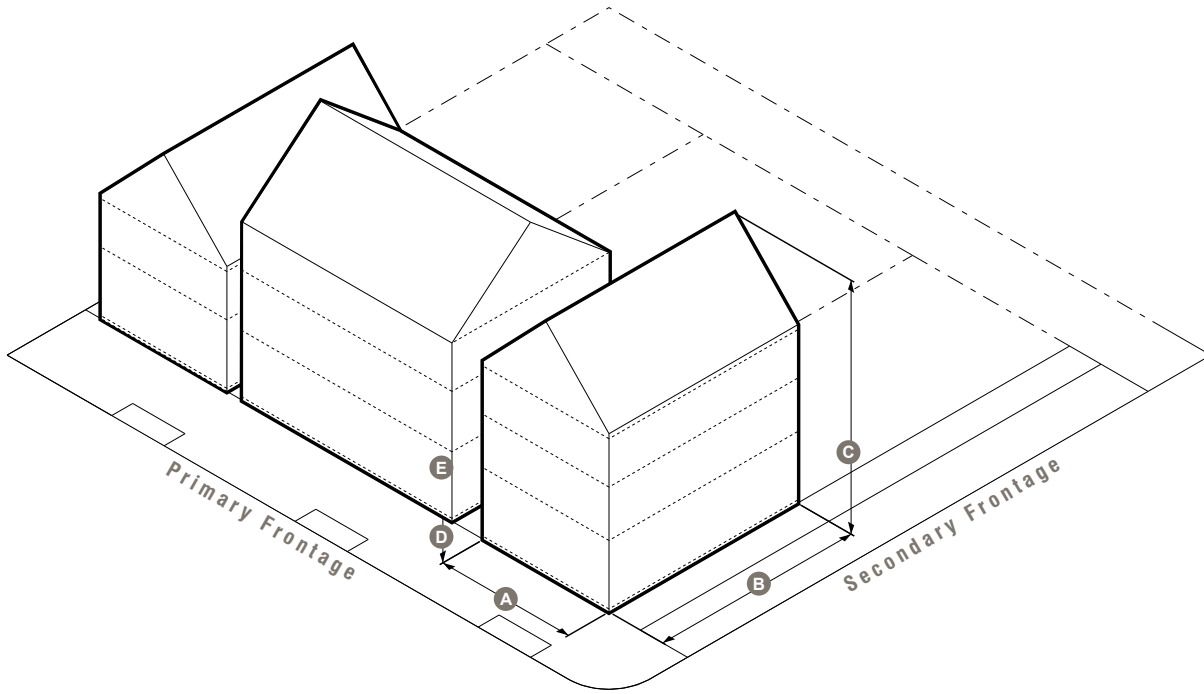
Porch	●
Gallery	●
Stoop	●
Cross Gable	●
Shed Dormer	●
Dormer Window	●
Bay Window	●
Balcony	●
Turret	●
Portico	●
Canopy	●
Deck	●
Roof Deck	●

**h. ROOFS**

Gable Roof	●
Hipped Roof	●
Shed Roof	●
Flat Roof	●

● Permitted

## 9. SHOPHOUSE



### a. DESCRIPTION

A small building with a shopfront and up to 5 units.

### b. BUILDING FORM

Building Width	36 ft max	<b>A</b>
Building Length	60 ft max	<b>B</b>
Total Stories	3 max	<b>C</b>
First Floor Height	12 ft min, 18 ft max	<b>D</b>
Upper Floor Height	9 ft min, 12 ft max	<b>E</b>
First Floor Elevation	0 ft min	
Components	see Section D Components	
Roof	see Section E Roof Types	
Attachments	1 side max	

### c. ALLOWABLE UNITS

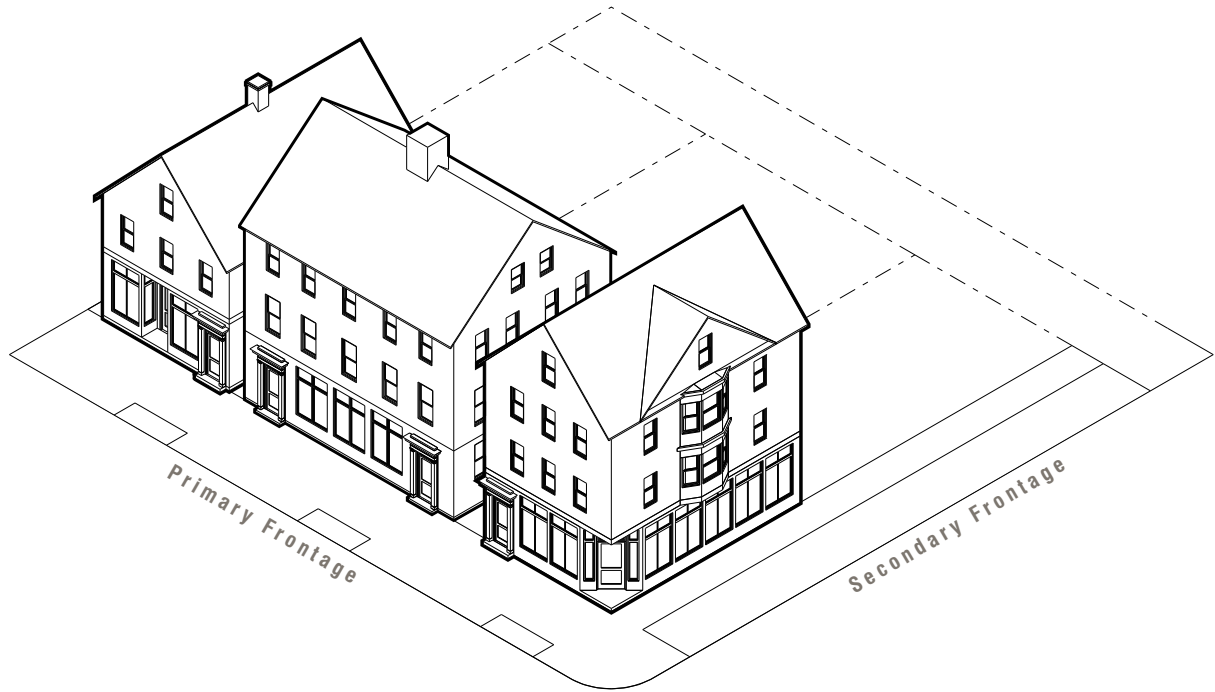
5 units max

### d. FENESTRATION

Shopfront	Required
First Floor Fenestration	20% min
Upper Floor Fenestration	20% min

### e. STANDARDS

1. Shopfront fenestration is required on the first floor facade of the primary frontage.
2. A porch or gallery may be built on the third floor of a primary frontage provided that there is only one porch or galley below it on either the first or second floor.



**f. MASSING COMPONENTS**

Rear Addition	●
Side Wing	●
Connector	●
Tower	●

**g. ARCHITECTURAL COMPONENTS**

Porch	●
Gallery	●
Stoop	●
Cross Gable	●
Shed Dormer	●
Dormer Window	●
Bay Window	●
Balcony	●
Turret	●
Arcade	●
Portico	●
Canopy	●
Deck	●
Roof Deck	●
Cupola	●

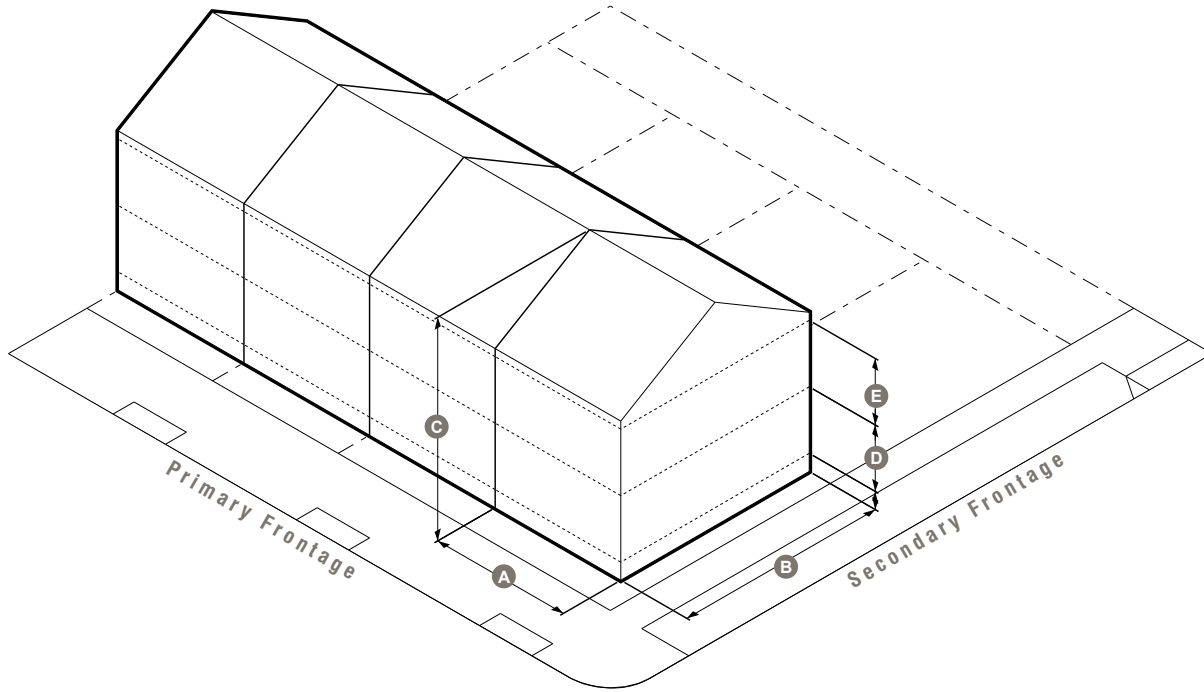
**h. ROOFS**

Gable Roof	●
Hipped Roof	●
Mansard Roof	●
Gambrel Roof	●

● Permitted



## 10. LIVE/WORK FLEX



### a. DESCRIPTION

A small attached building type with up to 3 units, including an optional shopfront.

### b. BUILDING FORM

Building Width	18 ft min, 60 ft max	A
Building Length	60 ft max	B
Total Stories	2 min, 3 max	C
First Floor Height	9 ft min, 14 ft max	D
Upper Floor Height	9 ft min, 12 ft max	E
First Floor Elevation	0 ft min	
Components	see Section D Components	
Roofs	see Section E Roof Types	
Attachments	1 side min	

### c. ALLOWABLE UNITS

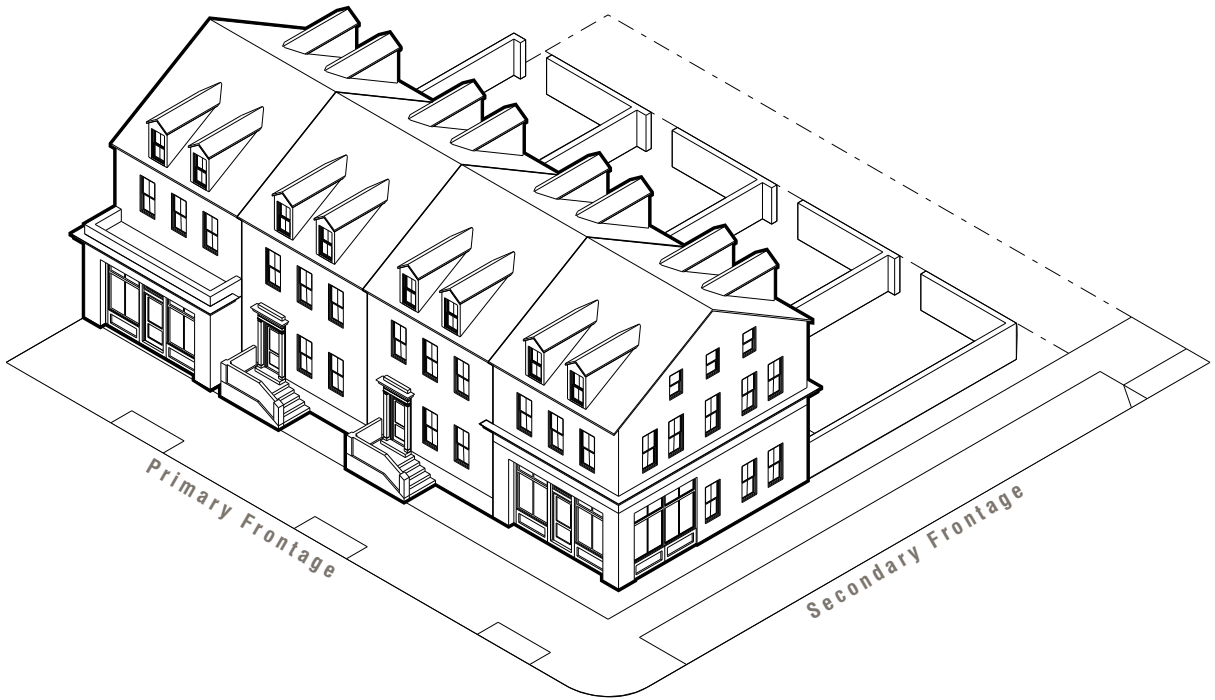
3 units max

### d. FENESTRATION

Shopfront	Optional
First Floor Fenestration	20% min
Upper Floor Fenestration	20% min

### e. STANDARDS

1. A live/work flex building must attach to a townhouse or live/work flex on at least one side.
2. A maximum of 6 live/work flex buildings are allowed to attach.
3. All buildings in a single grouping of attached live/work flex buildings must maintain the same front setback.



**f. MASSING COMPONENTS**

Rear Addition	●
Side Wing	●
Connector	●
Extended Shopfront	●

**g. ARCHITECTURAL COMPONENTS**

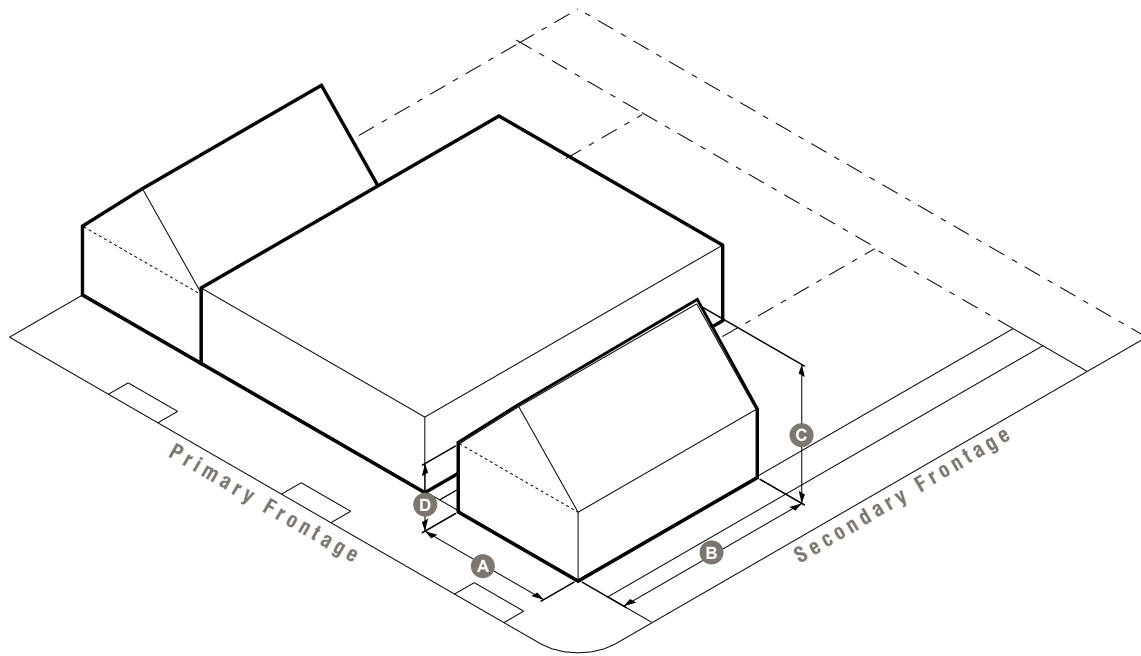
Porch	●
Gallery	●
Stoop	●
Cross Gable	●
Shed Dormer	●
Dormer Window	●
Bay Window	●
Balcony	●
Turret	●
Portico	●
Canopy	●
Deck	●
Roof Deck	●

**h. ROOFS**

Gable Roof	●
Hipped Roof	●
Shed Roof	●
Flat Roof	●

● Permitted

## 11. SHOP



### a. DESCRIPTION

A single story building with 1 unit and a required shopfront.

### b. BUILDING FORM

Building Width	18 ft min, 90 ft max	<b>A</b>
Building Length	60 ft max	<b>B</b>
Total Stories	1 max	<b>C</b>
First Floor Height	20 ft max	<b>D</b>
Upper Floor Height	n/a	<b>E</b>
First Floor Elevation	0 ft min	
Components	see Section D Components	
Roofs	see Section E Roof Types	
Attachments	1 side max	

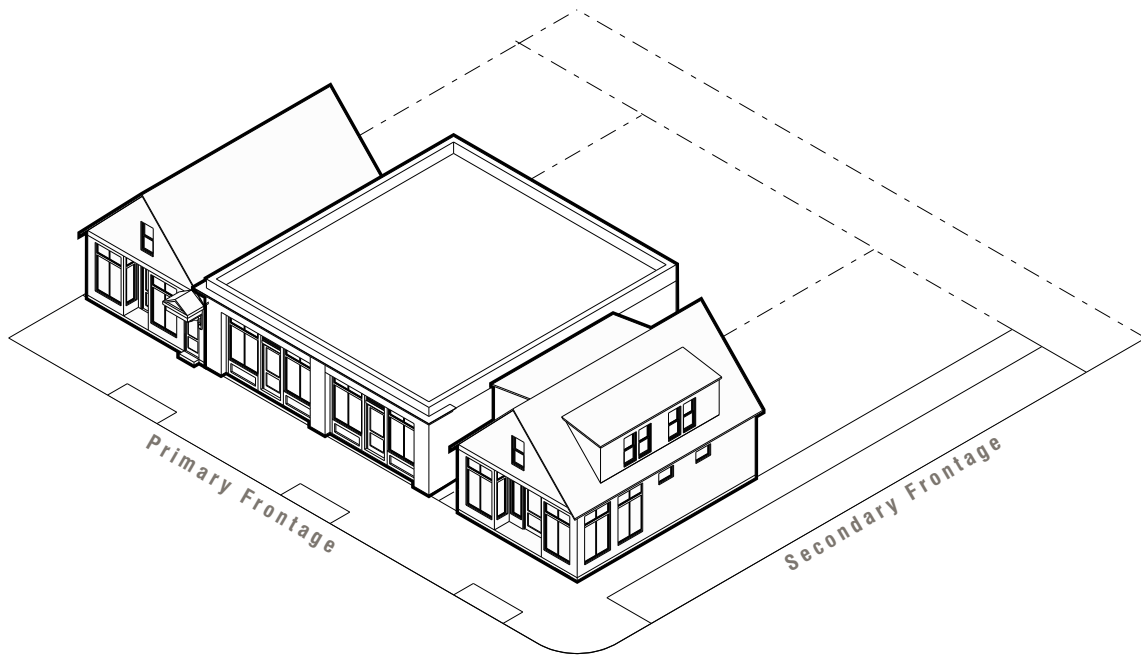
### c. ALLOWABLE UNITS

1 unit max

### d. FENESTRATION

Shopfront	Required
First Floor Fenestration	20% min
Upper Floor Fenestration	n/a

### e. STANDARDS



**f. MASSING COMPONENTS**

Rear Addition	●
Side Wing	●

**g. ARCHITECTURAL COMPONENTS**

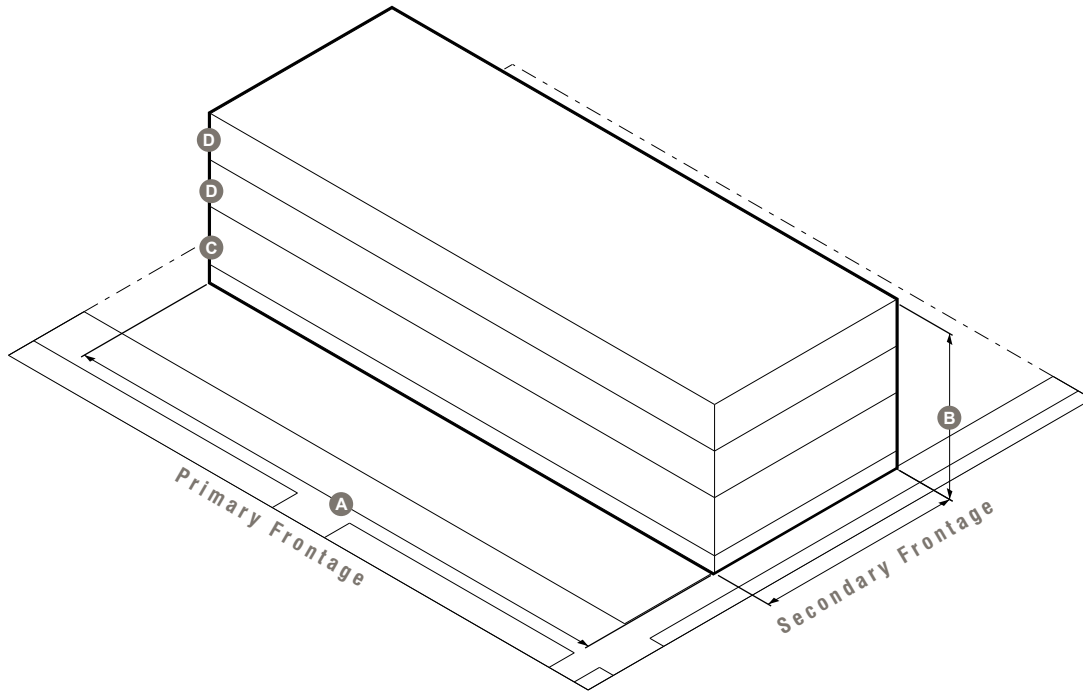
Porch	●
Stoop	●
Cross Gable	●
Shed Dormer	●
Dormer Window	●
Bay Window	●
Arcade	●
Portico	●
Canopy	●
Deck	●
Roof Deck	●
Cupola	●

**h. ROOFS**

Gable Roof	●
Hipped Roof	●
Gambrel Roof	●
Shed Roof	●
Flat Roof	●

● Permitted

## 12. INN



### a. DESCRIPTION

A large building providing multiple units, common area living, dining and cooking facilities, and that has a continuous front porch.

### b. BUILDING FORM

Building Length	120 ft max	A
Total Building Area	20,000 sf max	
Total Stories	3 max	B
First Floor Height	10 ft min, 15 ft max	C
Upper Floor Height	9 ft min, 12 ft max	D
First Floor Elevation	2 ft min	
Components	see Section D Components	
Roofs	see Section E Roof Types	
Attachments	none	

### c. ALLOWABLE UNITS

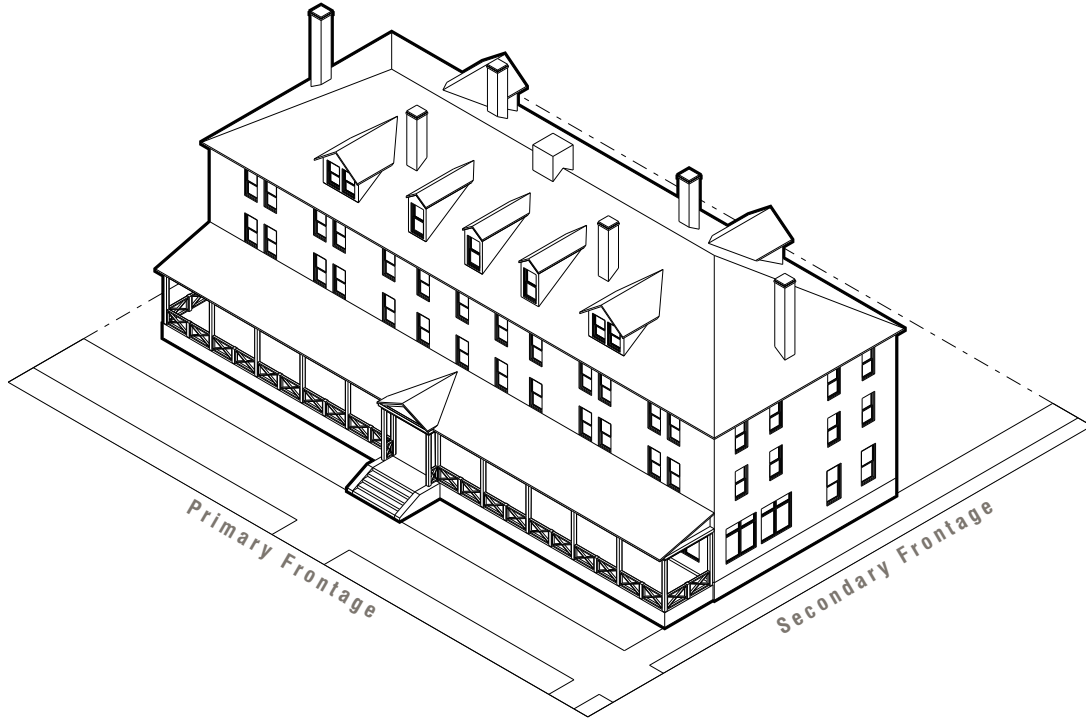
varies

### d. FENESTRATION

First Floor Fenestration	20% min
Upper Floor Fenestration	20% min

### e. STANDARDS

1. The inn building floor plate may not exceed 15,000 sf.
2. The inn building may front a primary street provided the front porch is continuous along the frontage and is not enclosed.



**f. MASSING COMPONENTS**

Rear Addition	●
Side Wing	●
Connector	●
Extended Shopfront	●
Porte-Cochere	●
Tower	●

**g. ARCHITECTURAL COMPONENTS**

Porch	●
Gallery	●
Stoop	●
Cross Gable	●
Shed Dormer	●
Dormer Window	●
Bay Window	●
Balcony	●
Turret	●
Arcade	●
Portico	●
Canopy	●

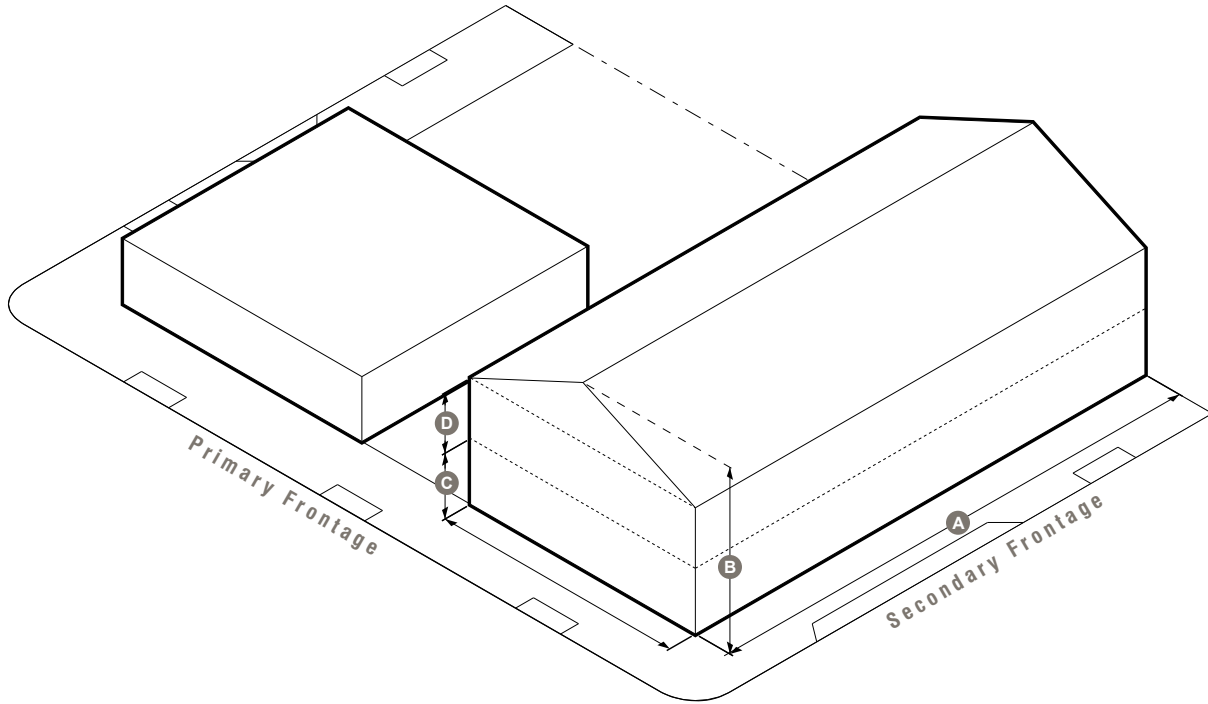
Deck	●
Roof Deck	●
Cupola	●

**h. ROOFS**

Gable Roof	●
Hipped Roof	●
Mansard Roof	●
Gambrel Roof	●
Flat Roof	●

● Permitted

### 13. FABRICATION BUILDING



**a. DESCRIPTION**

A large floor plate, building type with large open floor plans, and optional shopfronts, providing multiple units.

**b. BUILDING FORM**

Building Length	150 ft max	<b>A</b>
Building Area	30,000 sf max	
Total Stories	2 max	<b>B</b>
First Floor Height	9 ft min	<b>C</b>
Upper Floor Height	9 ft min	<b>D</b>
First Floor Elevation	0 ft min	
Components	see Section D Components	
Roofs	see Section E Roof Types	
Attachments	2 sides max	

**c. ALLOWABLE UNITS**

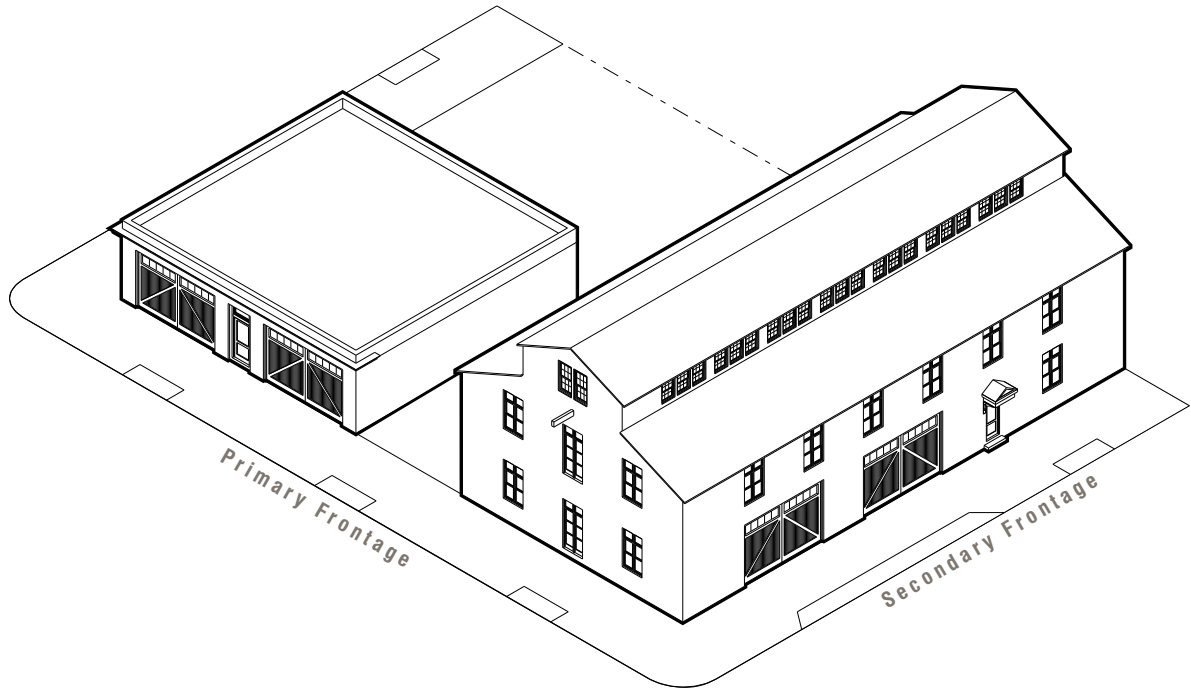
1 unit min

**d. FENESTRATION**

Shopfront	Optional
First Floor Fenestration	30%
Upper Floor Fenestration	30%

**e. STANDARDS**

1. Fabrication buildings must be oriented perpendicular to the primary thoroughfare (excluding alleys).
2. The fabrication building floor plate may not exceed 15,000 sf.
3. Shed dormers may ignore the gable end and ridge line setback in order to form a continuous monitor style roof along the entirety of the ridge beam.



**f. MASSING COMPONENTS**

Rear Addition	●
Side Wing	●
Connector	●
Extended Shopfront	●
Porte-Cochere	●
Tower	●

**g. ARCHITECTURAL COMPONENTS**

Porch	●
Gallery	●
Stoop	●
Cross Gable	●
Shed Dormer	●
Dormer Window	●
Bay Window	●
Balcony	●
Arcade	●
Portico	●
Canopy	●
Deck	●
Cupola	●

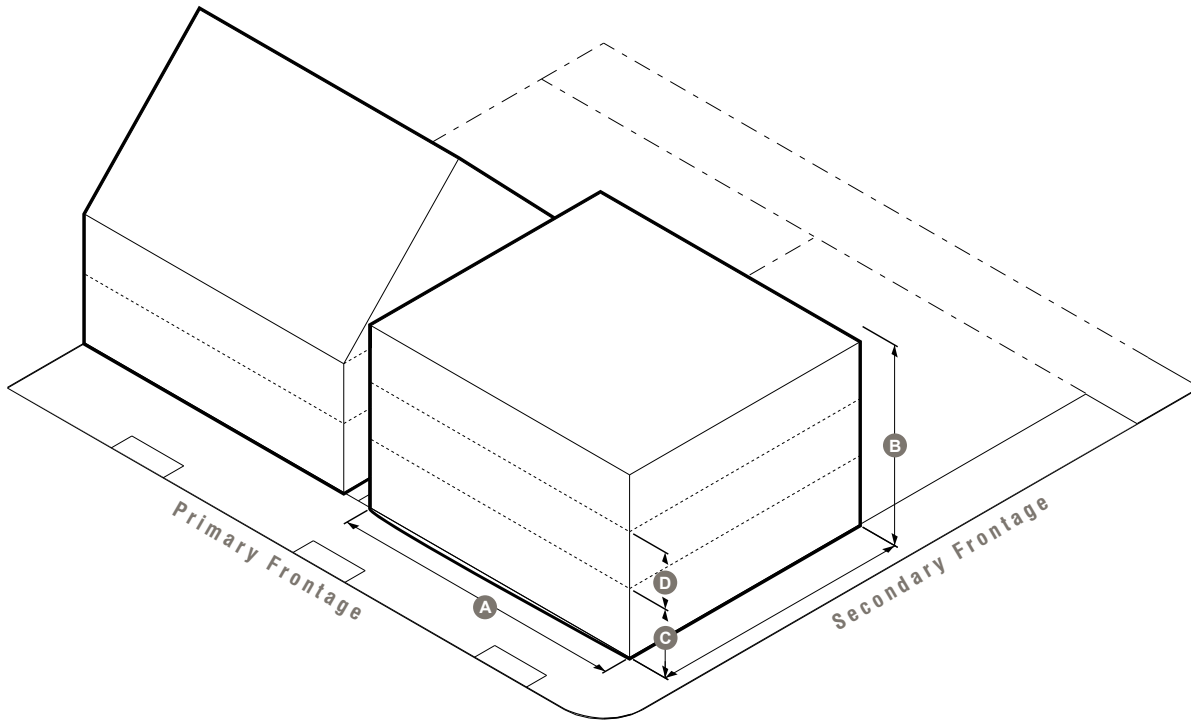
**h. ROOFS**

Gable Roof	●
Hipped Roof	●
Gambrel Roof	●
Shed Roof	●
Flat Roof	●

● Permitted



## 14. MIXED-USE BUILDING



### a. DESCRIPTION

A variably-sized building type with a required shopfront providing multiple units.

### b. BUILDING FORM

Frontage Length	100 ft max	A
Ground Floor Plate Area	10,000 sf max	
Upper Floor Plate Area	10,000 sf max	
Total Stories	3 max	B
First Floor Height	12 ft min, 20 ft max	C
Upper Floor Height	9 ft min, 12 ft max	D
First Floor Elevation	0 ft max	
Components	see Section D Components	
Roofs	see Section E Roof Types	
Attachments	2 sides max	

### c. ALLOWABLE UNITS

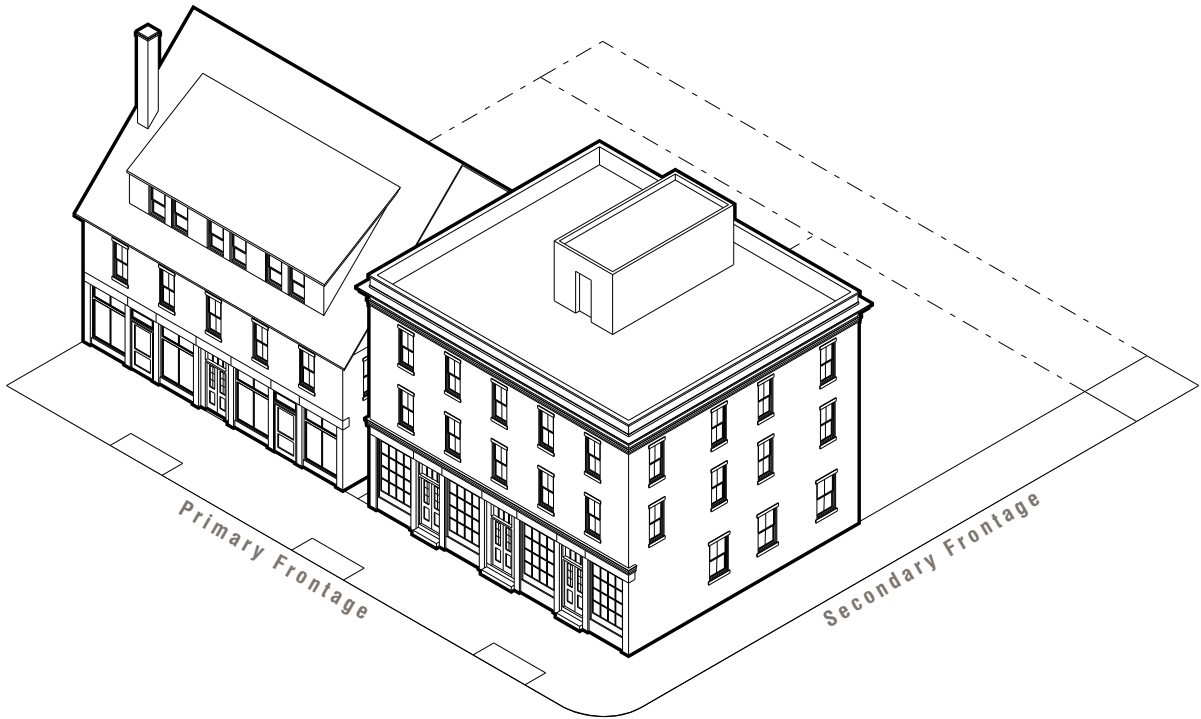
Units per floor	10 units max
-----------------	--------------

### d. FENESTRATION

Shopfront	Required
First Floor Fenestration	70% min
Upper Floor Fenestration	20% min

### e. STANDARDS

- Shopfronts are required on the first floor of the primary frontage.



**f. MASSING COMPONENTS**

Rear Addition	●
Side Wing	●
Connector	●
Extended Shopfront	●

**g. ARCHITECTURAL COMPONENTS**

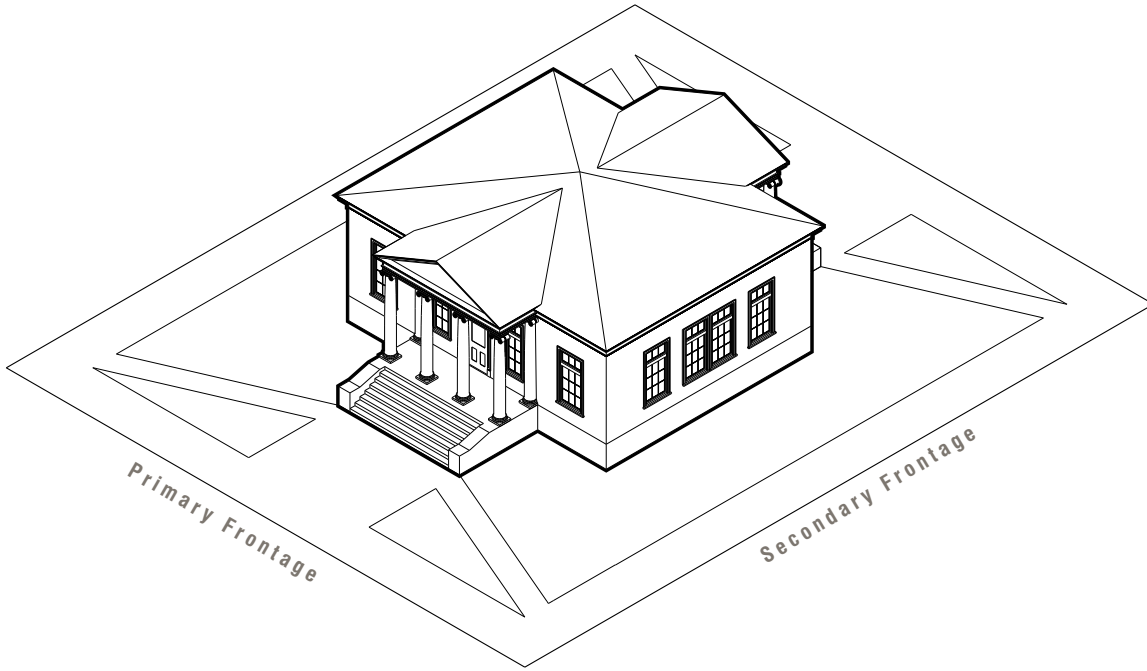
Porch	●
Gallery	●
Stoop	●
Cross Gable	●
Shed Dormer	●
Dormer Window	●
Bay Window	●
Balcony	●
Turret	●
Arcade	●
Portico	●
Canopy	●
Deck	●
Roof Deck	●
Cupola	●

**h. ROOFS**

Gable Roof	●
Hipped Roof	●
Mansard Roof	●
Gambrel Roof	●
Shed Roof	●
Flat Roof	●

● Permitted

## 15. CIVIC BUILDING



### a. DESCRIPTION

A public building of high design and construction quality, usually a landmark.

### b. BUILDING FORM

Building Length	100 ft max
Building Area	50,000 sf max
Total Stories	3 max
First Floor Height	15 ft min
Upper Floor Height	12 ft min
First Floor Elevation	0 ft min
Components	see Section Components
Roofs	see Section Roof Types (3)
Attachments	2 sides max

### c. ALLOWABLE UNITS

1 unit min

### d. FENESTRATION

First Floor Fenestration	20% min (2)
Upper Floor Fenestration	20% min (2)

### e. STANDARDS

1. Uses in this building must be associated with tax-exempt organizations, such as museums, government, religious, educational institutions, etc. and provide a tangible civic benefit and be open to the public.
2. The Permitting Authority may waive window and door requirements for civic uses that require no windows for much of their exterior (such as art museums).
3. Civic buildings are exempt from roof system regulation. The values presented in E. Roof Types are guidelines only.

**f. MASSING COMPONENTS**

Rear Addition	●
Side Wing	●
Connector	●
Porte-Cochere	●
Tower	●

**g. ARCHITECTURAL COMPONENTS**

Porch	●
Gallery	●
Stoop	●
Cross Gable	●
Shed Dormer	●
Dormer Window	●
Bay Window	●
Balcony	●
Turret	●
Arcade	●
Portico	●
Canopy	●
Deck	●
Cupola	●

**h. ROOFS**

Gable Roof	●
Hipped Roof	●
Mansard Roof	●
Gambrel Roof	●
Shed Roof	●
Flat Roof	●

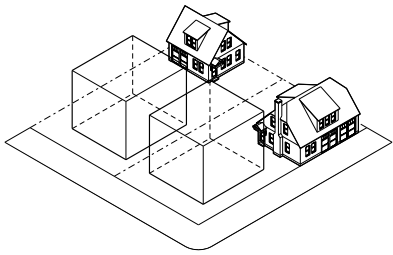
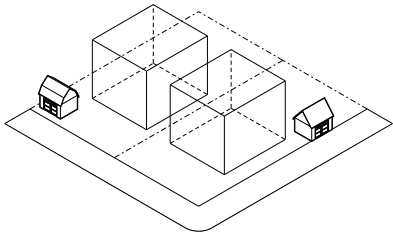
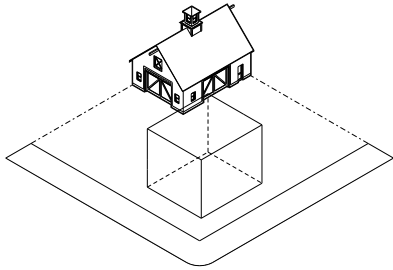
● Permitted

TABLE C - ACCESSORY BUILDING TYPE SUMMARY TABLE

1. BARN

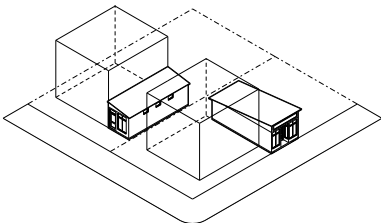
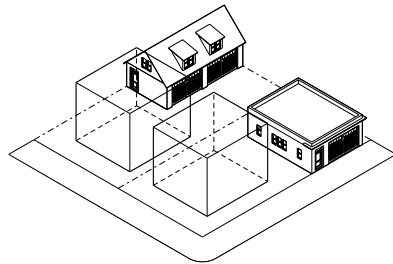
2. FARMSTAND

3. CARRIAGE HOUSE



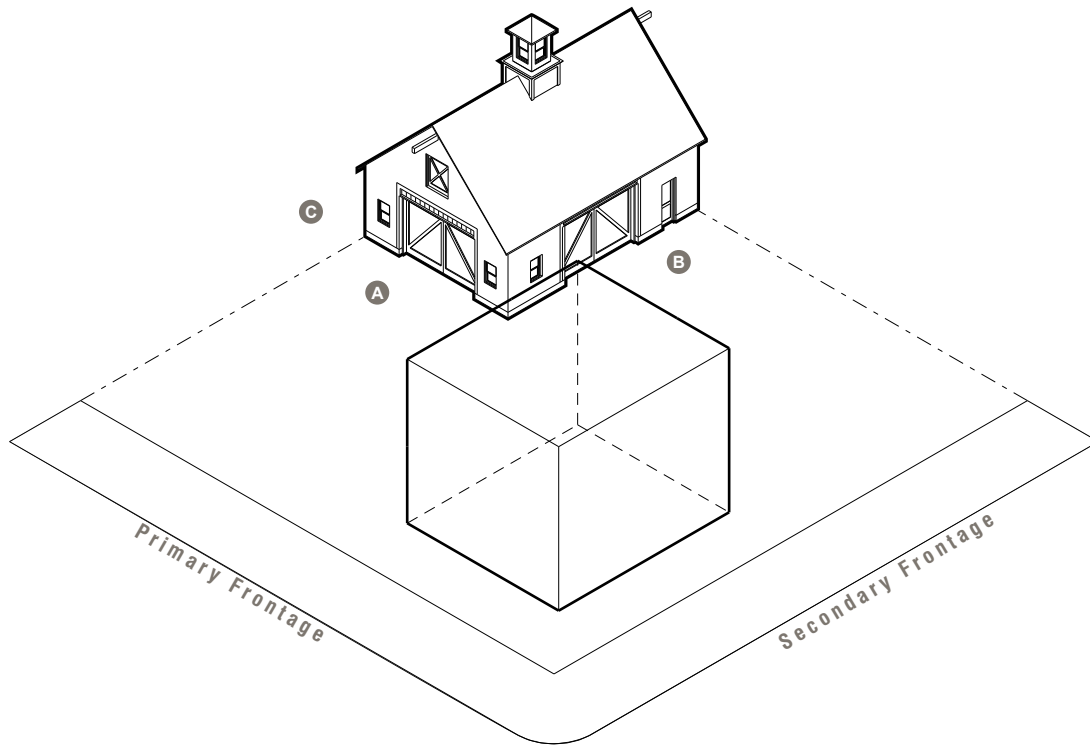
4. FABRICATION SHOP

5. ACCESSORY SHOP



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## 1. BARN



### a. DESCRIPTION

A large accessory building that provides space for agricultural, fabrication, storage, or other permitted non-residential uses.

### b. ACCESSORY BUILDING PLACEMENT

Primary Front Setback	(1)
Secondary Front Setback	3 ft min
Side Setback	3 ft min
Rear Setback	3 ft min

### c. BUILDING FORM

Building Width	36 ft max (2)	<b>A</b>
Building Length	60 ft max (2)	<b>B</b>
Building Floor Plate	10,000 sf max (2)	
Total Stories	2 stories max	<b>C</b>
First Floor Height	n/a	
Upper Floor Height	n/a	
First Floor Elevation	0 ft min	
Roofs	see Section E Roof Types	
Attachments	none	

### d. ALLOWABLE UNITS

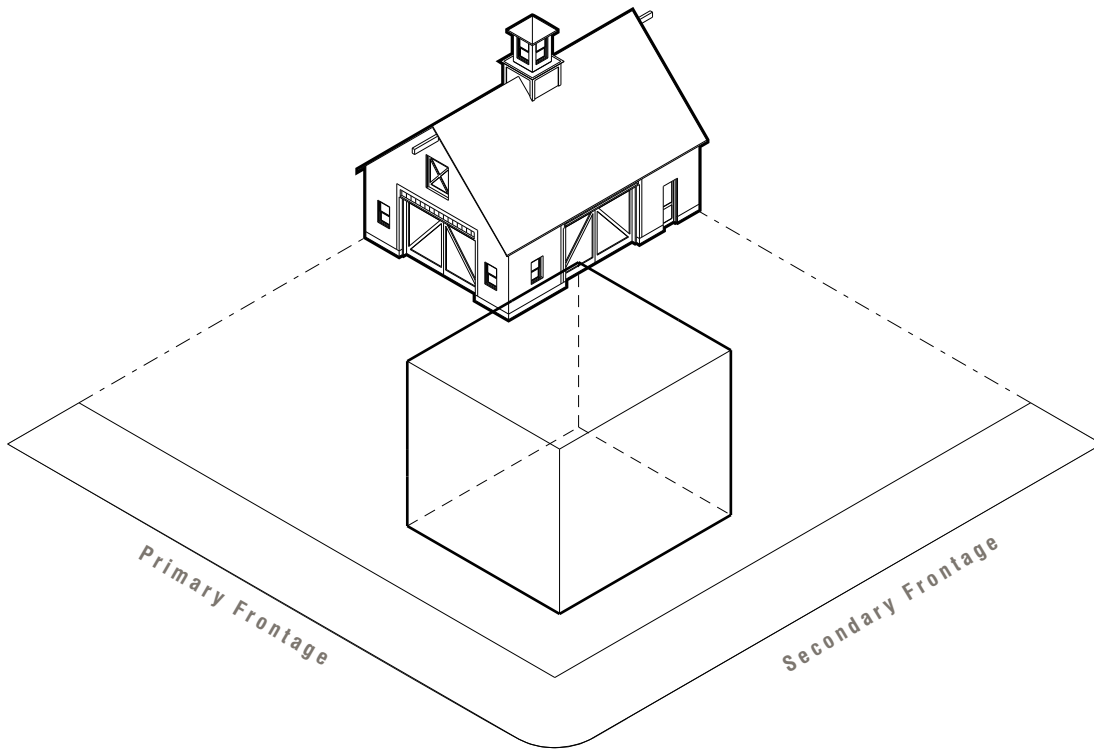
1 unit max

### e. FENESTRATION

First Floor Fenestration	optional
Upper Floor Fenestration	optional

### f. STANDARDS

1. Barns must be set back at least 20 ft from the front facade of the primary building.
2. Barns may exceed maximum measurements for length and width when part of a working agricultural operation.
3. Barn doors located within the frontage zone must be sliding or swinging doors.
4. Shed dormers may ignore the gable end and ridge line setback in order to form a continuous monitor style roof along the entirety of the ridge beam.



**g. MASSING COMPONENTS**

Rear Addition	●
Side Wing	●
Connector	●
Shed Dormer	●
Cross Gable	●
Tower	●

**h. ARCHITECTURAL COMPONENTS**

Stoop	●
Canopy	●
Dormer Window	●
Deck	●
Roof Deck	●
Cupola	●

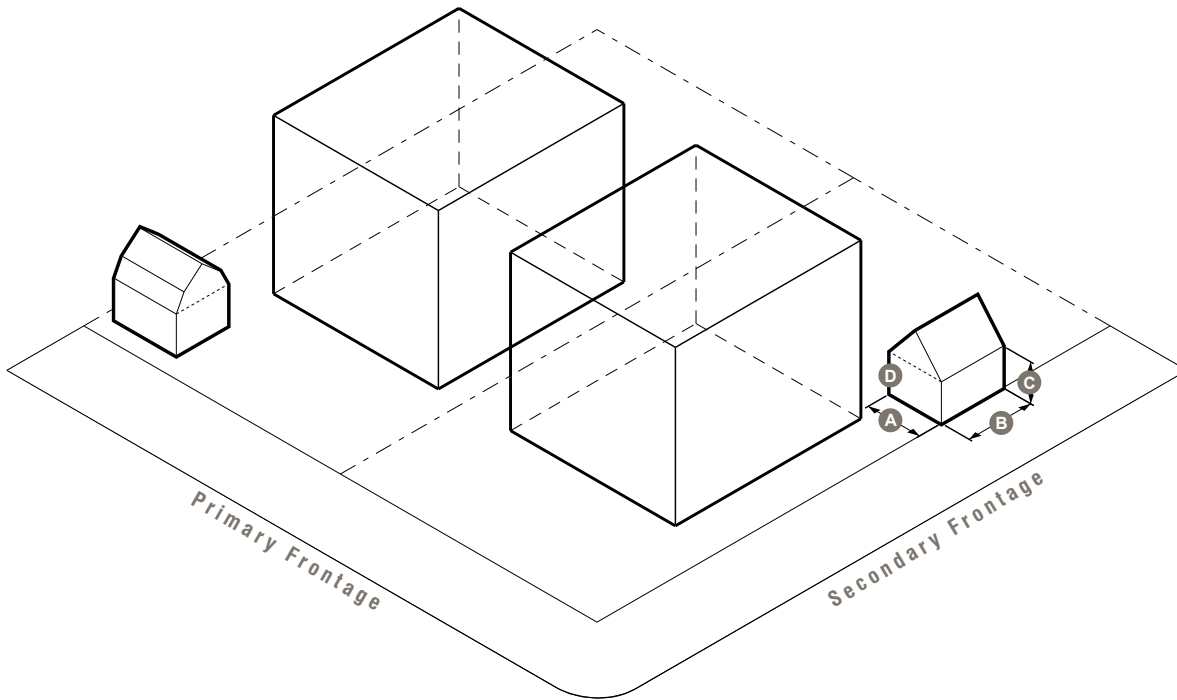
**i. ROOFS**

Gable Roof	●
Gambrel Roof	●

● Permitted



## 2. FARMSTAND



### a. DESCRIPTION

An accessory building that is temporary or modular that provides space to sell agricultural products, or that temporarily alleviates a gap in a streetwall with a small commercial space.

### b. ACCESSORY BUILDING PLACEMENT

Primary Front Setback	0 ft min
Secondary Front Setback	0 ft min
Side Setback	3 ft min
Rear Setback	3 ft min

### c. BUILDING FORM

Building Width	12 ft max	(A)
Building Length	12 ft max	(B)
Total Stories	1 story max	(C)
First Floor Height	10 ft min, 15 ft max	(D)
Upper Floor Height	n/a	
First Floor Elevation	0 ft min	
Roofs	see Section E Roof Types	
Attachments	none	

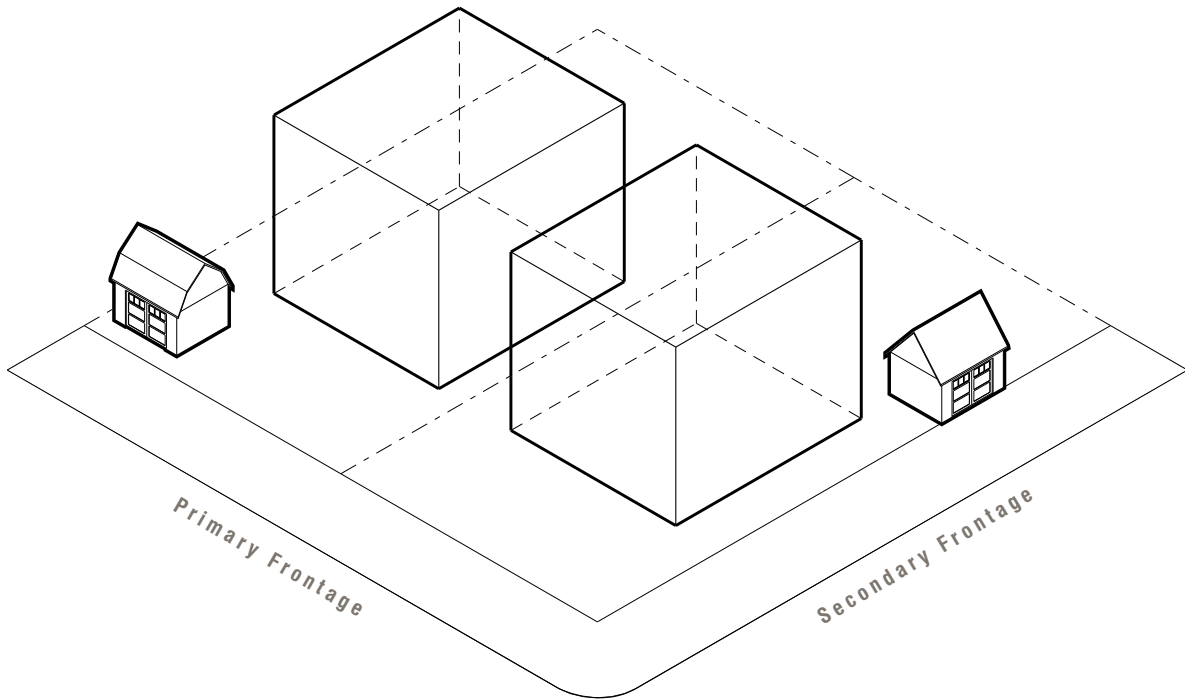
### d. ALLOWABLE UNITS

1 unit max

### e. FENESTRATION

First Floor Fenestration	0% min
Upper Floor Fenestration	0% min

### f. STANDARDS



**g. MASSING COMPONENTS**

Porch	●
Shed Dormer	●
Cross Gable	●

**h. ARCHITECTURAL COMPONENTS**

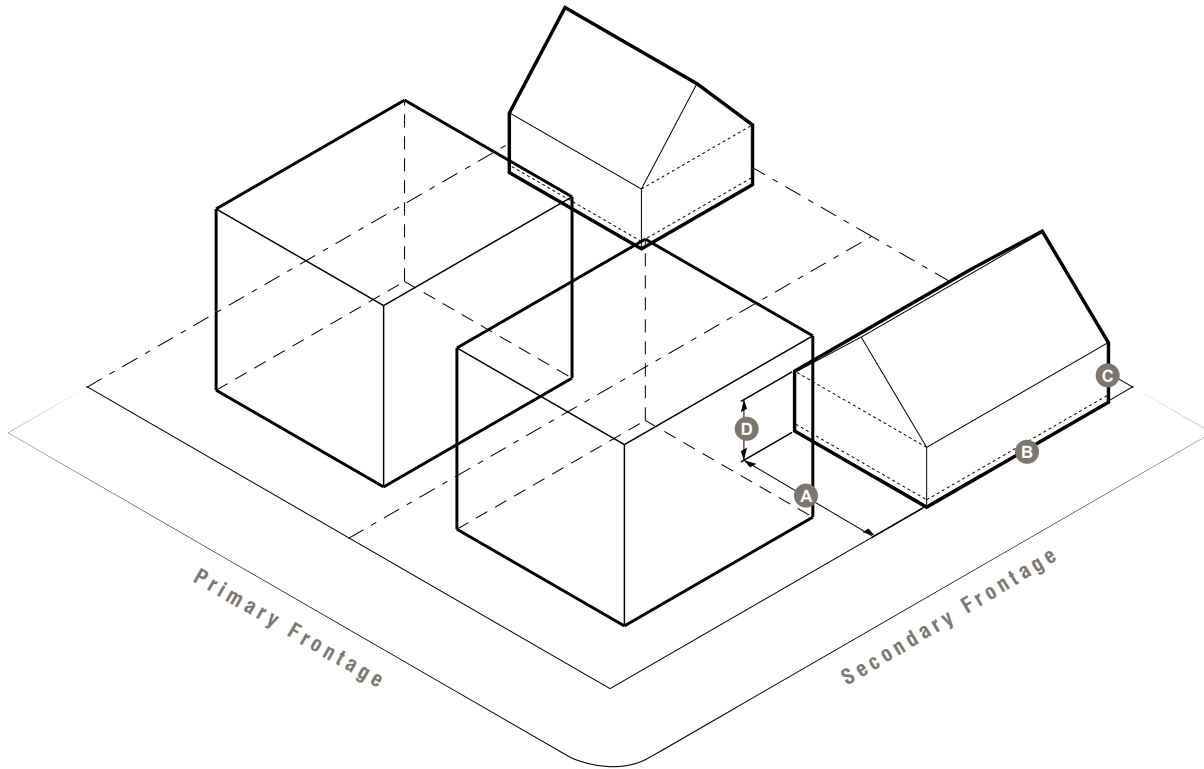
Dormer Window	●
---------------	---

**i. ROOFS**

Gable Roof	●
Hipped Roof	●
Gambrel Roof	●
Shed Roof	●
Flat Roof	●

● Permitted

### 3. CARRIAGE HOUSE



**a. DESCRIPTION**

An accessory building that provides space for parking, a workshop, an accessory unit, or a combination thereof.

**b. ACCESSORY BUILDING PLACEMENT**

Primary Front Setback	(1)
Secondary Front Setback	3 ft min
Side Setback	3 ft min
Rear Setback	3 ft min

**c. BUILDING FORM**

Building Width	24 ft max	(A)
Building Length	36 ft max	(B)
Total Stories	2 stories max	(C)
First Floor Height	9 ft min, 15 ft max	(D)
Upper Floor Height	9 ft min, 12 ft max	
First Floor Elevation	0 ft min	
Roofs	see Section E Roof Types	
Attachments	1 max	

**d. ALLOWABLE UNITS**

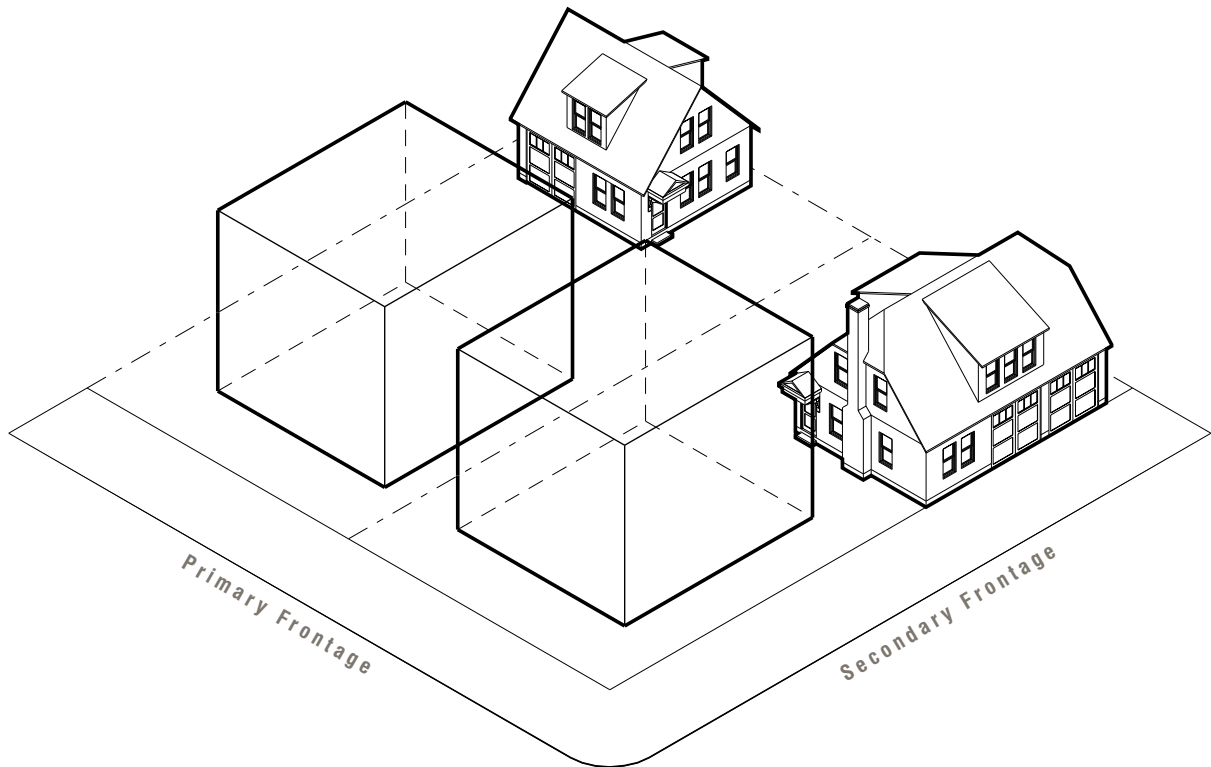
1 unit min

**e. FENESTRATION**

First Floor Fenestration	20% min
Upper Floor Fenestration	20% min

**f. STANDARDS**

- The carriage house must be set back at least 20 ft from the front facade of the primary building.



**g. MASSING COMPONENTS**

Porch	●
Gallery	●
Connector	●
Shed Dormer	●
Cross Gable	●
Porte-Cochere	●

**h. ARCHITECTURAL COMPONENTS**

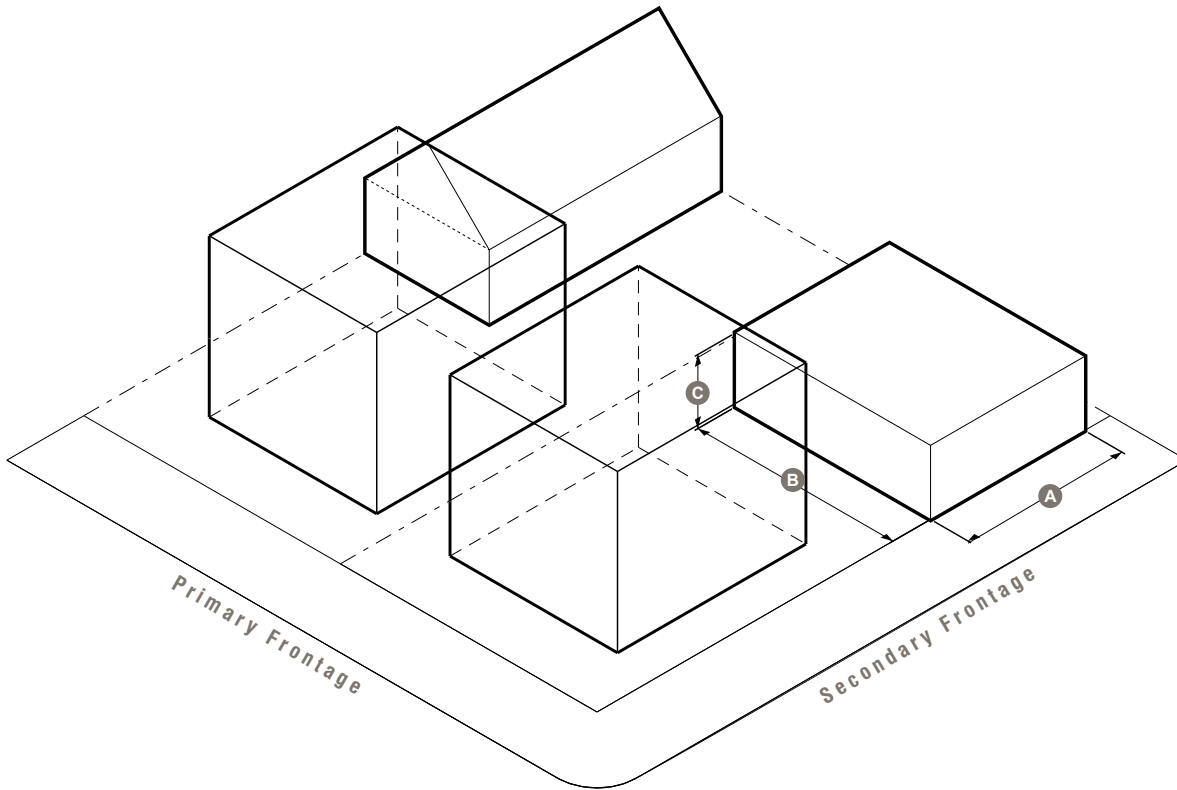
Stoop	●
Canopy	●
Portico	●
Balcony	●
Bay Window	●
Dormer window	●
Deck	●
Roof Deck	●
Cupola	●

**i. ROOFS**

Hipped Roof	●
Gambrel Roof	●
Shed Roof	●
Flat Roof	●

● Permitted

## 4. FABRICATION SHOP



### a. DESCRIPTION

An accessory building that provides space for fabrication uses.

### b. ACCESSORY BUILDING PLACEMENT

Primary Front Setback	(1)
Secondary Front Setback	3 ft min
Side Setback	3 ft min
Rear Setback	3 ft min

### c. BUILDING FORM

Building Width	30 ft max	(A)
Building Length	30 ft max	(B)
Total Stories	2 stories max	(C)
First Floor Height	9 ft min, 15 ft max	
Upper Floor Height	9 ft min, 12 ft max	
First Floor Elevation	0 ft min	
Roofs	see Section E Roof Types	
Attachments	1 max	

### d. ALLOWABLE UNITS

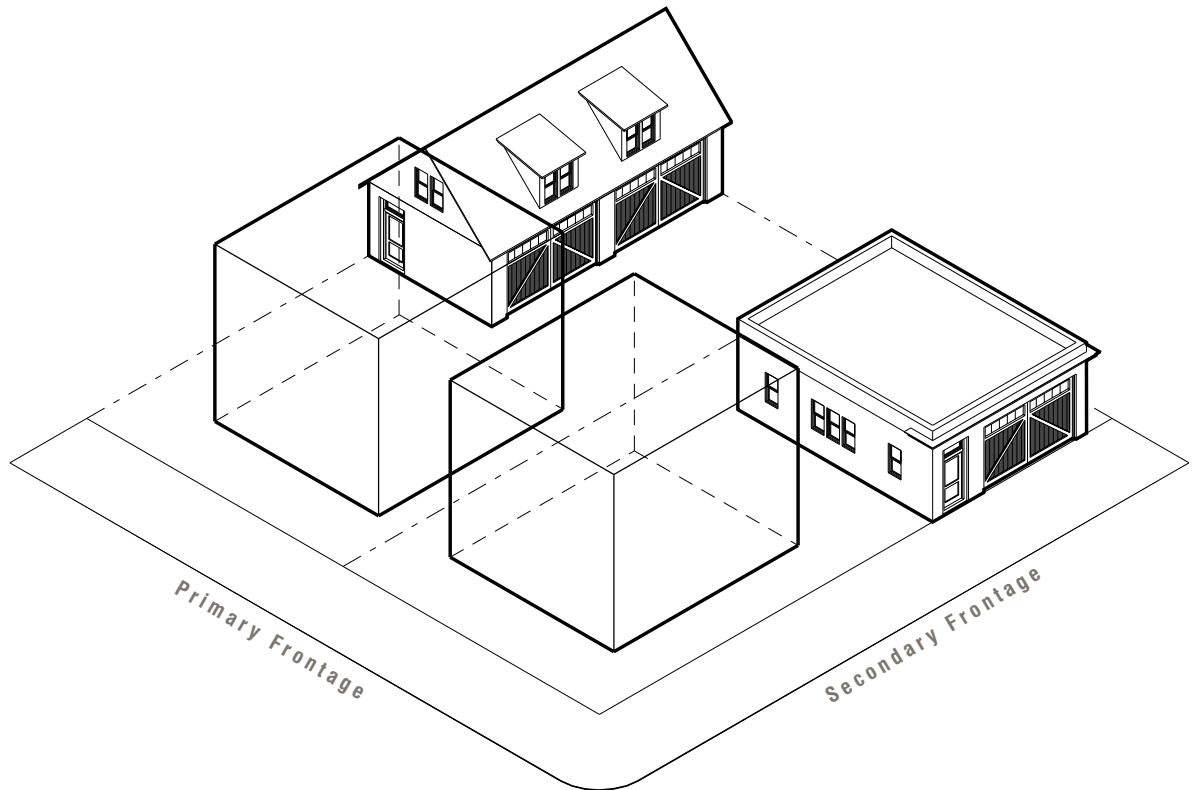
1 unit max

### e. FENESTRATION

First Floor Fenestration	20% min
Upper Floor Fenestration	20% min

### f. STANDARDS

1. The fabrication shop must be setback at least 20 ft from the front facade of the primary building.



**g. MASSING COMPONENTS**

Porch	●
Gallery	●
Connector	●
Shed Dormer	●
Cross Gable	●
Porte-Cochere	●

**h. ARCHITECTURAL COMPONENTS**

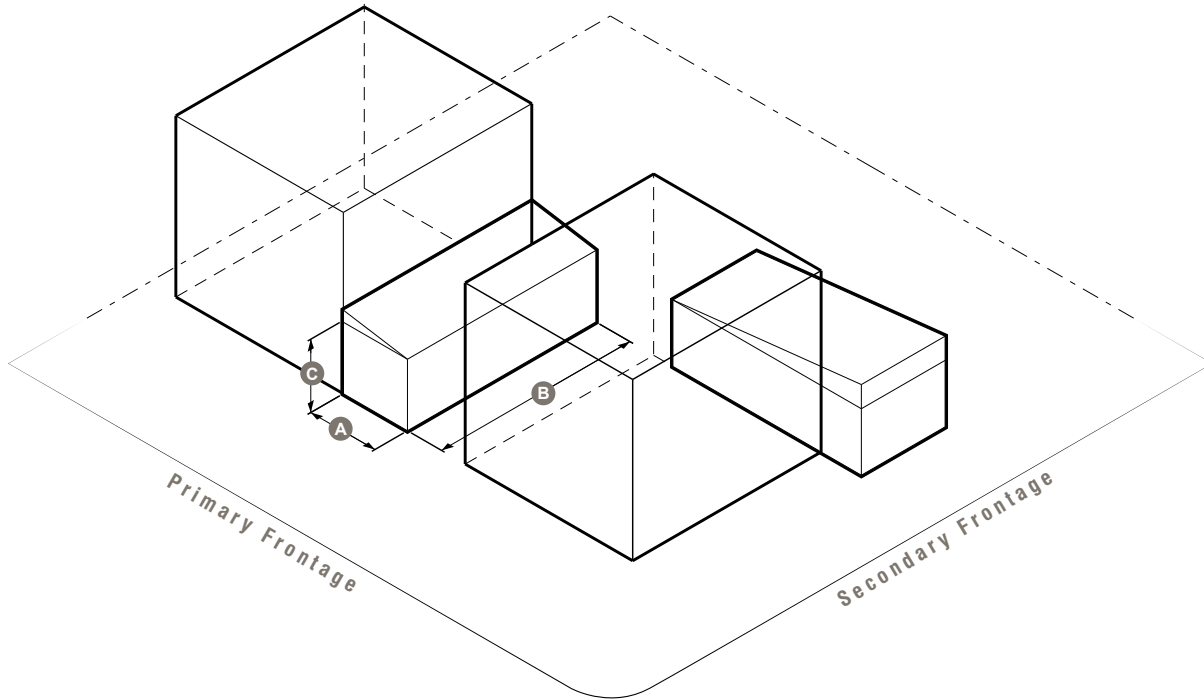
Stoop	●
Canopy	●
Portico	●
Balcony	●
Bay Window	●
Dormer Window	●
Deck	●
Roof Deck	●
Cupola	●

**i. ROOFS**

Gable Roof	●
------------	---

● Permitted

## 5. ACCESSORY SHOP



### a. DESCRIPTION

An accessory building that provides space for commercial uses.

### b. ACCESSORY BUILDING PLACEMENT

Primary Front Setback	0 ft min
Secondary Front Setback	0 ft min
Side Setback	0 ft min
Rear Setback	3 ft min

### c. BUILDING FORM

Building Width	16 ft max	(A)
Building Length	36 ft max	(B)
Total Stories	1 story max	(C)
First Floor Height	10 ft min, 15 ft max	
Upper Floor Height	n/a	
First Floor Elevation	0 ft min	
Roofs	see Section E Roof Types	
Attachments	2 max	

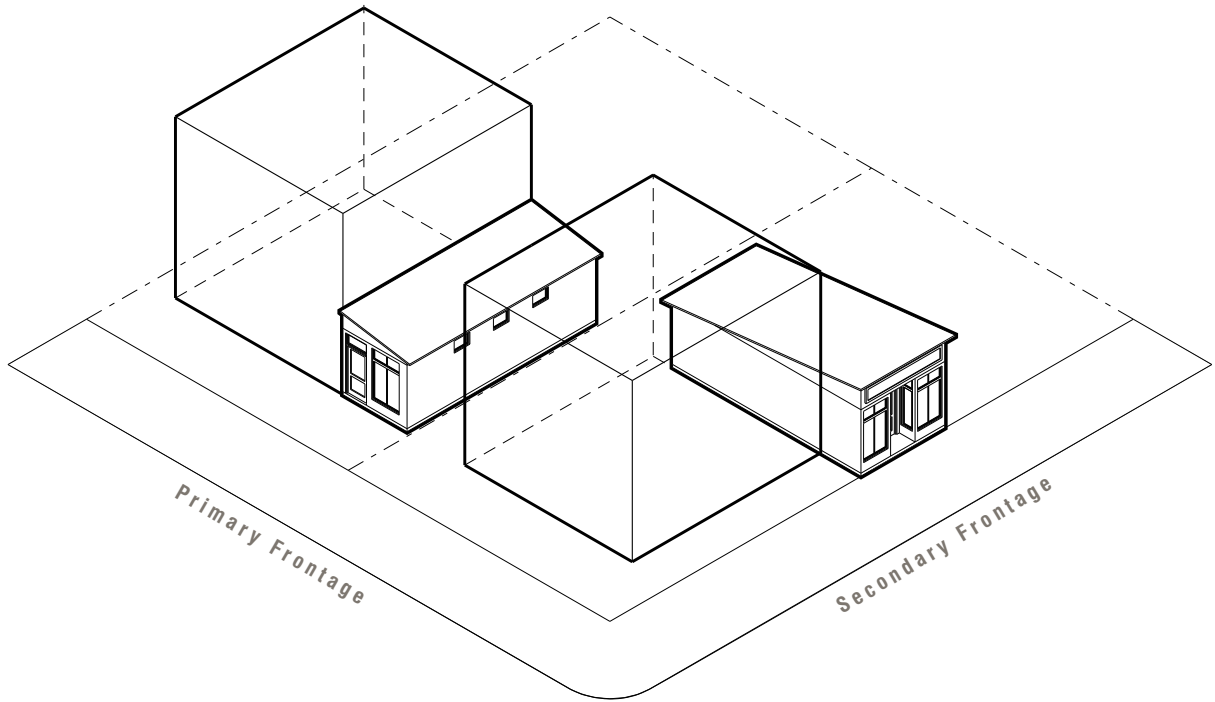
### d. ALLOWABLE UNITS

1 unit max

### e. FENESTRATION

Shopfront	required
First Floor Fenestration	70% min
Upper Floor Fenestration	n/a

### f. STANDARDS



**g. MASSING COMPONENTS**

Porch	●
Gallery	●
Connector	●
Shed Dormer	●
Cross Gable	●
Arcade	●
Porte-Cochere	●
Extended Shopfront	●

**h. ARCHITECTURAL COMPONENTS**

Stoop	●
Canopy	●
Portico	●
Bay Window	●
Dormer Window	●
Deck	●
Roof Deck	●

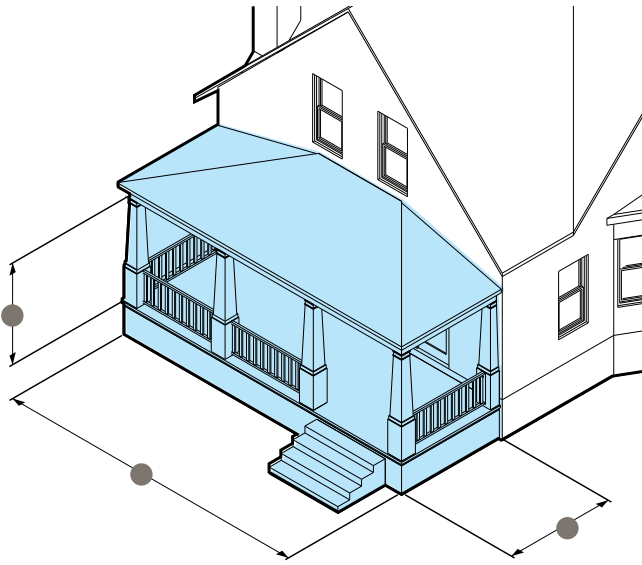
**i. ROOFS**

Gable Roof	●
Hipped Roof	●
Gambrel Roof	●
Shed Roof	●
Flat Roof	●

● Permitted



## 1. PORCH



### a. DESCRIPTION

A raised platform with stairs that provides access to a building entrance.

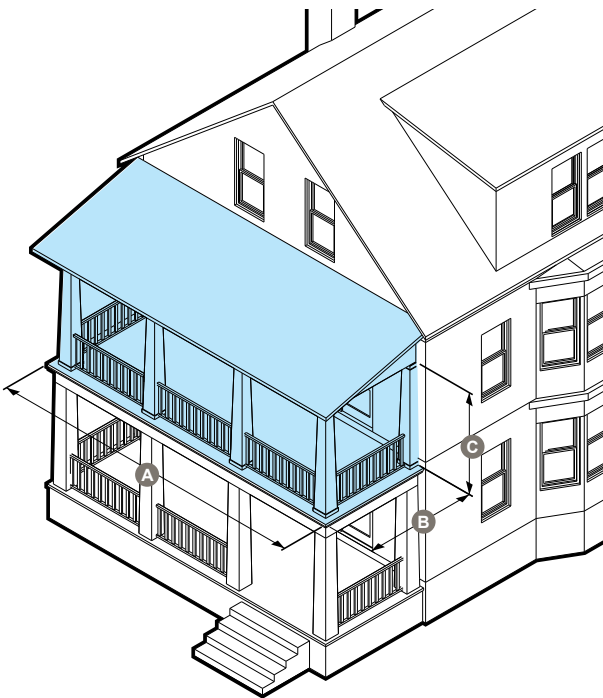
### b. DIMENSIONS

Width	No more than the width of the adjoining building face	<b>A</b>
Projection	6 ft min, 12 ft max	<b>B</b>
Height	7 ft min	<b>C</b>
Fenestration	60% min when enclosed	

### c. STANDARDS

1. Porches may be partially or fully enclosed.
2. Porches may be projecting, engaged, or integral.
3. Porches may wrap around corners to attach to porches, galleries, decks, or balconies on abutting building faces.
4. Stairs may extend off the front or side of the porch, except when a porch is located on an upper floor in which case the stairs cannot be located along the primary frontage.
5. When built on an upper floor, porches must be supported from below by a porch, arcade, or other supporting component; or visually supported by brackets, corbels, or beams along its full depth.
6. When built at the first floor, the space between piles or piers must be enclosed with latticework or similar material, or concealed visually by evergreen landscaping, on all sides.

## 2. GALLERY



### a. DESCRIPTION

A raised, roofed platform that provides additional living space, with access solely from the interior of a building.

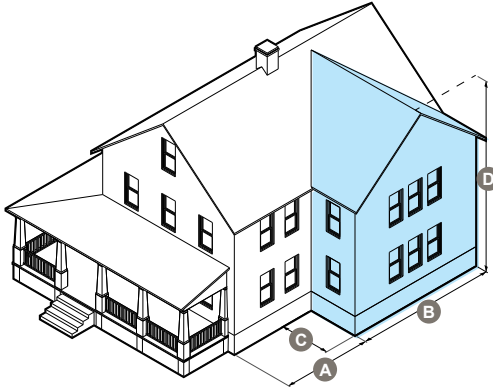
### b. DIMENSIONS

Width	No more than the width of the building face to which it attaches	<b>A</b>
Projection	6 ft min, 12 ft max	<b>B</b>
Clear Height	7 ft min	<b>C</b>
Fenestration	60% min when enclosed	

### c. STANDARDS

1. Galleries may be partially or fully enclosed.
2. Galleries may be projecting or integral.
3. Galleries may wrap around corners to attach to porches, decks, balconies, or other galleries on abutting building faces.
4. When built on an upper floor, galleries must be supported from below by a porch, arcade, or other supporting component; or visually supported by brackets, corbels, or beams along its full depth.
5. When built at the first floor, the platform must extend visually to the ground plane.

### 3. SIDE WING



#### a. DESCRIPTION

A multi-story extension from the side walls of a primary building or accessory building.

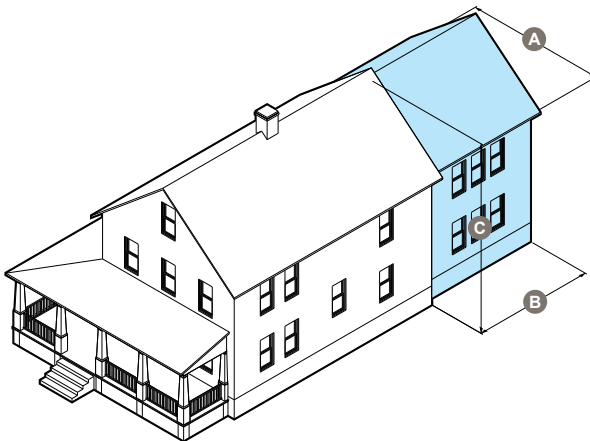
#### b. DIMENSIONS

Setback from Facade	8 ft min	A
Width	max 2/3 width of primary building	B
Projection	max 2/3 depth of primary building	C
Absolute Height	Equal to or less than height of primary building	D
Fenestration	20% min	

#### c. STANDARDS

1. Side wings may not encroach on setbacks.
2. The primary building may only have one side wing per side.
3. Side wings may be centered or offset at the side wall of the primary building, provided they share at least 6 ft with the common wall.
4. A side wing may only attach to a primary or accessory building, though other components may attach to it.
5. The side wing may be used for vehicular parking, provided the garage doors are not within the frontage zone.

### 4. REAR ADDITION



#### a. DESCRIPTION

An extension from the rear wall of a primary building or accessory building.

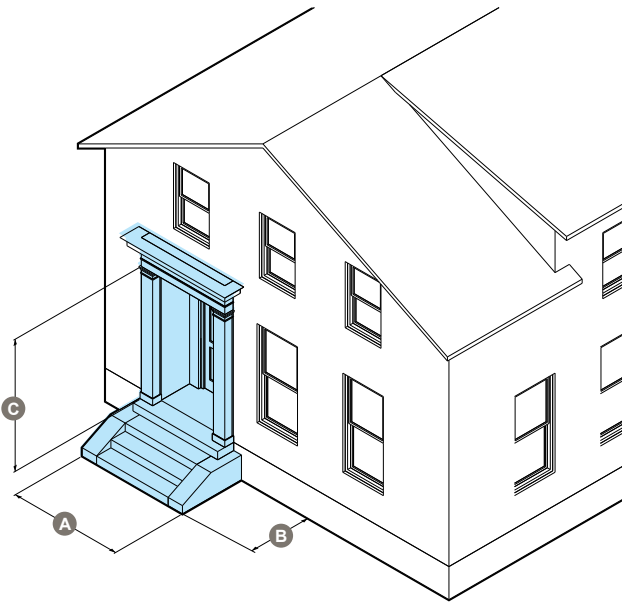
#### b. DIMENSIONS

Width	Max width of rear wall, less 2 ft	A
Projection	Less than or equal to the width of the main building mass	B
Height	Equal to or less than height of main building mass	C
Fenestration	20% min	

#### c. STANDARDS

1. Rear additions may not encroach on setbacks.
2. The primary building may only have one rear addition.
3. Rear additions may be centered or offset at the rear wall of the main building mass, provided they share at least 6 ft with the common wall.
4. The rear addition may be used for vehicular parking, provided the garage doors are not within the frontage zone.

## 5. STOOP



### a. DESCRIPTION

A component type featuring a set of stairs with a landing leading to the entrance of a building.

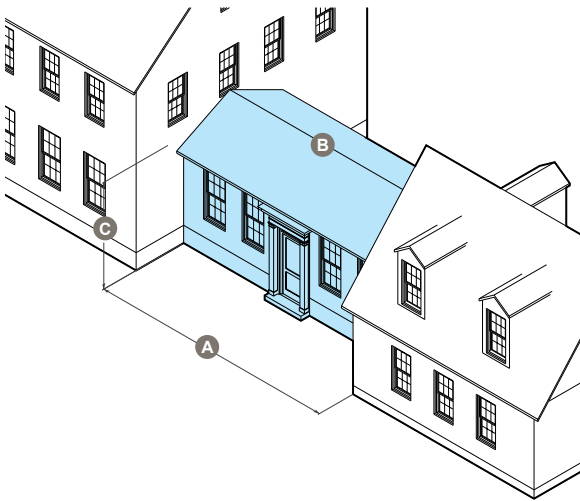
### b. DIMENSIONS

Width	3 ft 6 in min	A
Projection	3 ft 6 in min	B
Height	7 ft min when recessed	C

### c. STANDARDS

1. Stoops may be recessed into the building facade.
2. Stoop may be built perpendicular or parallel to the building face, but must lead directly to ground level or an abutting sidewalk from the building entrance.
3. A Recessed stoop may not be enclosed.
4. Stoops, when built as part of a townhouse or live/work flex building, may be configured as a split stair to access a below grade unit.
5. If a stoop is built encroaching onto a public sidewalk, it must provide at least 3 ft clear and unobstructed space between its outermost face and the face of the curb.

## 6. CONNECTOR



### a. DESCRIPTION

A narrow, roofed extension meant to link a main building mass to an accessory building or to a component of an accessory building.

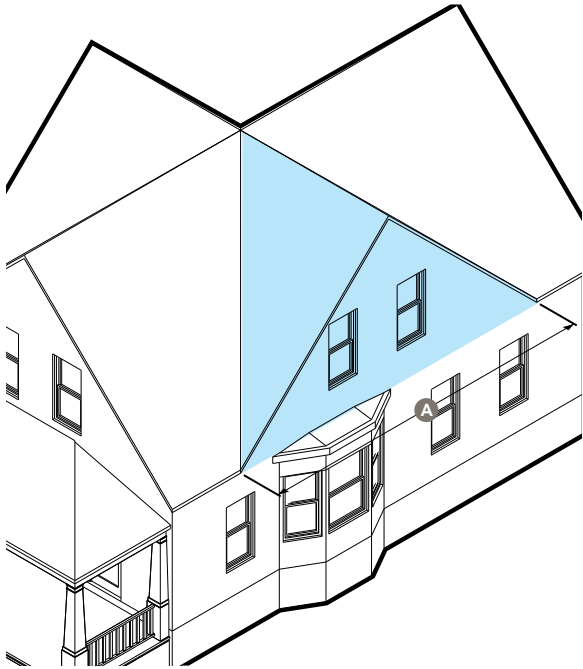
### b. DIMENSIONS

Length	Equal to or less than the length of the primary building	A
Width	8 ft min, max 2 feet less than the narrowest building face or component face to which it attaches.	B
Absolute Height	May be one or more stories in height, but may not exceed the eave height of the smallest building element to which it is linked.	C
Fenestration	10% min	

### c. STANDARDS

1. Must attach on at least one side to the primary building.
2. Connectors may not encroach on setbacks.

## 7. CROSS GABLE



### a. DESCRIPTION

A gable or gambrel roof that projects perpendicular from the roof of the primary building to increase the habitable space within a roof.

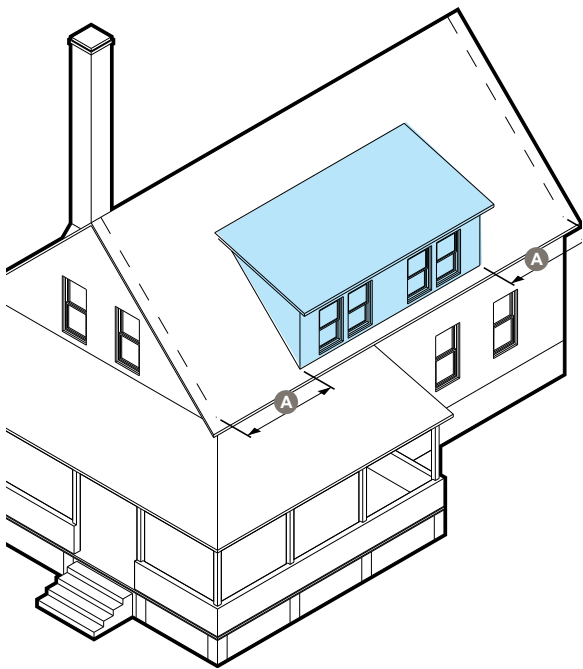
### b. DIMENSIONS

Width	Equal to eave width of the narrowest face of the primary building.	<b>A</b>
Height	The ridge beam of the cross gable may not be higher than the ridge beam of the primary building.	<b>B</b>
Fenestration	20% min	

### c. STANDARDS

1. Cross Gables may project outward from a building face (to a maximum of 12 ft) if supported from below by a component or visually supported by brackets, corbels, or a beam.
2. Two cross gables of equal size and roof pitch may be used together and may occupy the same space, but may not overlap.

## 8. SHED DORMER



### a. DESCRIPTION

A room, or portion of a room with a shed roof that projects vertically from the roof or building element, designed to provide increased light and expand the habitable space under a roof.

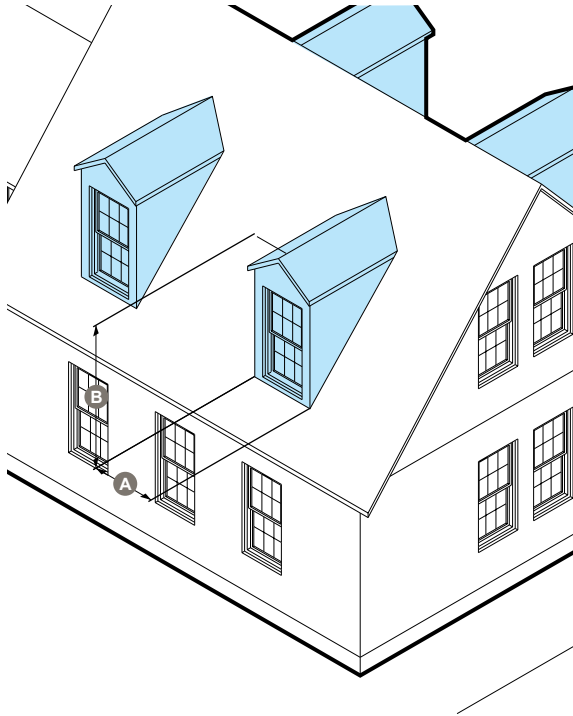
### b. DIMENSIONS

Gable End Setback	1 ft min (3)	<b>A</b>
Fenestration	20% min	

### c. STANDARDS

1. The face of the shed dormer must not project beyond the building eaves.
2. Gable end setbacks may be 0 ft from the building face when not visible from a thoroughfare (not including alleys).

## 9. DORMER WINDOW



### a. DESCRIPTION

A window or group of up to 3 windows with a gable, hip, or shed roof that projects vertically from the roof a building element, designed to provide increased light and expand the habitable space within a roof.

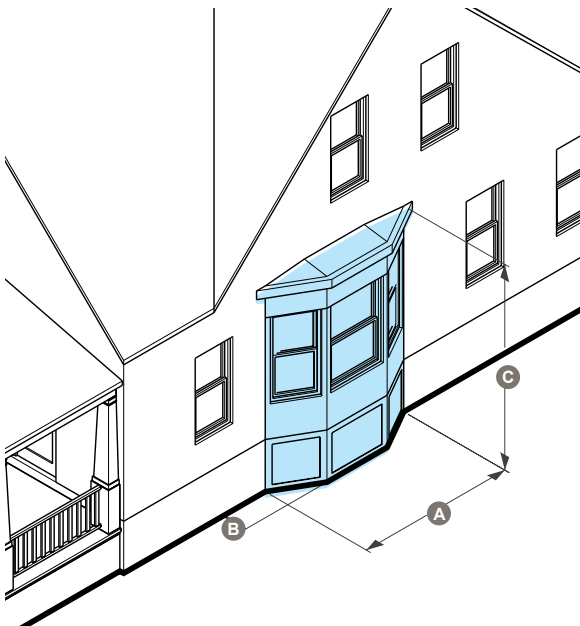
### b. DIMENSIONS

Width	(2)	A
Height	(4)	B

### c. STANDARDS

1. The window(s) in a dormer window should be vertically proportioned and no more than 3 ft wide.
2. The total width of a dormer window must be no more than 18 inches wider than the rough opening required for its' windows.
3. The face of the dormer window must not project beyond the building eaves.
4. When attached to a mansard or gambrel roof, the eave of the dormer may not pass above the chine of the roof.

## 10. BAY WINDOW



### a. DESCRIPTION

A enclosed window assembly extending from the face of a building element to permit increased light, multi-directional views, and articulate a building facade.

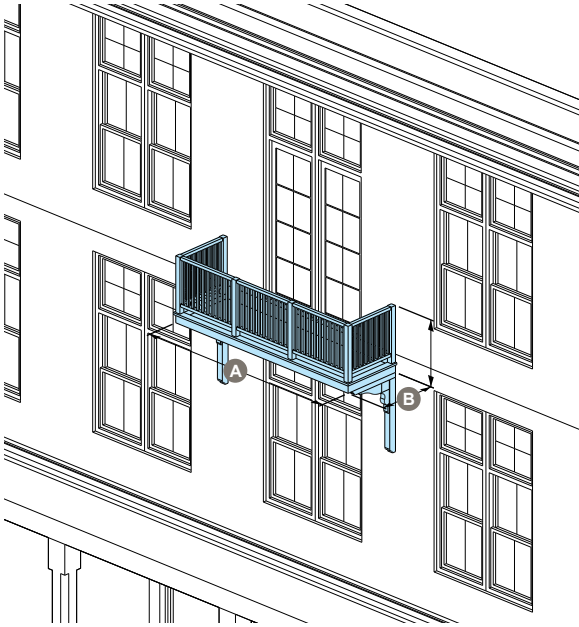
### b. DIMENSIONS

Width	16 ft max	A
Projection	6 in min, 4 ft max	B
Top Plate Height	Max equal to total number of full building stories.	C
Fenestration	30% min	

### c. STANDARDS

1. Bay windows must be visually supported by brackets, corbels, or a beam along their full depth or, when built at the first floor, may extend visually to the ground plane.
2. Bay windows may only attach to the main building mass, additions, accessory buildings, towers, porte-cocheres, connectors, cross-gables, and extended shopfronts.
3. Bay windows may intersect with and occupy the same space as porches, balconies, galleries, arcades, and decks.
4. Bay windows must attach to a single building face and may not wrap around corners.
5. Bays windows may be two sided, multi-sided, or curved.
6. Bay windows may provide openings for doorways or windows.

## 11. BALCONY



### a. DESCRIPTION

An unroofed platform attached to a building face with a railing that provides outdoor space above the first floor.

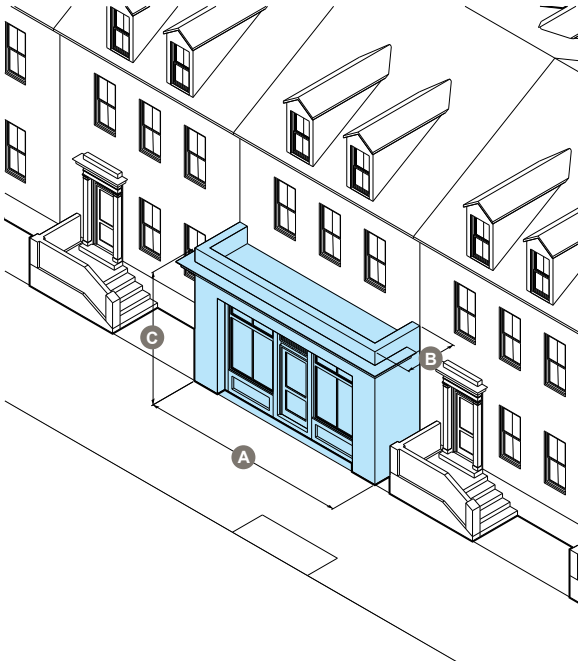
### b. DIMENSIONS

Width	No more than the width of the adjoining building face.	<b>A</b>
Projection	8 ft max	<b>B</b>

### c. STANDARDS

- Balconies are only permitted on upper stories.
- Balconies may not be enclosed and must be unroofed unless it is recessed into the envelope of the building or component to which it is attached.
- Balconies may be projecting, integral, terraced, or a combination thereof.
- Balconies may wrap around corners to attach to galleries, porches, decks, or balconies on abutting building faces.
- A balcony must be visually supported by brackets, corbels, or beams along its full width, or physically supported by another component.
- A projecting balcony must have a clear height above the ground of at least 10 ft.
- The railing of any balcony oriented toward a frontage must have posts and railings with spacing, except when recessed into the envelope of the building to which it is attached.
- When built above a porch, gallery, portico, or arcade, the balcony may extend to the boundaries of the component below.

## 12. EXTENDED SHOPFRONT



### a. DESCRIPTION

An extension on the front of a building to provide new or expanded commercial space and a shopfront.

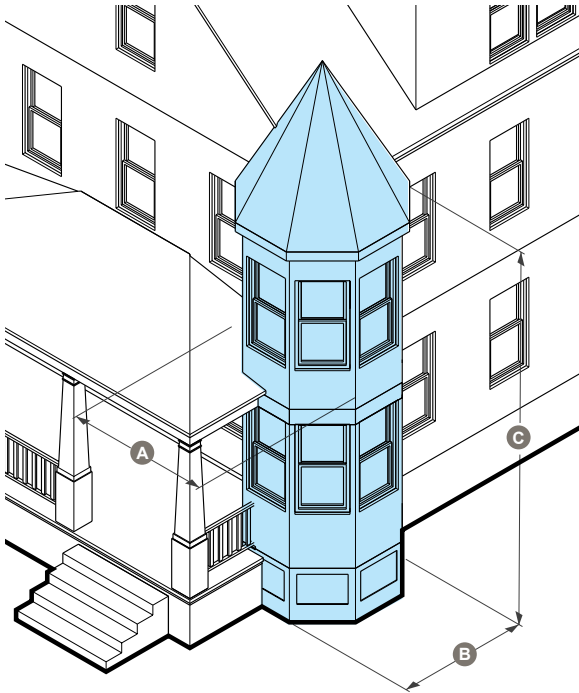
### b. DIMENSIONS

Width	No more than the width of the building face to which it attaches.	<b>A</b>
Projection	0 ft min	<b>B</b>
Height	Max equal to total number of full building stories.	
Fenestration	70% min (Shopfront) 30% min (Upper Stories)	

### c. STANDARDS

- Extended shopfronts may wrap around corners to join with an accessory shop or another extended shopfront on another building face.
- Extended shopfronts may not attach to accessory buildings with the exception of an accessory shop.
- Only 1 extended shopfront is allowed per building face.

### 13. TURRET



#### a. DESCRIPTION

A small, decorative, tower-like extension from the wall or corner of a building, meant to provide distinctive living space or to terminate an important axis.

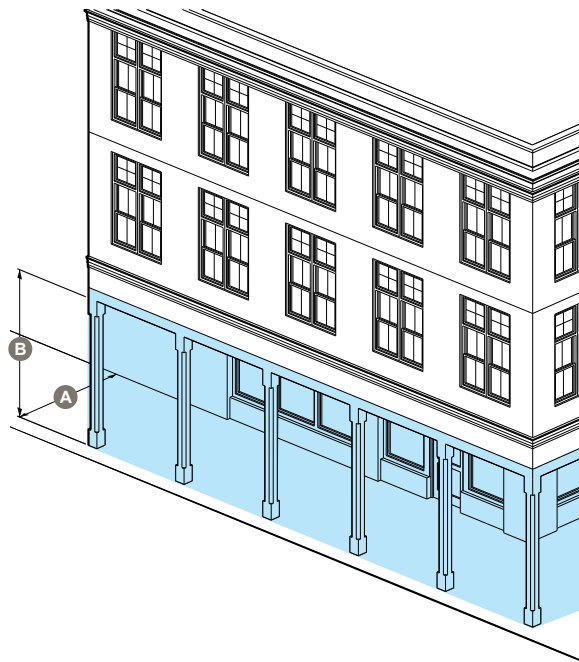
#### b. DIMENSIONS

Length	8 ft max	<b>A</b>
Width	Must be equal to length	<b>B</b>
Height	The top plate of a turret may not exceed the height of the top plate of the adjoining building.	<b>C</b>
Fenestration	30% min	

#### c. STANDARDS

1. Turrets must be visually supported by brackets, corbels, or a beam along their full width, or physically supported by another component.
2. Turrets may be square, multi-sided, or curved, and must possess radial symmetry.
3. Turrets may wrap around corners.
4. Turrets may intersect with and occupy the same space as porches, balconies, galleries, arcades, and decks.
5. Turrets must extend beyond the building face(s) to which they are attached.
6. The highest point of the roof of a turret may be higher than the highest point of the roof of the primary building.

### 14. ARCADE



#### a. DESCRIPTION

A ground-level roofed structure that provides cover and is supported on regularly spaced pillars, columns, or archways.

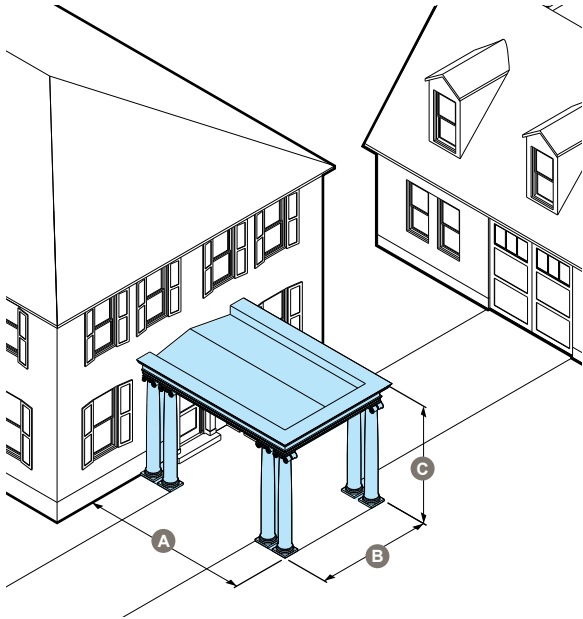
#### b. DIMENSIONS

Width	n/a	
Projection	8 ft min and no more than the height of the first floor of the main building mass.	<b>A</b>
Height	8 ft min	<b>B</b>
Fenestration	70% min when enclosed	

#### c. STANDARDS

1. Arcades may be projecting or integral.
2. Arcades may be partially or fully enclosed with windows, doors, or decorative ironwork provided they maintain at least 90% transparent openings.
3. When projecting over a sidewalk must extend the full width, less 2 ft.
4. Arcades located along a primary or secondary frontage, or within the town right-of-way may not be enclosed.
5. Arcades may wrap around corners to attach to other arcades on abutting building faces.

## 15. PORTE-COCHERE



### a. DESCRIPTION

A roofed, building element through which a vehicle may pass, and that provides shelter from inclement weather.

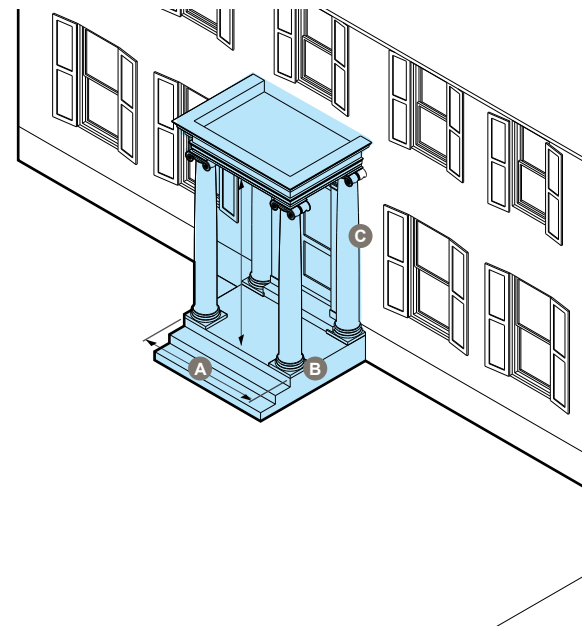
### b. DIMENSIONS

Width	16 ft max (4)	<b>A</b>
Projection	9 ft min (4)	<b>B</b>
Height	1 Story (4)	<b>C</b>

### c. STANDARDS

1. Porte-cocheres may link any two buildings or components.
2. Front and back faces of the porte-cochere must have openings of dimension sufficient to pass a vehicle through at the ground level.
3. Carriage House-style lifting doors are not permitted on a porte-cochere.
4. When associated with a commercial drive-through, the following standards apply, replacing any above standards as required:
  - a. When located on the side of a building, a porte-cochere must be attached to the primary building, must be shorter than the eave of the building or no more than 16 ft in absolute height (whichever is lesser), and may not project more than 12 ft.
  - b. When located on the side of a building, porte-cochere materials should match the materials used on the primary building.

## 16. PORTICO



### a. DESCRIPTION

A roofed structure above a stoop or platform supported on columns or pillars, which shields occupants from inclement weather and provides access to a building entrance.

### b. DIMENSIONS

Width	3 ft 6 in min	<b>A</b>
Projection	3 ft 6 in min, 8 ft max	<b>B</b>
Height	8 ft min	<b>C</b>
Fenestration	n/a	

### c. STANDARDS

1. No span between columns or pillars may be larger than the height of adjacent columns or pillars.
2. A portico may not exceed the height of the primary ridge beam on the building element to which it attaches.
3. A portico must be elevated on a platform at least 1 foot from the surface of the ground.



## 17. CANOPY



### a. DESCRIPTION

A fixed, wall mounted overhang extending from a building to provide shade and weather protection for pedestrians.

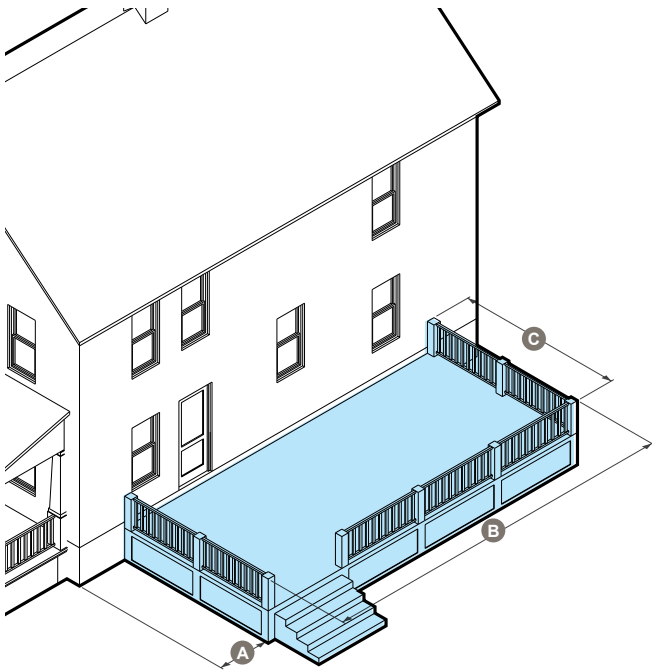
### b. DIMENSIONS

Width	4 ft min	A
Projection	3 ft min	B
Height	8 ft min	C

### c. STANDARDS

1. Canopies should be visually supported on wood or metal brackets, or suspended by cable or chain.
2. Canopies should be inset from the corners of the wall to which they are attached by at least 3 inches.

## 18. DECK



### a. DESCRIPTION

A roofless, uncovered, raised platform accessible from a secondary entrance to a building that provides outdoor amenity space.

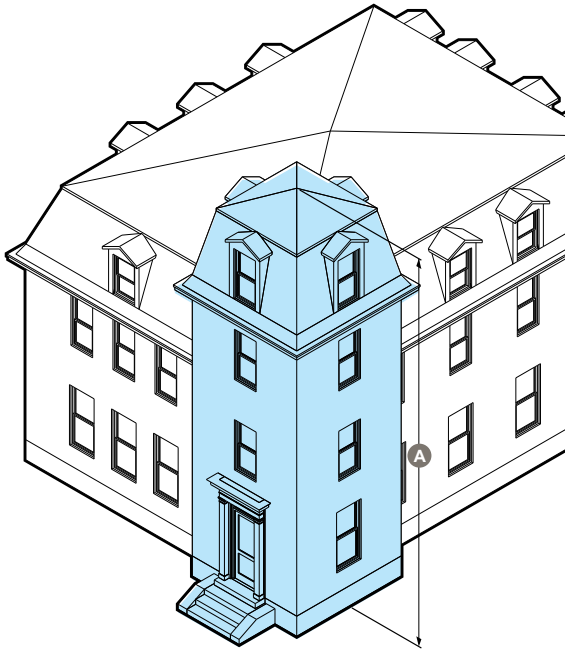
### b. DIMENSIONS

Setback from Facade	2 ft min	A
Width	8 ft min	B
Projection	6 ft min	C
Height	none	
Fenestration	none	

### c. STANDARDS

1. Decks are not permitted along frontages.
2. The space between piles or piers must be enclosed with latticework or similar material, or concealed visually by evergreen landscaping, on all sides, except for decks that are elevated more than 8 ft from the ground plane.
3. Decks may not be enclosed.

## 19. TOWER



### a. DESCRIPTION

A building component that is significantly taller than it is wide as way to gain views and additional habitable space.

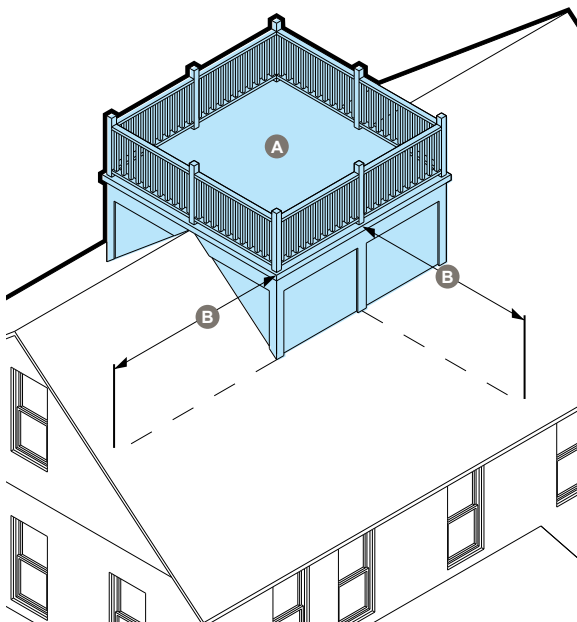
### b. DIMENSIONS

Area	200 sf max
Height	Maximum of one story above the highest story not contained within a roof. <b>A</b>
Fenestration	30% min (8)

### c. STANDARDS

1. Towers must attach to the main building mass.
2. Towers must be constructed on a foundation that extends to the ground plane.
3. Towers may be square, multi-sided, or curved, but should possess radial symmetry.
4. Towers may intersect with and occupy the same space as porches, galleries, arcades, and decks.
5. Towers may extend horizontally beyond the building face(s) to which they are attached.
6. 1 tower per lot max.
7. The highest point of a tower may extend above the highest point of the roof of the primary building.
8. Towers built as silos on a barn may ignore widow and door requirements.

## 20. ROOF DECK



### a. DESCRIPTION

A raised uncovered platform with a railing on the roof of a building that provides outdoor amenity space and access to views.

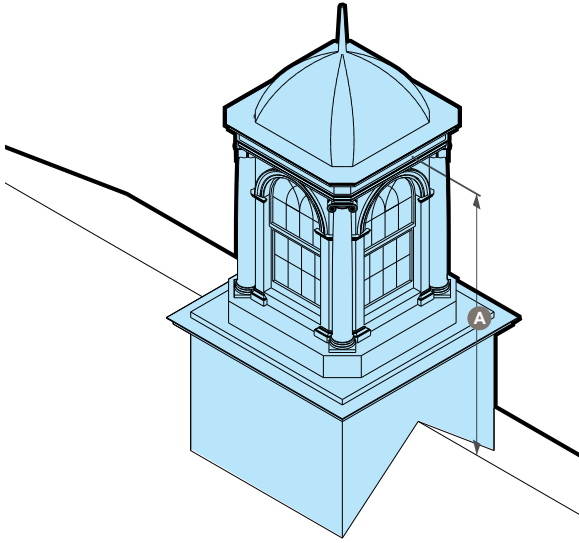
### b. DIMENSIONS

Total Area	400 sq ft max	<b>A</b>
Setback from Building Faces	5 ft min from every building face (3)	<b>B</b>

### c. STANDARDS

1. The width of roof decks may not exceed 50% of the building width, except on a flat roof they may extend to fill the entire roof.
2. The railing must be constructed with posts and rails with spacing such that it does not exceed 50% opacity, except when built on a flat roof.
3. Roof decks built on a flat roof may extend to the building parapet and use the parapet as a railing, provided it is of sufficient height.
4. Roof decks may only be built on the main roof of a primary, building accessory building, rear additions, side wings, connectors, galleries, and porches.
5. The highest point of a roof deck may be higher than the highest point of the roof of the primary building.

## 21. CUPOLA



### a. DESCRIPTION

A small roof structure, possessing radial symmetry, used to provide light and ventilation to a building, or as a belfry, overlook, lantern, or additional habitable space.

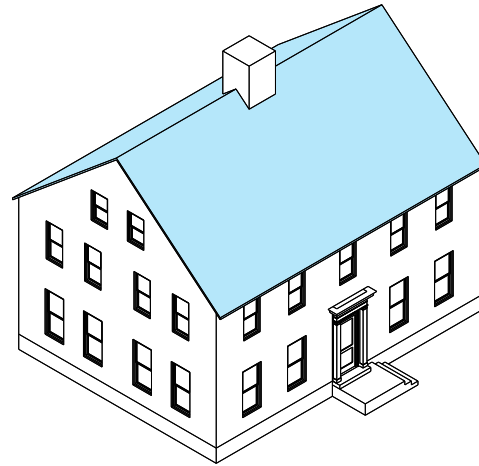
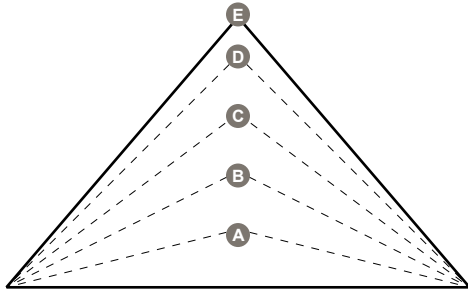
### b. DIMENSIONS

Length		A
Width		B
Height	Less than or equal to the maximum upper floor height for the main building mass or accessory building to which it is attached, measured from the top of the primary ridge beam to the base of the cupola's eaves.	C
Fenestration	40% min	

### c. STANDARDS

1. A cupola's maximum area must be no greater than 150 SF.
2. Cupolas may only attach to the main building mass, roof decks, towers, porte-cocheres, and accessory buildings.
3. The highest point of a cupola may be higher than the highest point of the roof of the primary building.

## 1. GABLE ROOF



### a. DESCRIPTION

A pitched roof with two sides of the same slope and length, meeting symmetrically at a single ridge-beam.

### b. ROOF PITCH BY BUILDING TYPE

Cottage	6:12 Min, 14:12 Max	<b>B E</b>
House	8:12 Min, 14:12 Max	<b>C E</b>
Bungalow	6:12 Min, 14:12 Max	<b>B E</b>
Duplex	8:12 Min, 14:12 Max	<b>C E</b>
Apartment House	9:12 Min, 14:12 Max	<b>C E</b>
Apartment Building	9:12 Min, 14:12 Max	<b>C E</b>
Townhouse	6:12 Min, 12:12 Max	<b>B D</b>
Shophouse	9:12 Min, 14:12 Max	<b>C E</b>
Live-work/ Flex	6:12 Min, 12:12 Max	<b>B D</b>
Shop	9:12 Min, 14:12 Max	<b>C E</b>
Inn Building	6:12 Min, 12:12 Max	<b>B D</b>
Mixed-use Building	6:12 Min, 12:12 Max	<b>B D</b>
Fabrication Building	6:12 Min, 12:12 Max	<b>B D</b>
Civic Building	6:12 Min, 12:12 Max	<b>B D</b>

### c. ROOF PITCH BY ACCESSORY BUILDING TYPE

Barn	9:12 Min, 14:12 Max	<b>C E</b>
Farmstand	9:12 Min, 14:12 Max	<b>C E</b>
Carriage House	9:12 Min, 14:12 Max	<b>C E</b>
Fabrication Shop	9:12 Min, 14:12 Max	<b>C E</b>
Accessory Shop	9:12 Min, 14:12 Max	<b>C E</b>

### d. ROOF PITCH BY COMPONENT TYPE

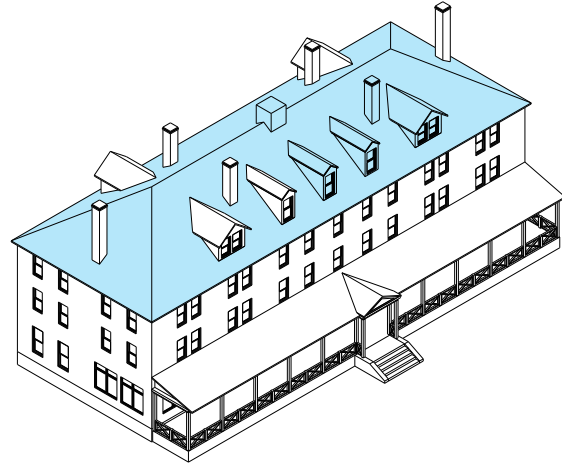
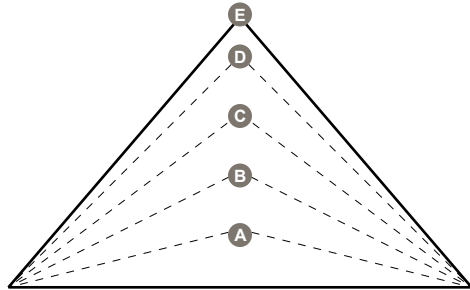
Porch	3:12 Min, 12:12 Max	<b>A D</b>
Gallery	3:12 Min, 12:12 Max	<b>A D</b>
Side Wing	9:12 Min, 14:12 Max	<b>C E</b>
Rear Addition	9:12 Min, 14:12 Max	<b>C E</b>
Stoop	-	
Connector	-	
Cross Gable	9:12 Min, 14:12 Max	<b>C E</b>
Shed Dormer	-	
Window Dormer	3:12 Min, 14:12 Max	<b>A E</b>
Bay Window	3:12 Min, 14:12 Max	<b>A E</b>
Balcony	-	
Extended Shopfront	-	<b>C D</b>
Turret	-	
Arcade	-	
Porte-Cochere	3:12 Min, 9:12 Max	<b>A C</b>
Portico	3:12 Min, 9:12 Max	<b>A C</b>

Deck	-	
Tower	-	
Roof Deck	-	
Cupola	-	
Canopy	3:12 Min, 9:12 Max	<b>A C</b>

**e. STANDARDS**

1. Civic buildings are exempt from roof system regulation. The values presented in this table are guidelines only.
2. Rear additions may not exceed the roof pitch of the primary building to which they attach.

## 2. HIPPED ROOF



### a. DESCRIPTION

A pitched roof with all sides inclined at the same slope, such that they meet symmetrically at a shared ridge beam or a point.

### b. ROOF PITCH BY BUILDING TYPE

Cottage	6:12 Min, 12:12 Max	<b>B D</b>
House	6:12 Min, 12:12 Max	<b>B D</b>
Bungalow	-	
Duplex	6:12 Min, 12:12 Max	<b>B D</b>
Apartment House	6:12 Min, 12:12 Max	<b>B D</b>
Apartment Building	6:12 Min, 12:12 Max	<b>B D</b>
Townhouse	3:12 Min, 12:12 Max	<b>A D</b>
Shophouse	6:12 Min, 12:12 Max	<b>B D</b>
Live-work/ Flex	3:12 Min, 12:12 Max	<b>A D</b>
Shop	6:12 Min, 12:12 Max	<b>B D</b>
Inn Building	3:12 Min, 12:12 Max	<b>A D</b>
Mixed-use Building	3:12 Min, 12:12 Max	<b>A D</b>
Fabrication Building	3:12 Min, 12:12 Max	<b>A D</b>
Civic Building (1)	3:12 Min, 12:12 Max	<b>A D</b>

### c. ROOF PITCH BY ACCESSORY BUILDING TYPE

Barn	-	
Farmstand	3:12 Min, 12:12 Max	<b>A D</b>
Carriage House	3:12 Min, 12:12 Max	<b>A D</b>
Fabrication Shop	3:12 Min, 12:12 Max	<b>A D</b>
Accessory Shop	3:12 Min, 12:12 Max	<b>A D</b>

### d. ROOF PITCH BY COMPONENT TYPE

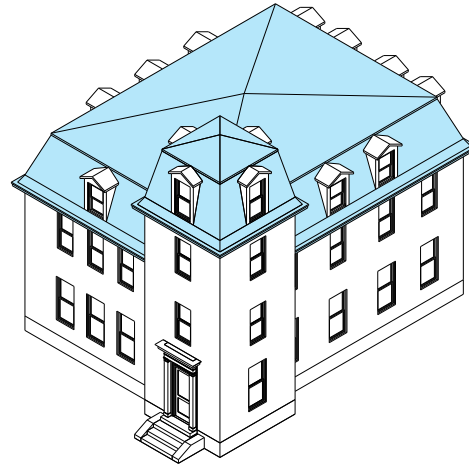
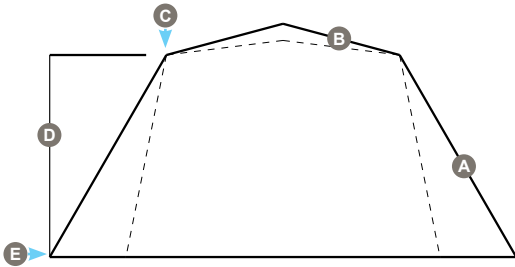
Porch	3:12 Min, 12:12 Max	<b>A D</b>
Gallery	3:12 Min, 12:12 Max	<b>A D</b>
Side Wing	3:12 Min, 12:12 Max	<b>A D</b>
Rear Addition	3:12 Min, 12:12 Max	<b>A D</b>
Stoop	-	
Connector	3:12 Min, 12:12 Max	<b>A D</b>
Cross Gable	-	
Shed Dormer	-	
Window Dormer	3:12 Min, 12:12 Max	<b>A D</b>
Bay Window	3:12 Min, 12:12 Max	<b>A D</b>
Balcony	-	
Extended Shopfront	-	<b>A D</b>
Turret	3:12 Min, 14:12 Max	<b>A E</b>
Arcade	3:12 Min, 12:12 Max	<b>A D</b>
Porte-Cochere	3:12 Min, 12:12 Max	<b>A D</b>
Portico	3:12 Min, 9:12 Max	<b>A C</b>
Deck	-	

Tower	3:12 Min, 12:12 Max	<b>A</b> <b>D</b>
Roof Deck	-	
Cupola	3:12 Min, 12:12 Max	<b>A</b> <b>D</b>
Canopy	3:12 Min, 12:12 Max	<b>A</b> <b>D</b>

**e. STANDARDS**

1. Civic buildings are exempt from roof system regulation. The values presented in this table are guidelines only.
2. Rear additions may not exceed the roof pitch of the primary building to which they attach.

### 3. MANSARD ROOF



**a. DESCRIPTION**

A complex roof type consisting of a shallow sloped upper portion, and a steeper sloped lower portion.

**b. ROOF PITCH BY BUILDING TYPE**

Cottage	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>A</b> <b>B</b>
House	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>A</b> <b>B</b>
Bungalow	-	
Duplex	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>A</b> <b>B</b>
Apartment House	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>A</b> <b>B</b>
Apartment Building	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>A</b> <b>B</b>
Townhouse	-	
Shophouse	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>A</b> <b>B</b>
Live-work/ Flex	-	
Shop	-	
Inn Building	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>A</b> <b>B</b>
Mixed-use Building	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>A</b> <b>B</b>

Fabrication Building	-	
Civic Building (1)	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>A</b> <b>B</b>

**c. ROOF PITCH BY ACCESSORY BUILDING TYPE**

Barn	-	
Farmstand	-	
Carriage House	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>A</b> <b>B</b>
Fabrication Shop	-	
Accessory Shop	-	

**d. ROOF PITCH BY COMPONENT TYPE**

Porch	-	
Gallery	-	
Side Wing	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>A</b> <b>B</b>
Rear Addition	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>A</b> <b>B</b>
Stoop	-	
Hyphen	-	
Cross Gable	-	
Shed Dormer	-	
Window Dormer	-	

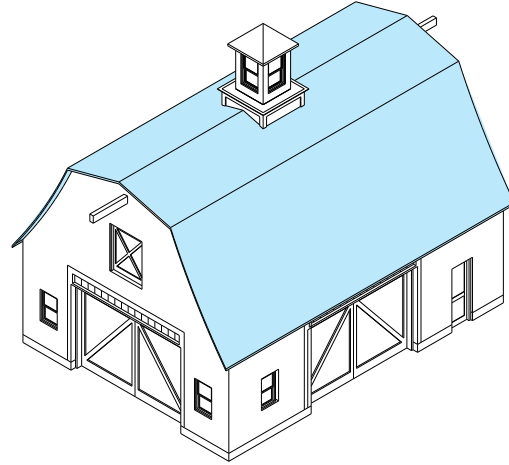
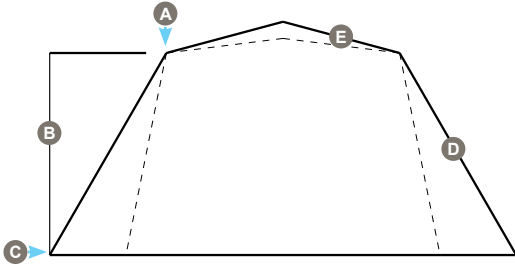


Bay Window	-	
Balcony	-	
Extended Shopfront	-	
Turret	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>A</b> <b>B</b>
Arcade	-	
Porte-Cochere	-	
Portico	-	
Deck	-	
Tower	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>A</b> <b>B</b>
Roof Deck	-	
Cupola	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>A</b> <b>B</b>
Canopy	-	

**e. STANDARDS**

1. Civic buildings are exempt from roof system regulation. The values presented in this table are guidelines only.
2. Rear additions may not exceed the roof pitch of the primary building to which they attach.
3. Mansard roofs must always set the chine **C** to be at least 8 ft but no more than 12 ft **D** higher than the eaves **E**.

## 4. GAMBREL ROOF



### a. DESCRIPTION

A complex pitched roof with two sides, each of which has a shallower slope above the steeper one.

### b. ROOF PITCH BY BUILDING TYPE

Cottage	-	
House	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>D</b> <b>E</b>
Bungalow	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>D</b> <b>E</b>
Duplex	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>D</b> <b>E</b>
Apartment House	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>D</b> <b>E</b>
Apartment Building	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>D</b> <b>E</b>
Townhouse	-	
Shophouse	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>D</b> <b>E</b>
Live-work/ Flex	-	
Shop	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>D</b> <b>E</b>
Inn Building	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>D</b> <b>E</b>

Mixed-use Building	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>D</b> <b>E</b>
Fabrication Building	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>D</b> <b>E</b>
Civic Building (1)	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>D</b> <b>E</b>

### c. ROOF PITCH BY ACCESSORY BUILDING TYPE

Barn	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>D</b> <b>E</b>
Farmstand	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>D</b> <b>E</b>
Carriage House	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>D</b> <b>E</b>
Fabrication Shop	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>D</b> <b>E</b>
Accessory Shop	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>D</b> <b>E</b>

### d. ROOF PITCH BY COMPONENT TYPE

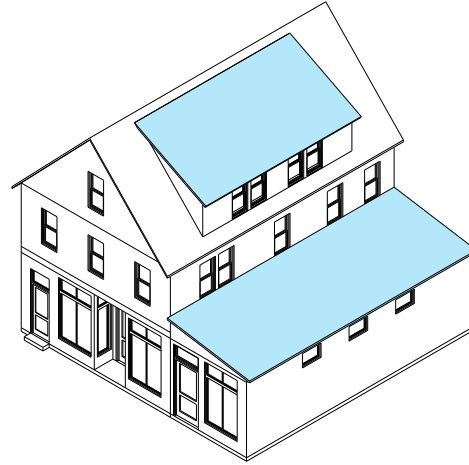
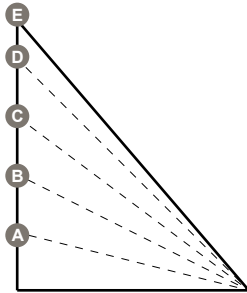
Porch	-	
Gallery	-	
Side Wing	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>D</b> <b>E</b>

Rear Addition	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>D</b> <b>E</b>
Stoop	-	
Hyphen	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>D</b> <b>E</b>
Cross Gable	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>D</b> <b>E</b>
Shed Dormer	-	
Window Dormer	-	
Bay Window	-	
Balcony	-	
Extended Shopfront	-	
Turret	-	
Arcade	-	
Porte-Cochere	lower slope: 9:12 min, 60:12 max upper slope: 1.5:12 min, 3:12 max	<b>D</b> <b>E</b>
Portico	-	
Deck	-	
Tower	-	
Roof Deck	-	
Cupola	-	
Canopy	-	

**e. STANDARDS**

1. Civic building are exempt from roof system regulation. The values presented in this table are guidelines only.
2. Rear additions may not exceed the roof pitch of the primary building to which they attach.
3. Gambrel roofs must always set the chine **A** to be at least 8 ft but no more than 12 ft **E** higher than the eaves **C**.

## 5. SHED ROOF



### a. DESCRIPTION

A simple roof pitched in only one direction.

### b. ROOF PITCH BY BUILDING TYPE

Cottage	-	
House	-	
Bungalow	-	
Duplex	-	
Apartment House	-	
Apartment Building	-	
Townhouse	3:12 Min, 6:12 Max	(A) (B)
Shophouse	-	
Live-work/ Flex	3:12 Min, 6:12 Max	(A) (B)
Shop	3:12 Min, 6:12 Max	(A) (B)
Inn Building	-	
Mixed-use Building	3:12 Min, 6:12 Max	(A) (B)
Fabrication Building	3:12 Min, 6:12 Max	(A) (B)
Civic Building (1)	3:12 Min, 6:12 Max	(A) (B)

### c. ROOF PITCH BY ACCESSORY BUILDING TYPE

Barn	-	
Farmstand	3:12 Min, 6:12 Max	(A) (B)
Carriage House	-	
Fabrication Shop	3:12 Min, 6:12 Max	(A) (B)
Accessory Shop	3:12 Min, 6:12 Max	(A) (B)

### d. ROOF PITCH BY COMPONENT TYPE

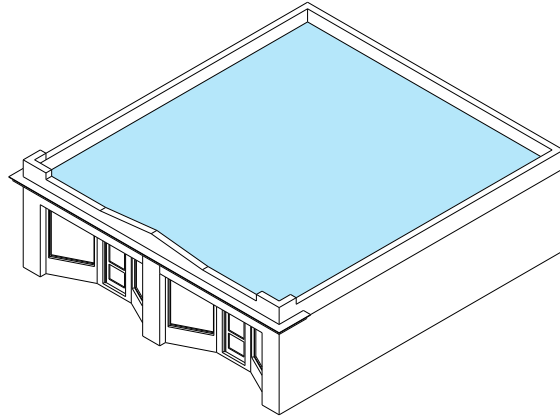
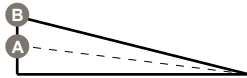
Porch	3:12 Min, 6:12 Max	(A) (B)
Gallery	3:12 Min, 6:12 Max	(A) (B)
Side Wing	3:12 Min, 6:12 Max	(A) (B)
Rear Addition	3:12 Min, 6:12 Max	(A) (B)
Stoop	3:12 Min, 6:12 Max	(A) (B)
Hyphen	3:12 Min, 6:12 Max	(A) (B)
Cross Gable	-	
Shed Dormer	3:12 Min, 6:12 Max	(A) (B)
Window Dormer	3:12 Min, 6:12 Max	(A) (B)
Bay Window	3:12 Min, 6:12 Max	(A) (B)
Balcony	-	
Extended Shopfront	3:12 Min, 6:12 Max	(A) (B)
Turret	-	
Arcade	3:12 Min, 6:12 Max	(A) (B)
Porte-Cochere	3:12 Min, 6:12 Max	(A) (B)
Portico	3:12 Min, 6:12 Max	(A) (B)

Deck	-	
Tower	-	
Roof Deck	-	
Cupola	-	
Canopy	3:12 Min, 6:12 Max	<b>A B</b>

**e. STANDARDS**

1. Civic buildings are exempt from roof system regulation. The values presented in this table are guidelines only.
2. Rear additions may not exceed the roof pitch of the primary building to which they attach.
3. When used on a component that is attaching to a building, shed roofs must always orient the ridge beam to the wall or roof it is attaching to.

## 6. FLAT ROOF



### a. DESCRIPTION

A simple roof pitched very slightly in one or more directions, approximating a flat surface.

### b. ROOF PITCH BY BUILDING TYPE

Cottage	-	
House	-	
Bungalow	-	
Duplex	-	
Apartment House	-	
Apartment Building	-	
Townhouse	1.5:12 min, 3:12 max	A B
Shophouse	-	
Live-work/ Flex	1.5:12 min, 3:12 max	A B
Shop	1.5:12 min, 3:12 max	A B
Inn Building	1.5:12 min, 3:12 max	A B
Mixed-use Building	1.5:12 min, 3:12 max	A B
Fabrication Building	1.5:12 min, 3:12 max	A B
Civic Building (1)	1.5:12 min, 3:12 max	A B

### c. ROOF PITCH BY ACCESSORY BUILDING TYPE

Barn	-	
Farmstand	1.5:12 min, 3:12 max	A B
Carriage House	-	
Fabrication Shop	1.5:12 min, 3:12 max	A B
Accessory Shop	1.5:12 min, 3:12 max	A B

### d. ROOF PITCH BY COMPONENT TYPE

Porch	1.5:12 min, 3:12 max	A B
Gallery	1.5:12 min, 3:12 max	A B
Side Wing	1.5:12 min, 3:12 max	A B
Rear Addition	1.5:12 min, 3:12 max	A B
Stoop	-	
Connector	1.5:12 min, 3:12 max	A B
Cross Gable	-	
Shed Dormer	-	
Window Dormer	-	
Bay Window	1.5:12 min, 3:12 max	A B
Balcony	-	
Extended Shopfront	1.5:12 min, 3:12 max	A B
Turret	1.5:12 min, 3:12 max	A B
Arcade	1.5:12 min, 3:12 max	A B
Porte-Cochere	1.5:12 min, 3:12 max	A B
Portico	1.5:12 min, 3:12 max	A B

Deck	-	
Tower	1.5:12 min, 3:12 max	<b>A B</b>
Roof Deck	-	
Cupola	1.5:12 min, 3:12 max	<b>A B</b>
Canopy	1.5:12 min, 3:12 max	<b>A B</b>

**e. STANDARDS**

1. Civic buildings are exempt from roof system regulation. The values presented in this table are guidelines only.
2. Rear additions may not exceed the roof pitch of the primary building to which they attach.
3. All slopes for flat roofs should defer to local building code regarding minimum slopes for a specified roofing system.

**Absolute Height:**

Height as measured from the surface of the ground to the highest point on a building.

**Accessory Building:**

See Building, Accessory.

**Accessory Unit:**

An additional permitted residential or commercial unit located in a component of a primary building or in an accessory building.

**Alley:**

A thoroughfare typically located internal to a block that provides access to the side or rear of lots and onto which no lot directly fronts. Alleys typically provide access to service areas, parking, and accessory buildings and may contain utility easements.

**Attached:**

An object may be said to be attached to another when their outer surfaces are permanently in direct contact, or when they share part of their structural system.

**Attic:**

The non-habitable interior space located directly under a pitched roof of a building.

**Average Ground Level:**

The mean (average) ground level at the corners of the main body of a building type.

**Awning:**

A wall mounted, pitched, fabric covering extending from a building to provide shade and weather protection for pedestrians.

**Bay:**

An area of a facade between two buttresses, pilasters, columns, piers, or other equivalent architectural features.

**Bracket:**

A visual and/or structural support, typically made of metal or wood, projecting from a building face to bear the weight or visually support a building element.

**Building, Accessory:**

A second, and typically smaller building, typically located on a lot with a primary building, often times toward the rear of the lot, and sometimes connected to the primary building.

**Building, Primary:**

A permitted building capable of occupying a lot as the sole structure, as distinct from accessory buildings and additional structures which are dependent on a primary building.

**Building Element:**

Any part of a building, including the main building mass, components, and accessory buildings.

**Building Face:**

Any exterior wall of a Building.

**Building Height:**

The measurement of building height by stories, where each full story above average ground level is counted as 1 story. For buildings with a pitched roofs, habitable space is allowed within the pitch and is not considered a full story.

**Building Mass:**

See Main Building Mass.

**Building Type:**

A classification or kind of structure characterized and differentiated by its massing, composition, use, features, and placement on a lot.

**Carriage House:**

An enclosed area integral to a primary building or accessory building that provides space for parking or storage of vehicles. Not synonymous with the parking garage building type.

**Carriage House Doors:**

Lifting, sliding, or swinging doors that open into an interior space used for vehicular parking, storage, retail sales, fabrication, or other uses.

**Civic Space:**

An outdoor open space designed to support social and recreational activities.

**Clearance:**

The height above the sidewalk or other surface, to the bottom edge of an object or building component.

**Clear Height:**

The vertical distance between the underside of an overhanging building element and the horizontal surface below, free from obstruction.

**Component:**

One of the elements that make up a building, the other being the main building mass. Components are comprised of smaller attachments to the main building mass and provide architectural articulation and additional usable space.

**Corbel:**

Any bracket, especially one of brick or stone, that typically protrudes only slightly from the face of a building.

**Detached:**

A dwelling that is physically separated from any other structure or structures except accessory buildings.

**Eave:**

The soffit resulting from the junction of a building wall and an overhanging roof.



**Elevation:**

The vertical distance between the average ground plane and the top of the finished first floor of a building.

**Enclose(d):**

To fill in the spaces between structural supports with latticework, walls, windows, or other non-structural wall covering to increase the usability of an outdoor space.

**First Floor Elevation:**

The height from the average ground level to the surface of the first full floor, measured at the primary front facade of the building.

**Fully Enclose(d):**

To fill the space between structural supports with walls or windows.

**Element:**

See Building Element.

**Encroach:**

To break the plane of a vertical or horizontal regulatory limit with a structural element, so that it extends into a Setback, above a height limit, or over the sidewalk of a public right-of-way.

**Encroachment:**

Any structural element that breaks the plane of a vertical or

horizontal regulatory limit, extending into a setback, above a height limit, or the breaking of such limit by a structural element.

**Façade:**

The exterior wall of a building oriented in whole or in part toward a thoroughfare, civic space, or on-site civic space (not including alleys).

**Face:**

The surface of a structure or element, especially one that is presented to the view.

**Fenestration:**

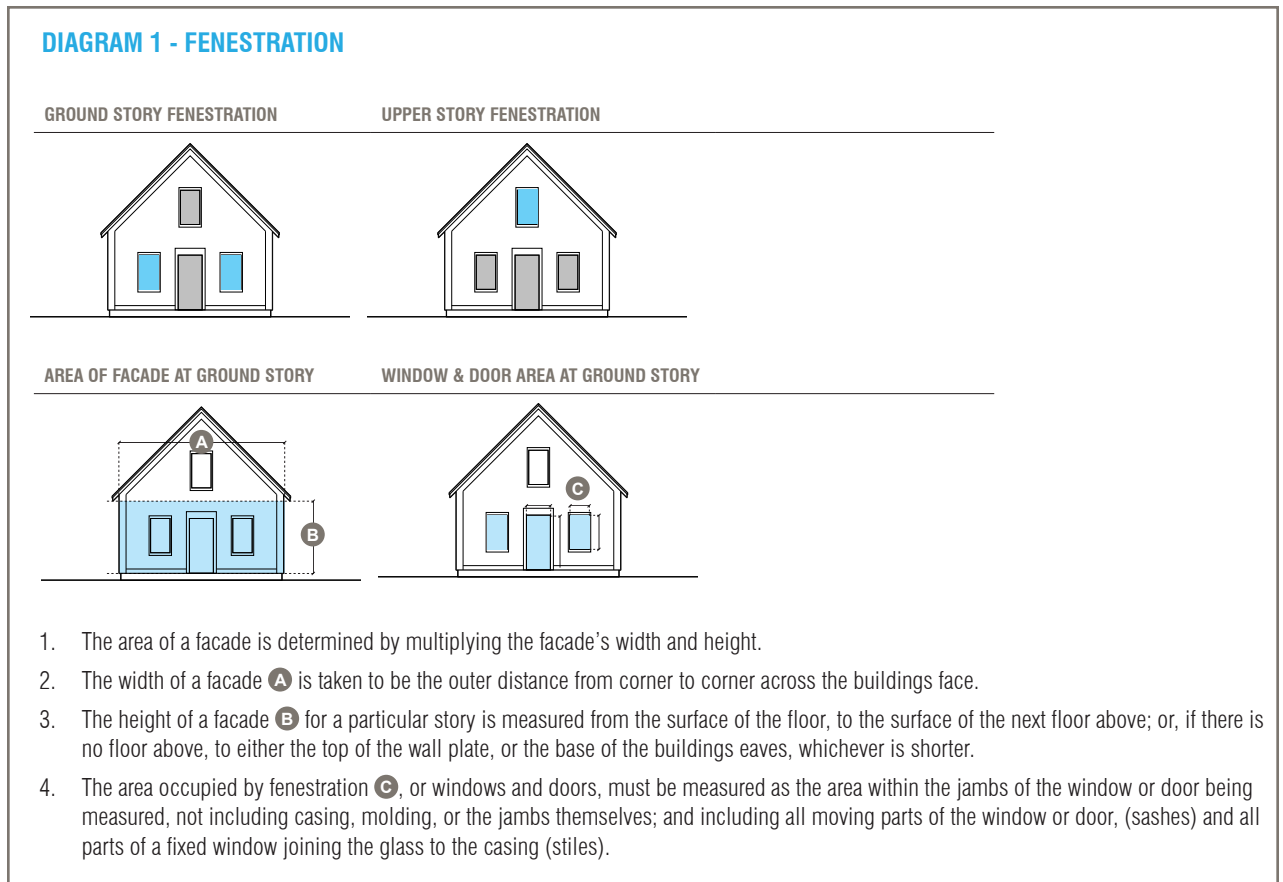
The arrangement, proportioning, and design of openings on every exterior wall of a building, including windows and doors but excluding entrances and doors for parking, loading, and service facilities. If a Carriage House door is more than 50% glass, it is counted as a window and door. (see Diagram 1 Fenestration)

**Fenestration, Ground Story**

The percentage of openings present on a building's ground floor. (see Diagram 1 Fenestration)

**Fenestration, Upper Story**

The percentage of openings on the upper stories, each considered independently. (see Diagram 1 Fenestration)



**First Floor:**

The lowest floor of a building that is not considered a basement.

**First Floor Elevation**

The height from the average ground level to the surface of the first full floor, measured at the primary front facade of the building.

**Flat Roof:**

see Roof, Flat.

**Floor Area, Gross:**

The sum area of all floors or accessible levels of a building as measured to the perimeter of the exterior faces of the walls with no deduction for corridors, stairs, closets, thickness of walls, columns or other features.

**Floor Plate:**

The total gross floor area of a single story of a building, excluding all unenclosed components of a building.

**Forecourt:**

A landscaped, semi-public area, open to the sky, formed by a recess in a portion of a building facade.

**Front (noun):**

A condition in which a building is required to be parallel or perpendicular with a frontage line.

**Front (verb):**

A condition in which a building is required to be parallel or perpendicular with a frontage line.

**Front Setback:**

The distance from the front lot line to the point where any structure may be constructed.

**Frontage:**

The land that lies adjacent to a thoroughfare, right-of-way, easement, civic space, or waterbody, or the space between a building. Building facades that face onto primary and secondary frontages define the public realm and are therefore more regulated than the buildings oriented toward side and rear lot lines.

**Frontage Line:**

A lot line bordering a thoroughfare, right-of-way, easement, civic space, or waterbody.

**Frontage, Primary:**

The primary frontage is the frontage that abuts the primary thoroughfare or, if there is no thoroughfare, it is the frontage that abuts a civic space, right-of-way, or easement.

**Frontage, Secondary:**

On corner lots, the frontage that is oriented toward the thoroughfare that is not the primary thoroughfare.

**Front Setback, Primary:**

The setback required along a primary frontage.

**Front Setback, Secondary:**

The setback required along a secondary frontage.

**Frontage Zone:**

The area between the front lot line of a property and the first 20 ft of a primary building. The frontage zone applies along both the primary and secondary frontages, and does not apply to alleys. In the case that a lot is undeveloped, the frontage zone is the area between the front lot line of a property and 30 ft into the site.

**Grade:**

The natural finished ground level of land ground level, or the elevation, at any given point.

**Ground Plane:**

The surface of the ground.

**Height:**

The distance between two points along a vertical plane.

**Informal Building:**

Informal buildings are light-impact, temporary, or small buildings, that are typically not connected to utilities and oftentimes don't have a permanent foundation.

**Intersect:**

A condition where one element touches and/or overlaps with another element.

**Integral:**

A condition that refers to one element being located within another.

**Integrated:**

See Integral.

**Length:**

In a three-dimensional measurement system, length is a horizontal measurement, distinct and longer than width.

**Liner Building:**

A standalone building or a portion of a building located along a frontage that is meant to shield a storage, parking, or utility area from view and create an active, habitable space to make a street or public space feel more safe and inviting.

**Lot, Theoretical:**

A potential lot created by theoretical lot lines demarcated on a plan to show and determine conformance with this Ordinance, without the act of legal subdivision. Syn: Theoretical Lot Lines.

**Lot Line, Theoretical:**

Lot lines demarcated on a plan to show and determine conformance with this Ordinance. Theoretical lot lines do not require an act of legal subdivision.

**Main Building Mass:**

The volume of a primary or accessory building as defined by the dimensional standards for building type and onto which components and roofs may attach.

**Patio:**

A hard-surfaced, landscaped space constructed at ground level, usually directly adjacent to a building. A patio is constructed with a finished walking surface laid or poured directly on finished grade. A patio has no permanent roof coverings.

**Permitting Authority:**

A person or board granted the authority to conduct project review and approval, in accordance with this Ordinance.

**Pier:**

A solid support designed to sustain vertical pressure, such as used in a section of a wall between windows or other adjacent openings or as structural member used in the construction of building foundations.

**Platform:**

An elevated flat structure meant to support the weight of people at or above the plane of the ground.

**Primary Entrance:**

The main point of access for pedestrians into a building, upper story use, or first floor tenant space.

**Primary Ridge Beam:**

The highest framing member of a pitched roof to which all rafters attach.

**Project(ed):**

When a building element extends perpendicular and away from the building face to which it is attached.

**Rafter:**

One of several internal beams extending from the eaves to the peak of the roof and constituting its frame.

**Roof Line:**

The highest point on any building or structure where an exterior wall or parapet wall encloses roof or floor area, including floor area provided for housing mechanical equipment.

**Setback:**

The horizontal distance required between the closest exterior wall of a building or parking and a specified element, such as a lot line, easement, or waterbody, measured perpendicularly. This area must be maintained clear of permanent structures with the exception of allowed encroachments.

**Shopfront:**

A first floor building facade, where substantial glazing is required, and the building entrance is located at the grade of the sidewalk or adjacent walkway.

**Soffit:**

The flat underside of an overhanging building element such as eaves or cornices.

**Stallriser:**

A section of wall below a storefront display window.

**Story:**

An occupiable floor of a building as distinct from the area contained under the pitch of a roof or a basement.

**Streetwall:**

A condition where buildings, through their consistent arrangement along a street, create the impression of forming a wall. While the buildings can be separated, a streetwall is predicated on the buildings all having a similar front setback that is in close proximity to the street or civic space.

**Streetwall, Continuous:**

A streetwall condition comprised by buildings that are predominantly attached on the sides and that all have a consistent front setback directly on the property line.

**Terraced:**

An area of sloped land that has been made into a series of level areas, resembling steps.

**Top Plate:**

The topmost horizontal, load-bearing member in a framed wall system.

**Unit:**

A single, internally connected space that comprises a building or a part of a building that can be occupied by any one of the use categories included in this Ordinance.

**Vertical Plane:**

A flat surface perpendicular to the ground or horizontal plane.

**SECTION 10.6 DRIVE-THROUGH FACILITIES**

- A. Any use that provides drive-through service must be located and designed to minimize the impact on neighboring properties and traffic circulation. No drive-through facility shall be located in the area of the site adjacent to a residential use. Communication systems must not be audible on adjacent properties in residential use. Vehicular access to the drive-through shall be through a separate lane that prevents vehicle queuing within the normal parking area. Adequate queuing space must be provided to prevent any vehicles from having to wait on a public street, within the entry from the street. The drive-through must not interfere with any sidewalk or bicycle path.

**SECTION 10.22-23 RECREATION AND OPEN SPACE LAND IN DEVELOPMENTS**

**B. Retention of Useable Open Space and Recreation Land in Residential Developments:**

Guidelines for the Percentage of Total Parcel to be Reserved for Common Open Space and Recreation Land		
Type of Development	Average Size of Lots	Percentage of Total Parcel to be Reserved
Single Family Lots	80,000 square feet or greater	1.6%
	40,000 square feet	3.3%
	20,000 square feet	6.5%
	15,000 square feet	8.7%
	10,000 square feet	13.0%
<del>Multi-family units (Duplex &amp; Multiplex)</del>		<del>1,300 square feet per unit</del>

**SECTION 10.2829 ACCESS MANAGEMENT STANDARDS**

**D. Access Management and Safety Standards:**

- 8. **Access Ways to Non-Residential Developments ~~or to Multiplex Developments~~** shall be designed to avoid queuing of entering vehicles on any public road. Left lane storage capacity shall be provided to meet anticipated demand. The Planning Board may require a traffic assessment to determine if a turning lane is necessary.

**SECTION 10.3132 PEDESTRIAN WAYS AND BICYCLE ACCESS, CIRCULATION AND FACILITIES**

**B. Standards:**

**~~6.~~ Parking Plans:**

- a. The parking plan shall delineate bicycle-parking facilities for commercial, recreational, and institutional ~~and multiplex~~ developments. Such facilities shall be located as close as possible to the principal building(s). The provision of bicycle parking may be used to offset the number of automobile spaces required.

**SECTION 10.3334 OFF STREET PARKING**

- A. **Applicability:** Off street parking shall be provided for all new construction, expansions, and changes of use in accordance with the requirements and standards in this section. Off street parking, in addition to being a permitted use, shall be considered as an accessory use when required or provided to serve conforming uses located in any district. This section does not apply to single family residential units.

**C. Parking Layout and Design:**

3. Off-street parking ~~for multiplex development, and commercial, industrial and institutional uses~~ shall be located behind or to the side of the principal building and shall be landscaped. All parking spaces, access drives, and impervious surfaces must be located at least 5 feet from any side or rear lot line, except where standards for buffer yards require a greater distance, or where two adjacent lots share a parking lot.
  
7. All individual parking spaces shall be 940 feet by 1820 feet. The provision for oversized parking spaces shall be permitted for activities that normally serve oversize vehicles, such as recreation vehicles and trucks. Aisles shall be a minimum of 24 feet for two-way traffic, and 14 feet for one- way traffic.

<b>Parking Guidelines</b>	
<b>USE</b>	<b>Parking Spaces Required (Minimum)</b>
<b>Residential: Single Family, Duplex</b>	2 per dwelling unit
<del><b>Multiplex Housing</b></del> <u>Multiple Residential Units in a permitted Building Type</u> <u>Apartments (up to 4 units)</u>	<del>1.0 1.5 spaces per dwelling unit with 1 bedroom, 1.75 spaces per unit with 2 bedrooms, and 2 spaces per unit with 3 or more bedrooms.</del>
<b>Home Business</b>	2 spaces in addition to required parking for residence (may be reduced by Board of Appeals)
<b>Municipal Use</b>	1.25 spaces per employee plus 1 space per 150 square feet of floor area for public assembly & meeting room space
<b>Institutional and/or Places of Public Assembly, such as Theaters, Auditoriums, Churches, Synagogues, Gymnasiums, Stadiums, Sports Arenas</b>	1 space per 4 seats plus 1 space per 2 employees
<b>Day Care Center and Nursery School</b>	1 per employee/volunteer worker plus a safe area for vehicle pick-up and drop-off of students/children
<b>Schools</b>	<u>Grades K-8:</u> 1 space per classroom plus 1 space for each employee plus parking in accordance with the places of public assembly <u>Secondary:</u> 8 spaces per classroom plus parking in accordance with the places of public assembly
<b>Commercial Retail Sales</b>	3 spaces per 1,000 square feet plus 1 space per employee
<b>Gas and/or Service Station; Auto Repair Garage</b>	.25 space per fuel pump plus 1 space per employee plus 4 spaces per service bay
<b>Banks</b>	4 spaces per 1,000 square feet of floor area
<b>Personal Services, Business Services, Business and Professional Offices (non-medical)</b>	3 spaces per use or 4 spaces per 1,000 square feet of floor area (or 1 space per 250 square feet of floor area or portions thereof), whichever is greater

# **XI. PERFORMANCE AND DESIGN STANDARDS FOR SPECIFIC ACTIVITIES**

## **SECTION 11.2 AFFORDABLE HOUSING**

### **C. Standards and Requirements:**

4. An affordable housing development may be developed as a clustered housing development pursuant to Section 11.3. Clustered Housing Developments, ~~and/or as multiplex housing pursuant to Section 11.7. Multiplex Housing.~~ Affordable housing may be condominiums.

## **SECTION 11.6 MOBILE HOME PARKS**

### **B. Standards and Requirements:**

7. Road Standards:
  - j. Parking Requirements: For each mobile home lot there shall be provided and maintained at least 2 off street parking spaces. ~~Each parking space shall contain minimum dimensions of 9 feet by 18½ feet.~~

## **~~SECTION 11.7. MULTIPLEX DWELLINGS~~**

~~**A. Applicability:** The construction of any new multiplex dwelling or the conversion of an existing single family dwelling or duplex dwelling into a multiplex dwelling shall comply with the following standards and any other applicable provisions of this Ordinance, including Article X. Performance and Design Standards for Site Plan Review and Subdivision Review. The review of multiplex dwellings shall be pursuant to Article VII. Zoning District Regulations.~~

### ~~**B. Standards:**~~

- ~~1. The number of multiplex units allowed on a tract or parcel shall be calculated by dividing the net residential acreage of the tract or parcel by the minimum lot area per dwelling unit required by the appropriate zoning district for the multiplex development.~~
- ~~2. Multiplex housing is housing containing 2 or more attached dwelling units, each of which has independent outside access. Multiple units may be arranged in a variety of configurations. Each individual building may contain no more than 4 units. Existing structures, including large older homes, may be converted to multiplex housing as long as the conversion otherwise meets this definition. Multiplex housing may include condominiums.~~
- ~~3. A buffer shall be established between the multiplex housing and any dwelling on abutting tracts or parcels, which buffers shall be sufficient to minimize any potential nuisance, including but not limited to headlights, noise, storage areas and solid waste storage. This buffering shall consist of landscaping, fencing or grading or a combination of some or all of these techniques, and shall be in accordance with Section 10.13 Landscaping, Buffers and Screening.~~
- ~~4. The scale and surface area of parking areas, driveways and paved areas shall be compatible with adjacent structures, must be properly screened (see subsection 3 above) and must provide parking in accordance with Section 10.34 Off Street Parking.~~
- ~~5. It shall be the responsibility of the owner(s) to provide for rubbish disposal, snow removal, and site maintenance. A wooden or masonry screen shall enclose all outdoor storage areas for waste collection at least 6 feet in height.~~
- ~~6. Useable open space and recreation land shall be required in all multiplex developments pursuant to Section 10.22 Useable Open Space and Recreation Land in Developments.~~

## XII. DEFINITIONS

**Complete Substantial Construction:** The completion of a portion of the improvements that represents no less than 30 percent of the costs of the proposed improvements within a development or subdivision. If a subdivision is to consist of individual lots to be sold or leased by the subdivider, the cost of construction of buildings on those lots shall not be included. ~~If a subdivision is a multiplex development, or if~~ If the applicant proposes to construct the buildings within the subdivision, the cost of building construction shall be included in the total costs of proposed improvements.

**Dimensional Requirements:** Numerical standards relating to spatial relationships including but not limited to setback, lot area, street frontage, shore frontage, building scale and building height.

~~**Multiplex Housing:** Multiplex housing is housing containing 2 or more attached dwelling units, each of which has independent outside access. Multiple units may be arranged in a variety of configurations. Each individual building may contain no more than 4 units. Existing structures, including large older homes, may be converted to multiplex housing as long as the conversion otherwise meets this definition. Multiplex housing may include condominiums.~~

~~**Parking Space:** Parking space shall mean an area of not less than 200 square feet, exclusive of drives or aisles giving access thereto, accessible from streets or aisles leading to streets and usable for the storage or parking of passenger vehicles. Parking space or access thereto shall be constructed as to be usable year round.~~