

Deacon Hayes Commons Preliminary Application Materials

Walnut Hill and Parsonage Roads
North Yarmouth, Maine 04097



Prepared by:
Steve Roberge
SJR Engineering Inc.
16 Thurston Drive
Monmouth, Maine 04259

Tel/Fax: 1-207-242-6248
April 25, 2022

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TOWN OF NORTH YARMOUTH PLANNING BOARD REQUEST FOR HEARING

NAME OF APPLICANT: 527 LLC-Laurie Bachelder PHONE #: 207-415-8723
EMAIL: lbach@maine.rr.com ALT. PHONE#: _____
FULL ADDRESS: 865 Oak Hill Rd North Yarmouth ME
PROPERTY ADDRESS: 521 Walnut Hill Rd
MAP: 7 LOT: 62 ZONE: Village Center

AGENT/REPRESENTATIVE (if other): Steve Roberge PHONE #: 1-207-242-6248
EMAIL: steve@sjreng.com
FULL ADDRESS: 16 Thurston Drive, Monmouth, Maine 04259

The undersigned requests the North Yarmouth Planning Board consider the following application for:

<input type="checkbox"/>	Pre-application Sketch Plan Review	<input type="checkbox"/>	Major Subdivision
<input type="checkbox"/>	Minor Subdivision	<input checked="" type="checkbox"/>	Site Plan Review
<input type="checkbox"/>	Contract Zoning		
<input type="checkbox"/>	Other (Specify): _____		

NOTE TO APPLICANT:

1. This form and appropriate materials must be filed at the Code Enforcement Office no later than (fourteen) 14 days prior to the regular meeting of the Board (2nd Tuesday monthly). Applications shall be accompanied by all applications fee and materials required by the applicable ordinance(s), checklists and fee schedule.
2. All applications shall include all materials and copies as specified on the submittal requirements form.
3. All materials in color shall be copied in color.

Application Authorization

I hereby make application to the Town of North Yarmouth for the above-referenced property(ies) and the development as described. To the best of my knowledge, the information provided herein is accurate and is in accordance with the Zoning and Subdivision Ordinances of the Town, except where waivers are requested. The Town of North Yarmouth Planning Board and/or town employees are authorized to enter the property(ies) for purposes of reviewing this proposal and for inspecting improvements as a result of an approval of this proposal. I understand that I am responsible for appearing, or having someone appear on my behalf, at all meetings before the Planning Board.

DocuSigned by:
Laurie Bachelder
Signature: _____ Date: 4/14/2022
2483180EA5214A2...

Printed Name: Laurie Bachelder

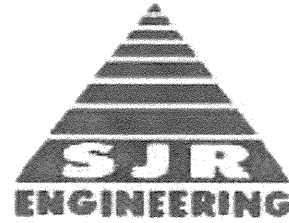
Please identify yourself (check one): Agent*: Property Owner:

10 VILLAGE SQUARE ROAD, NORTH YARMOUTH, MAINE 04097
PHONE: (207) 829-3705 * FAX: (207) 829-3743

Project Introduction

April 25, 2022

Ryan Keith, Planner
North Yarmouth Planning Board
10 Village Square Road
North Yarmouth, Maine



Re: Proposed Deacon Hayes Commons, Parsonage/Walnut Hill Roads,
North Yarmouth

Dear Ryan and Board Members,

On behalf of the 527 LLC (Laurie Bachelder), we are pleased to submit this site plan application to you for Planning Board review and approval. This application pertains to Tax Map 7 Lot 62. The parcel has 241' of road frontage along Parsonage Road and also has 503' of frontage along Walnut Hill Road (aka Route 115). The parcel has 2.24 acres (97,471 sf) of land. A 21,768 sf portion of the parcel is to be transferred to the abutter. An existing condition property survey has been completed by Horizon Engineering in May 2021. The existing parcel is currently developed with a residential building and barn that is to be demolished. The parcel has a no name stream along the southerly property line. The lot lies within the Village Center District zone and the Groundwater Protection Overlay Zone.

The proposed plan is to construct 4 Townhouse style buildings with two of the buildings having frontage along Walnut Hill Road and the remaining two buildings having frontage along Parsonage Road. Each of the buildings will have 3 residential units. A new driveway entrance off Parsonage Road into the complex directs vehicles into a 29-stall onsite parking lot for residents and guests (2.5 stalls per unit). The parking has been designed behind the proposed buildings to make them less visible from the road. Proposed grading for the site is optimum for parking, drainage, utilities, and landscaping features.

A Spring 2022 construction startup date is planned once approvals for the project have been obtained.

We have located the proposed buildings within the 0-20' front setback criteria. The Village District Zone also has building side setbacks requirements of up to 25', and a minimum of 5' along the rear property line. Adjacent areas and land uses are similar (residential housing) in nature to that being proposed. The site is zoned to allow this type of use in the immediate area. The property does not lie within a floodplain.

The buildings will be two story, wood framed structures with basements. A common entrance driveway leads to individual parking stalls that can accommodate residential and guest parking. The units will have three bedrooms. We have attached a site plan that shows footprint areas for building construction. Access into each unit will be provided by paved 5' wide sidewalks leading to entrance stairs and a stoop. Each unit will have entrance lighting attached to the building. Access to the basement area will be from both interior stairs and an exterior bulkhead or doghouse construction for direct outside access.

Each of the units will utilize onsite underground electricity, cable communications, telephone, and a 1.5" diameter public water supply. The buildings are to have a sprinkler system for fire suppression. The sewer connection from each unit will flow by gravity to a Fugi-Clean septic system which discharges to a septic disposal area located behind the buildings. Trash will be disposed by individual unit Owners.

The driveway entrance allows for easy access to the building units and provides for safe off-road access for emergency services/fire equipment. A bituminous curb with a grassed esplanade and 5' wide sidewalk is proposed along Walnut Hill Road. A bituminous curb and 5' paved sidewalk is proposed along Parsonage Road (no esplanade proposed due to limited space considerations). The sidewalks will allow for safe walking access along the two streets.

Stormwater flows from this parcel flow to a manmade stormwater management pond. The building roof stormwater will drain to drip strips along the foundation walls and infiltrate into the ground. The parking area stormwater flows are split by crowning of the parking area and will drain along curbs to the end of parking

lot. A stone transition area will slow runoff water down to encourage flows to infiltrate into the ground prior to reaching a manmade stormwater management pond. A shallow swale adjacent to the 5' trail to the pond will prevent stormwater flows from entering the defined stream area. No improvements are to be made to the pond as the increase in impervious area is small (4500 sf) and will be absorbed in the ground and pond. Stormwater plan and calculations have been provided in the application materials. A new catch basin is to be located over the existing 24" diameter culvert to capture the Walnut Hill Road runoff caused by the construction of the curb/sidewalk along the road.

Traffic leaving the site will be minimal as there are only 12 units at full buildout. Town ordinances indicate the Townhouse style building construction has an 8 trip/unit/day traffic flow. This calculates to 96 trips a day onto Parsonage Road.

Erosion control will be necessary during the earthwork excavation and filling at the site for construction of the proposed buildings and driveways. A stabilized construction entrance will be required to help minimize potential soil material from tracking onto Parsonage Road. Silt fences, erosion control berms, hay mulch, and silt sacks in catch basins are also shown on the plan and depicted in the construction details. All disturbed areas not covered with driveway pavement, sidewalks, landscaping, or building are to be loamed and seeded with a vegetative grass, and mulched. As construction progresses, different forms of erosion control will be necessary, and should be employed by the Contractor according to DEP's latest edition of "Best Management Practices".

Additional driveway lighting may be utilized to supplement security in the back parking lot area. The lights, if desired, are to be full cutoff design ("dark sky") to prevent offsite glare to abutting properties. Lighting will be installed at each doorway entrance to the units.

The existing trees that are along Parsonage Road are to be cut down and removed from the site. New landscaping areas along the proposed that will enhance the aesthetics of the project and soften the view of the buildings from Walnut Hill and Parsonage Roads. Landscaping plants will be chosen by the Owner at the time of construction.

We have submitted plans and applicable narrative to Eric Gagnon at the Yarmouth Water District. We are working with him to design the water systems

Deacon Hayes Commons
North Yarmouth, Maine

to each building in the most efficient and cost-effective manner. These letter requests have been included in the application materials with their comments to date.

Other information included in the application are: deeds, abutters within 500' of the project per Planning office, HHE 200 forms for septic disposal design, erosion control narrative, medium intensity soils map, construction inspection and maintenance narrative, wetland/environmental resources report from Mark Censi Associates, an updated Homeowners Association document, the written waiver request from the pre-application meeting, and notes/comments from Northstar Planning to date.

At the end of the submission package, we have included 11 by 17" reduced copies of the plan set.

We look forward to presenting this project to the Planning Board for completeness and answering any questions you may have concerning the design of the project. We have sent notices to the abutters within 500' of the project by certified mail that the project will be heard at the May 12, 2022 Planning Board meeting.

Please call me if you have any questions.

Sincerely yours,



Stephen Roberge, PE
for SJR Engineering Inc.



Attachments: Application materials with plan set

Deeds

DLN: 1002140144249

AFTER RECORDING RETURN TO:

Nicholas J. Morrill, Esq.
Jensen Baird
P.O. Box 4510
Portland, Maine 04112-4510

MAINE REAL ESTATE TAX PAID

QUITCLAIM DEED WITH COVENANT

KNOW ALL BY THESE PRESENTS, that, **Maine Capital Mortgage, LLC f/k/a MCM 2, LLC, d/b/a Approved Home Mortgage**, a Maine limited liability company with a mailing address of 2320 Congress Street, Suite D, Portland, Maine 04101, hereby grants to **527 LLC, a Maine limited liability company**, with a mailing address of 865 Oak Hill Road, North Yarmouth, Maine, with **QUITCLAIM COVENANT**, a certain lot or parcel of land, together with the improvements situated thereon, located in the Town of North Yarmouth, County of Cumberland and State of State of Maine:

A certain lot or parcel of land with the buildings thereon, situated on the easterly side of Route 115 in the Town of North Yarmouth, County of Cumberland and State of Maine bounded and described as follows:

Beginning at the intersection of the easterly sideline of said Route 115 and the southerly sideline of Parsonage Road;

Thence South 86° 40' 55" East along said Parsonage Road 441.63 feet to an iron pipe and land of Carol A. Dubay et al;

Thence South 08° 31' 40" East along said land of Dubay 352.87 feet to an iron pipe;

Thence South 72° 54' 35" West along said remaining land of the Grantors herein 71.37 feet to land now or formerly of Stephen K. Libby;

Thence continuing South 72° 54' 35" West along said land of Libby 290.00 feet to Route 115;

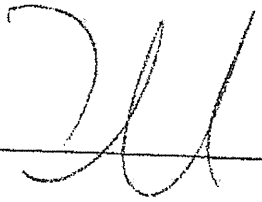
Thence North 17° 05' 25" West along said Route 115 a distance of 502.94 feet to the point of beginning.

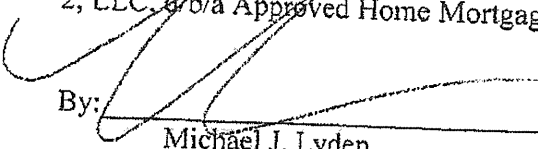
All bearings are magnetic of the year 1988 based on a survey by Owen Haskell, Inc.

Together with a right of way in common with others 50 feet in width along the easterly side of the premises herein conveyed and the westerly boundary of the property now or formerly of Carol Dubay; said right of way shall be for pedestrian and vehicular ingress and egress and for all utility purposes above and beneath the ground.

Being the same premises conveyed to Maine Capital Mortgage, LLC f/k/a MCM 2, LLC, d/b/a Approved Home Mortgage by virtue of a Quitclaim Deed from Maine Capital Mortgage, LLC f/k/a MCM 2, LLC, d/b/a Approved Home Mortgage dated November 23, 2020 and recorded in the Cumberland County Registry of Deeds in Book 37542, Page 232.

IN WITNESS WHEREOF, Maine Capital Mortgage, LLC f/k/a MCM 2, LLC, d/b/a Approved Home Mortgage has caused this instrument to be signed and sealed in its company name by Michael J. Lyden, its Manager, thereunto duly authorized this 11th day of May, 2021.

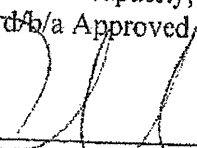
Witness 

Maine Capital Mortgage, LLC f/k/a MCM 2, LLC, d/b/a Approved Home Mortgage
By: 
Michael J. Lyden
Its:

STATE OF MAINE
COUNTY OF CUMBERLAND, ss.

May 11, 2021

Then personally appeared before me the above named Michael J. Lyden, Manager of Maine Capital Mortgage, LLC f/k/a MCM 2, LLC, d/b/a Approved Home Mortgage, and acknowledged the foregoing to be his free act and deed in his said capacity, and the free act and deed of Maine Capital Mortgage, LLC f/k/a MCM 2, LLC, d/b/a Approved Home Mortgage.



Attorney at Law/Notary Public
Nicholas J. Merrill

DLN: 1002040116365

AFTER RECORDING RETURN TO:

Nicholas J. Merrill, Esq.
Jensen Baird Gardner & Henry
P.O. Box 4510
Portland, Maine 04112-4510

MAINE REAL ESTATE TAX-PAID

WARRANTY DEED

KNOW ALL PERSONS BY THESE PRESENTS, that, **KAREN L. BRUDER** whose mailing address is 27 Crestwood Road, Cumberland, Maine 04021, for consideration paid, grants to **507 LLC**, a Maine limited liability company, with a mailing address of 865 Oak Hill Road, North Yarmouth, Maine 04097, with **WARRANTY COVENANTS**, a certain lot or parcel of land, together with the buildings thereon, located in the Town of North Yarmouth, County of Cumberland, and State of Maine, more particularly described as follows:

A certain lot or parcel of land, with the buildings thereon, situated in the Town of North Yarmouth, County of Cumberland and State of Maine, bounded and described as follows:

Beginning at an iron pin located on the easterly side of Route 115 in said Town of North Yarmouth, said Route 115 also known as the road leading from New Gloucester to Cumberland Center, said iron pin also being situated four hundred seventy-nine (479) feet, more or less, from the intersection of said Route 115 with the southerly side of the cross road known as the "Staples Road" or "Parsonage Road", so called;

Thence easterly at right angles to said Route 115 by and along land now or formerly of Vernon M. Bomheimer, two hundred ninety (290) feet, more or less, to an iron pin;

Thence southerly and parallel to said Route 115 by and along land now or formerly of Vernon M. Bomheimer, none hundred fifty (150) feet, more or less, to an iron pin;

Thence westerly and parallel to the first course above-described by and along land now or formerly of Vernon M. Bornheimer, two hundred ninety (290) feet, more or less, to an iron pin on the easterly side of said Route 115;

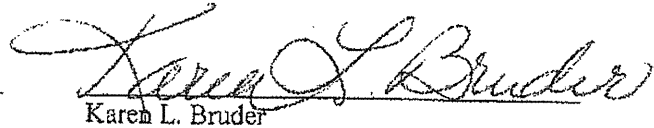
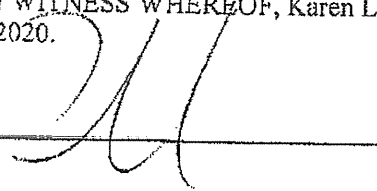
Thence northerly by said Route 115, one hundred fifty (150) feet, more or less, to the point of beginning.

Being the same premises conveyed to Karen L. Bruder and Robert C. Bruder by virtue of a Warranty Deed from Stephen K. Libby and Lori A. Shaw dated February 28, 2005 and recorded in the Cumberland County Registry of Deeds in Book 22367, Page 110. Robert C. Bruder died September 25, 2019, leaving Karen L. Bruder as the sole surviving joint tenant.

[SIGNATURE PAGE TO FOLLOW]

IN WITNESS WHEREOF, Karen L. Bruder has set her hand and seal this 16th day of
October, 2020.

Witness


Karen L. Bruder

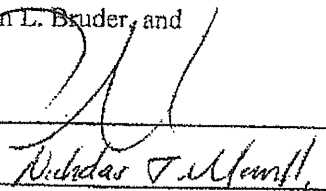
STATE OF MAINE
COUNTY OF CUMBERLAND, ss.

October 16, 2020

Then personally appeared before me the above-named Karen L. Bruder, and
acknowledged the foregoing instrument to be her free act and deed.

Notary Public

Print Name:



My Commission Expires:

Nicholas J. McNeill,
Attorney at Law

Abutters within 500' of parcel

**Abutter Notice
Planning Board Review
Deacon Hayes Commons**

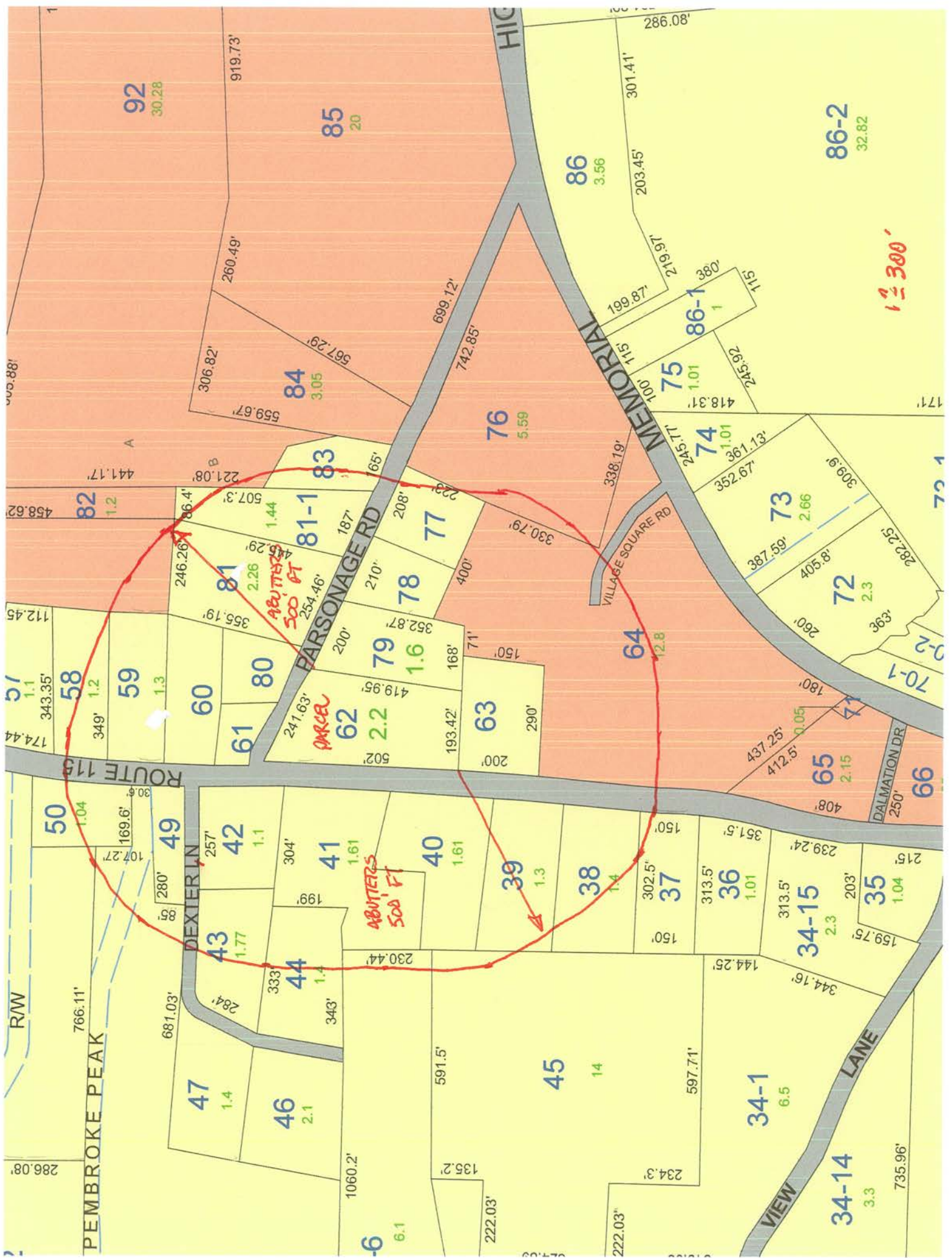
Please take notice that 527, LLC (aka Laurie Bachelder), 865 Oak Hill Drive, North Yarmouth, Maine has submitted application materials to the Town of North Yarmouth Planning Board for a proposed 4 building townhouse style project that consists of 12 units with appurtenant parking and landscaping. The development will be called Deacon Hayes Commons. The parcel is located along the intersection of Parsonage Road and Walnut Hill Road. A reduced copy of the proposed project site plan is attached for your information. Additional information concerning the project can be found at the Town's Planning Board website

<https://www.northyarmouth.org/node/121/events/day/2022-05-10?page=0>

The Planning Board meeting is scheduled for 7:00 PM, May 10, 2022 at the Wescustogo Hall & Community Center.

Parcel Number	Property Address	Owner Name	Owner Address	Owner Address 2	Owner City	Owner State	Owner Zip
007-034-006	132 VILLAGE VIEW LN	CHIDESTER, JOSLIN WH & SAMUEL D	132 VILLAGE VIEW LN		NORTH YARMOUTH	ME	04097
007-037	488 WALNUT HILL RD	SULLIVAN, BRUCE A	490 WALNUT HILL RD		NORTH YARMOUTH	ME	04097
007-038	494 WALNUT HILL RD	BOYNTON, SANDRA J.	PO BOX 184		CUMBERLAND CENTER	ME	04021
007-039	504 WALNUT HILL RD	KILGORE, GORDON	P O BOX 31-A		CUMBERLAND CENTER	ME	04021
007-040	508 WALNUT HILL RD	LAMARCHE, JONATHAN & GINA	508 WALNUT HILL RD		NORTH YARMOUTH	ME	04097
007-041	518 WALNUT HILL RD	THOMPSON, RYAN & EMILY	111 BELFORT ST		PORTLAND	ME	04103
007-042	534 WALNUT HILL RD	STACKPOLE, KEITH	534 WALNUT HILL RD		NORTH YARMOUTH	ME	04097
007-043	18 DEXTER LANE	CHANDLER, JEFFREY & SARA	2849 SUTTON OAKS LN		VIENNA	VA	22181
007-044	0 DEXTER LANE	GORDON, LINDA	260 PLEASANT STREET		YARMOUTH	ME	04096
007-045	0 DEXTER LANE @ THE END	YARMOUTH WATER DISTRICT	P. O. BOX 419		YARMOUTH	ME	04096-0419
007-048	80 PEMBROKE PEAK	GROVER, BENJAMIN C & DEBORAH A	80 PEMBROKE PEAK		NORTH YARMOUTH	ME	04097
007-049	544 WALNUT HILL RD	ISRAEL, HENRY M	544 WALNUT HILL RD		NORTH YARMOUTH	ME	04097
007-050	546 WALNUT HILL RD	MALONEY, KATHERINE M & NOTARO, RENAUD	546 WALNUT HILL ROAD		NORTH YARMOUTH	ME	04097
007-058	551 WALNUT HILL RD	MALLORY, MICHAEL P. & POTTER, JUDITH	551 WALNUT HILL RD		NORTH YARMOUTH	ME	04097
007-059	543 WALNUT HILL RD	AHLBERG, MATTHEW T. & KREGLING, KATHERINE	543 WALNUT HILL RD		NORTH YARMOUTH	ME	04097
007-060	539 WALNUT HILL RD	WONG, DAVID	539 WALNUT HILL RD		NORTH YARMOUTH	ME	04097
007-061	4 PARSONAGE RD	BURGESS, RONALD E.	881 SLIGO RD		NORTH YARMOUTH	ME	04097
007-063	507 WALNUT HILL RD	507, LLC					
007-064	10 VILLAGE SQUARE RD	NORTH YARMOUTH, TOWN OF	10 VILLAGE SQUARE ROAD		NORTH YARMOUTH	ME	04097
007-076	0 VETERAN MEMORIAL PARK	SAME AS 007-064					
007-077	29 PARSONAGE RD	FARRELL, JOHN JR & ELLIOTT, HEATHER	29 PARSONAGE RD		NORTH YARMOUTH	ME	04097
007-078	19 PARSONAGE RD	INGRAM, TRISTAN R & MARY E	19 PARSONAGE RD		NORTH YARMOUTH	ME	04097
007-079	15 PARSONAGE RD	DOSTILIO, ALICIA & SOL	15 PARSONAGE RD		NORTH YARMOUTH	ME	04097
007-080	8 PARSONAGE RD	BLANCHARD, ANN C.	P.O. BOX 406		CUMBERLAND	ME	04021
007-081	16 PARSONAGE RD	HJELMSTAD, SARAH B	16 PARSONAGE RD		NORTH YARMOUTH	ME	04097
007-081-001	28 PARSONAGE RD	BURKE, DANIEL P & DEBORAH S	28 PARSONAGE RD		NORTH YARMOUTH	ME	04097
007-083	34 PARSONAGE RD	ADSHHEAD, MICHELLE	34 PARSONAGE ROAD		NORTH YARMOUTH	ME	04097
007-092	40 PARSONAGE RD	SAME AS 007-084					

*ADUTTERS WITHIN 500' OF PROJECT AREA
(RECEIVED FROM CEO 4/13/2022)*



U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

North Yarmouth, ME 04097

Certified Mail Fee	\$3.75	0350
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	05
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.58	04/20/2022
Total Postage and Fees	\$4.33	

Sent To
 JOSLIN + SAMUEL CHIDESTER
 Street and Apt. No., or PO Box No.
 132 VILLAGE VIEW LANE
 City, State, ZIP+4®
 NORTH YARMOUTH, ME 04097

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
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For delivery information, visit our website at www.usps.com®.

North Yarmouth, ME 04097

Certified Mail Fee	\$3.75	0350
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	05
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	Postmark Here
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<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.58	04/20/2022
Total Postage and Fees	\$4.33	

Sent To
 BRUCE SULLIVAN
 Street and Apt. No., or PO Box No.
 490 WALNUT HILL ROAD
 City, State, ZIP+4®
 NORTH YARMOUTH, ME 04097

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
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Cumberland Center, ME 04021

Certified Mail Fee	\$3.75	0350
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	05
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.58	04/20/2022
Total Postage and Fees	\$4.33	

Sent To
 GORDON KILGORE
 Street and Apt. No., or PO Box No.
 P.O. Box 31-A
 City, State, ZIP+4®
 CUMBERLAND CENTER, ME 04021

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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For delivery information, visit our website at www.usps.com®.

Cumberland Center, ME 04021

Certified Mail Fee	\$3.75	0350
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	05
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<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.58	04/20/2022
Total Postage and Fees	\$4.33	

Sent To
 SANDRA BOYNTON
 Street and Apt. No., or PO Box No.
 P.O. Box 184
 City, State, ZIP+4®
 CUMBERLAND CENTER, ME 04021

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
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For delivery information, visit our website at www.usps.com®.

Portland, ME 04103

Certified Mail Fee	\$3.75	0350
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	05
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
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Postage	\$0.58	04/20/2022
Total Postage and Fees	\$4.33	

Sent To
 RYAN + EMILY THOMPSON
 Street and Apt. No., or PO Box No.
 111 BELFORT ST.
 City, State, ZIP+4®
 PORTLAND, ME 04103

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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North Yarmouth, ME 04097

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Total Postage and Fees	\$4.33	

Sent To
 JONATHAN + GINA LAMARCHE
 Street and Apt. No., or PO Box No.
 508 WALNUT HILL ROAD
 City, State, ZIP+4®
 NORTH YARMOUTH, ME 04097

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0640 0000 0211 5585

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North Yarmouth, ME 04097

Certified Mail Fee	\$3.75
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0350 05
Postmark Here

Postage	\$0.58
Total Postage and Fees	\$4.33

04/20/2022

Sent To KEITH STACK POLE
Street and Apt. No., or PO Box No.
534 WALNUT HILL ROAD
City, State, ZIP+4®
NORTH YARMOUTH, ME 04097
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0640 0000 0211 5592

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Vienna, VA 22181

Certified Mail Fee	\$3.75
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0350 05
Postmark Here

Postage	\$0.58
Total Postage and Fees	\$4.33

04/20/2022

Sent To JEFFREY + SARA CHANDLER
Street and Apt. No., or PO Box No.
2849 SUTTON OAKS LN
City, State, ZIP+4®
VIENNA, VA 22181
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0640 0000 0211 5608

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Yarmouth, ME 04096

Certified Mail Fee	\$3.75
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0350 05
Postmark Here

Postage	\$0.58
Total Postage and Fees	\$4.33

04/20/2022

Sent To LINDA GORDON
Street and Apt. No., or PO Box No.
260 PLEASANT ST.
City, State, ZIP+4®
YARMOUTH, ME 04096
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0640 0000 0211 5615

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Yarmouth, ME 04096

Certified Mail Fee	\$3.75
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0350 05
Postmark Here

Postage	\$0.58
Total Postage and Fees	\$4.33

04/20/2022

Sent To YARMOUTH WATER DISTRICT
Street and Apt. No., or PO Box No.
P.O. Box 419
City, State, ZIP+4®
YARMOUTH, ME 04096-0419
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0640 0000 0211 5639

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North Yarmouth, ME 04097

Certified Mail Fee	\$3.75
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0350 05
Postmark Here

Postage	\$0.58
Total Postage and Fees	\$4.33

04/20/2022

Sent To HENRY ISRAEL
Street and Apt. No., or PO Box No.
544 WALNUT HILL ROAD
City, State, ZIP+4®
NORTH YARMOUTH, ME 04097
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0640 0000 0211 5622

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North Yarmouth, ME 04097

Certified Mail Fee	\$3.75
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0350 05
Postmark Here

Postage	\$0.58
Total Postage and Fees	\$4.33

04/20/2022

Sent To BENJAMIN + DEBORAH GROVER
Street and Apt. No., or PO Box No.
60 PEMBROKE PEAK
City, State, ZIP+4®
NORTH YARMOUTH, ME 04097
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0640 0000 0211 5646

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North Yarmouth, ME 04097

Certified Mail Fee	\$3.75
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0350
05

Postmark
Here

Postage	\$0.58
Total Postage and Fees	\$4.33

04/20/2022

Sent To **KATHERINE MALONEY RENAUD NOTARO**
 Street and Apt. No., or PO Box No.
546 WALNUT HILL ROAD
 City, State, ZIP+4®
NORTH YARMOUTH, ME 04097

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0640 0000 0211 5645

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North Yarmouth, ME 04097

Certified Mail Fee	\$3.75
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0350
05

Postmark
Here

Postage	\$0.58
Total Postage and Fees	\$4.33

04/20/2022

Sent To **MICHELLE MALORY, JUDITH POTTER**
 Street and Apt. No., or PO Box No.
551 WALNUT HILL ROAD
 City, State, ZIP+4®
NORTH YARMOUTH, ME 04097

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0640 0000 0211 5677

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North Yarmouth, ME 04097

Certified Mail Fee	\$3.75
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0350
05

Postmark
Here

Postage	\$0.58
Total Postage and Fees	\$4.33

04/20/2022

Sent To **DAVID WONG**
 Street and Apt. No., or PO Box No.
539 WALNUT HILL ROAD
 City, State, ZIP+4®
NORTH YARMOUTH, ME 04097

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0640 0000 0211 5660

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North Yarmouth, ME 04097

Certified Mail Fee	\$3.75
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0350
05

Postmark
Here

Postage	\$0.58
Total Postage and Fees	\$4.33

04/20/2022

Sent To **MATTHEW AHLBERG, KATHERINE KREGLING**
 Street and Apt. No., or PO Box No.
543 WALNUT HILL RD
 City, State, ZIP+4®
NORTH YARMOUTH, ME 04097

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0640 0000 0211 5691

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North Yarmouth, ME 04097

Certified Mail Fee	\$3.75
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0350
05

Postmark
Here

Postage	\$0.58
Total Postage and Fees	\$4.33

04/20/2022

Sent To **Laurie Bachelder, 507 LLC**
 Street and Apt. No., or PO Box No.
665 Oak Hill Rd
 City, State, ZIP+4®
NORTH YARMOUTH, ME 04097

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0640 0000 0211 5685

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North Yarmouth, ME 04097

Certified Mail Fee	\$3.75
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0350
05

Postmark
Here

Postage	\$0.58
Total Postage and Fees	\$4.33

04/20/2022

Sent To **RONALD BURGESS**
 Street and Apt. No., or PO Box No.
881 SLIGO RD
 City, State, ZIP+4®
NORTH YARMOUTH, ME 04097

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0640 0000 0211 5707

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North Yarmouth, ME 04097

Certified Mail Fee	\$3.75	0350 05 APR 20 2022 Postmark Here 04/20/2022
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
Postage	\$0.58	
Total Postage and Fees	\$4.33	

Sent To **TOWN OF NORTH YARMOUTH**
 Street and Apt. No. or PO Box No. **10 VILLAGE SQUARE ROAD**
 City, State, ZIP+4® **NORTH YARMOUTH, ME 04097**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0640 0000 0211 5714

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North Yarmouth, ME 04097

Certified Mail Fee	\$3.75	0350 05 APR 20 2022 Postmark Here 04/20/2022
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
Postage	\$0.58	
Total Postage and Fees	\$4.33	

Sent To **JOHN FARRELL, HEATHER ELLIOT**
 Street and Apt. No. or PO Box No. **29 PARSONAGE RD**
 City, State, ZIP+4® **NORTH YARMOUTH, ME 04097**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0640 0000 0211 5721

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North Yarmouth, ME 04097

Certified Mail Fee	\$3.75	0350 05 APR 20 2022 Postmark Here 04/20/2022
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
Postage	\$0.58	
Total Postage and Fees	\$4.33	

Sent To **TRISTAN + MARY INGRAM**
 Street and Apt. No. or PO Box No. **19 PARSONAGE RD**
 City, State, ZIP+4® **NORTH YARMOUTH, ME 04097**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0640 0000 0211 5738

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North Yarmouth, ME 04097

Certified Mail Fee	\$3.75	0350 05 APR 20 2022 Postmark Here 04/20/2022
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
Postage	\$0.58	
Total Postage and Fees	\$4.33	

Sent To **AUCIA + SOL DOSTILLO**
 Street and Apt. No. or PO Box No. **15 PARSONAGE RD**
 City, State, ZIP+4® **NORTH YARMOUTH, ME 04097**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0640 0000 0211 5745

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Cumberland Center, ME 04021

Certified Mail Fee	\$3.75	0350 05 APR 20 2022 Postmark Here 04/20/2022
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
Postage	\$0.58	
Total Postage and Fees	\$4.33	

Sent To **ANN BLANCHARD**
 Street and Apt. No. or PO Box No. **P. O. Box 406**
 City, State, ZIP+4® **CUMBERLAND, ME 04021**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0640 0000 0211 5752

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North Yarmouth, ME 04097

Certified Mail Fee	\$3.75	0350 05 APR 20 2022 Postmark Here 04/20/2022
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
Postage	\$0.58	
Total Postage and Fees	\$4.33	

Sent To **SARAH HJELMSTAD**
 Street and Apt. No. or PO Box No. **16 PARSONAGE RD**
 City, State, ZIP+4® **NORTH YARMOUTH, ME 04097**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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For delivery information, visit our website at www.usps.com

North Yarmouth, ME 04097

Certified Mail Fee \$3.75
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$0.00
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.58
 Total Postage and Fees \$7.33

Sent To **MICHELLE ADSHEAD**
 Street and Apt. No., or PO Box No. **34 PARSONAGE ROAD**
 City, State, ZIP+4® **NORTH YARMOUTH, ME 04097**



7020 0640 0000 0490 0202

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 Domestic Mail Only

For delivery information, visit our website at www.usps.com

North Yarmouth, ME 04097

Certified Mail Fee \$3.75
 Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$0.00
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.58
 Total Postage and Fees \$4.33

Sent To **DANIEL + DEBORAH BURKE**
 Street and Apt. No., or PO Box No. **28 PARSONAGE ROAD**
 City, State, ZIP+4® **NORTH YARMOUTH, ME 04097**



6925 TT20 0000 0490 0202

HHE 200 Forms

BLDG 1

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. Health & Human Services
Div of Environmental Health, 11 SHS
(207) 287-5672 Fax: (207) 287-4172

PROPERTY LOCATION

>> CAUTION: LPI APPROVAL REQUIRED <<

City, Town, or Plantation: NORTH YARMOUTH
Street or Road: 521 WALNUT HILL RD.
Subdivision, Lot #: BUILDING #1

Town/City: Permit #:
Date Permit Issued: Fee: \$ Double Fee Charged []
Local Plumbing Inspector Signature: L.P.I. #
Owner Town State

OWNER/APPLICANT INFORMATION

Name (last, first, MI): 527 LLC
Mailing Address of Owner/Applicant: 865 OAK HILL ROAD NORTH YARMOUTH, 04097
Daytime Tel. #: 415-8723

The Subsurface Wastewater Disposal System shall not be installed until a Permit is issued by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.

Municipal Tax Map # Lot #

OWNER OR APPLICANT STATEMENT

I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or local Plumbing inspector to deny a Permit.

CAUTION: INSPECTION REQUIRED

I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application.

Signature of Owner or Applicant Date

Local Plumbing Inspector Signature (1st) date approved (2nd) date approved

PERMIT INFORMATION

Form with sections: TYPE OF APPLICATION, THIS APPLICATION REQUIRES, DISPOSAL SYSTEM COMPONENTS, SIZE OF PROPERTY, DISPOSAL SYSTEM TO SERVE, TYPE OF WATER SUPPLY, SHORELAND ZONING.

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)

Form with sections: TREATMENT TANK, DISPOSAL FIELD TYPE & SIZE, GARBAGE DISPOSAL UNIT, DESIGN FLOW, SOIL DATA & DESIGN CLASS, DISPOSAL FIELD SIZING, EFFLUENT/EJECTOR PUMP, LATITUDE AND LONGITUDE.

SITE EVALUATOR STATEMENT

I certify that on 2-18-22 (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A CMR 241).

Site Evaluator Signature: MARK CENCI
SE #: 262
Date: 3-9-22
Telephone Number: 329-3524
E-mail Address:

Note: Changes to or deviations from the design should be confirmed with the Site Evaluator.

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Department of Human Services
Division of Health Engineering, Station 10
(207) 287-5872 Fax: (207) 287-3165

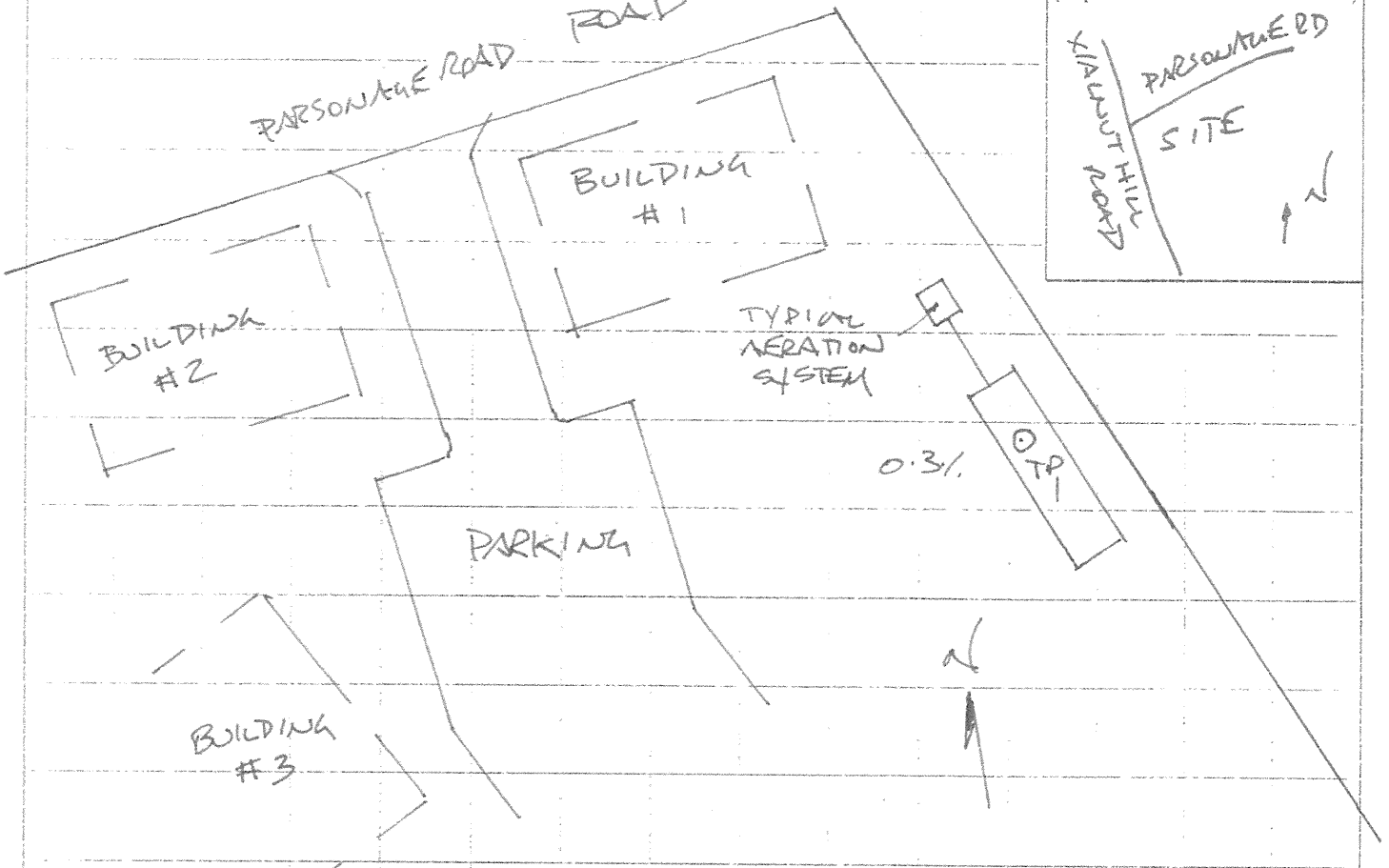
Town, City, Plantation
NORTH YARMOUTH

Street, Road, Subdivision
521 WALNUT HILL ROAD

Owner or Applicant Name
527 LLC

SITE PLAN Scale 1" = 40 ft.

SITE LOCATION PLAN
(map from Maine Atlas recommended)



SOIL PROFILE DESCRIPTION AND CLASSIFICATION

(Location of Observation Holes Shown Above)

Observation Hole # TP-1 Test Pit Boring

Observation Hole # _____ Test Pit Boring

_____ " Depth of organic horizon above mineral soil

_____ " Depth of organic horizon above mineral soil

Depth below mineral soil surface (inches)	Texture	Consistency	Color	Mottling
0	SANDY		DARK	
6	LOAM		BROWN	
12	LOAM			
18	SAND	LOOSE	YELLOW	
24	PEBBLY		BROWN	NONE
30	MEDIUM		TO	
36	SAND		BROWN	
42	TO			
48	-60"			

Depth below mineral soil surface (inches)	Texture	Consistency	Color	Mottling
0				
6				
12				
18				
24				
30				
36				
42				
48				

Soil Profile	Classification	Slope	Limiting Factor	<input type="checkbox"/> Groundwater
5	B	0.3	—	<input type="checkbox"/> Restrictive Layer
Profile	Condition	Percent	Depth	<input type="checkbox"/> Bedrock
				<input type="checkbox"/> Pit Depth

Soil Profile	Classification	Slope	Limiting Factor	<input type="checkbox"/> Groundwater
				<input type="checkbox"/> Restrictive Layer
Profile	Condition	Percent	Depth	<input type="checkbox"/> Bedrock
				<input type="checkbox"/> Pit Depth

Site Evaluator Signature

SE #

Date

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Department of Human Services
 Division of Health Engineering, Station 10
 (207) 287-5672 Fax: (207) 287-3165

Town, City, Plantation

NORTH YARMOUTH

Street, Road, Subdivision

521 WALNUT HILL #1 BUILDING #1

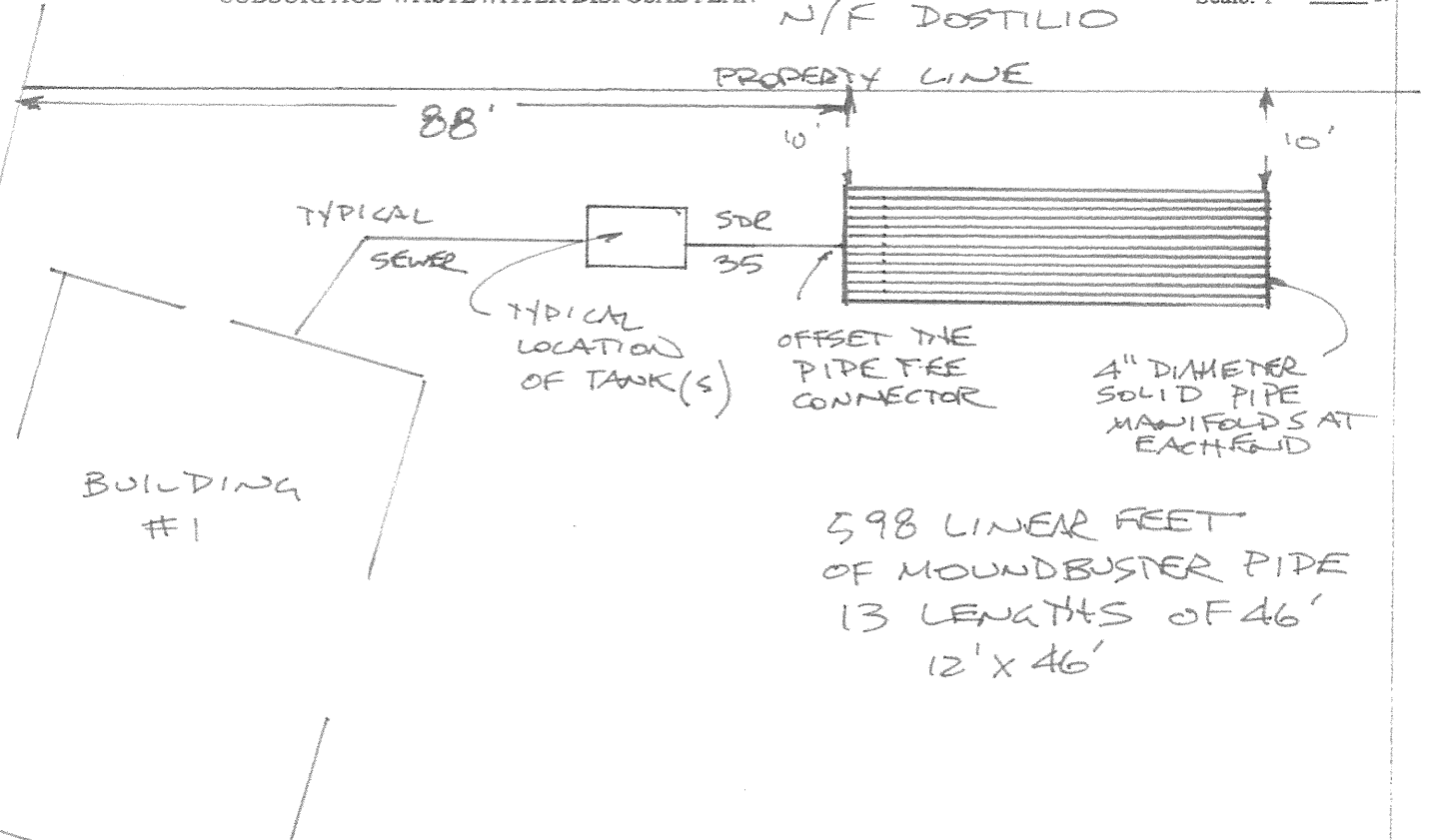
Owner or Applicant Name

S27 LLC

SUBSURFACE WASTEWATER DISPOSAL PLAN

N/F DOSTILIO

Scale: 1" = 20' ft



BACKFILL REQUIREMENTS ABOVE GRADE

Depth of Backfill (upslope) 0
 Depth of Backfill (downslope) 0

CONSTRUCTION ELEVATIONS

Finished Grade Elevation —
 Top of PIPES —
 Bottom of PIPES —

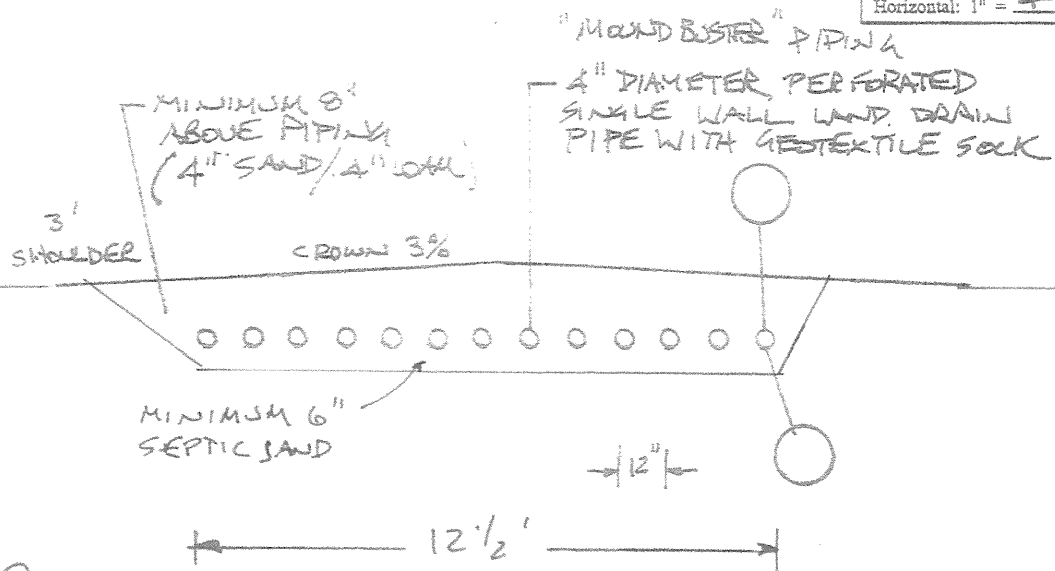
ELEVATION REFERENCE POINT

Location & Description: TO BE SET AT TIME OF CONSTRUCTION

Reference Elevation is 0.0' or: —

DISPOSAL FIELD CROSS SECTION

Scales:
 Vertical: 1" = 4'
 Horizontal: 1" = 4'



Mark Davis
 Site Evaluator Signature

262
 SE #

3-9-22
 Date

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. Health & Human Services
Div of Environmental Health, 11 SHS
(207) 287-5672 Fax: (207) 287-4172

PROPERTY LOCATION		>> CAUTION: LPI APPROVAL REQUIRED <<	
City, Town, or Plantation	NORTH YARMOUTH	Town/City	Permit #
Street or Road	521 WALNUT HILL RD.	Date Permit Issued	Fee: \$ Double Fee Charged []
Subdivision, Lot #	BUILDING #2	Local Plumbing Inspector Signature	L.P.I. #
OWNER/APPLICANT INFORMATION		<input type="checkbox"/> Owner <input type="checkbox"/> Town <input type="checkbox"/> State	
Name (last, first, MI)	527 LLC	The Subsurface Wastewater Disposal System shall not be installed until a Permit is issued by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.	
Mailing Address of Owner/Applicant	865 OAK HILL ROAD NORTH YARMOUTH, 04097	Municipal Tax Map #	Lot #
Daytime Tel. #	415-8723	CAUTION: INSPECTION REQUIRED	
OWNER OR APPLICANT STATEMENT		I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application.	
I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a Permit.		(1st) date approved	
Signature of Owner or Applicant _____ Date _____		Local Plumbing Inspector Signature _____ (2nd) date approved _____	

PERMIT INFORMATION		
TYPE OF APPLICATION <input checked="" type="checkbox"/> First Time System <input type="checkbox"/> Replacement System Type replaced: _____ Year installed: _____ <input type="checkbox"/> Expanded System a. <25% Expansion b. >25% Expansion <input type="checkbox"/> Experimental System <input type="checkbox"/> Seasonal Conversion	THIS APPLICATION REQUIRES <input checked="" type="checkbox"/> No Rule Variance <input type="checkbox"/> First Time System Variance a. Local Plumbing Inspector Approval b. State & Local Plumbing Inspector Approval <input type="checkbox"/> Replacement System Variance a. Local Plumbing Inspector Approval b. State & Local Plumbing Inspector Approval <input type="checkbox"/> Minimum Lot Size Variance <input type="checkbox"/> Seasonal Conversion Permit	DISPOSAL SYSTEM COMPONENTS <input checked="" type="checkbox"/> Complete Non-engineered System <input type="checkbox"/> Primitive System (graywater & alt. toilet) <input type="checkbox"/> Alternative Toilet, specify: _____ <input type="checkbox"/> Non-engineered Treatment Tank (only) <input type="checkbox"/> Holding Tank, _____ gallons <input type="checkbox"/> Non-engineered Disposal Field (only) <input type="checkbox"/> Separated Laundry System <input type="checkbox"/> Complete Engineered System (2000 gpd or more) <input type="checkbox"/> Engineered Treatment Tank (only) <input type="checkbox"/> Engineered Disposal Field (only) <input checked="" type="checkbox"/> Pre-treatment, specify: <u>OXY PRO OR EQUAL</u> <input type="checkbox"/> Miscellaneous Components
SIZE OF PROPERTY 2.24 SQ. FT. ACRES	DISPOSAL SYSTEM TO SERVE <input type="checkbox"/> Single Family Dwelling Unit, No. of Bedrooms: <input checked="" type="checkbox"/> Multiple Family Dwelling, No. of Units: <u>3-3BR</u> <input type="checkbox"/> Other: _____ UNITS (specify) Current Use <input type="checkbox"/> Seasonal <input type="checkbox"/> Year Round <input checked="" type="checkbox"/> Undeveloped	TYPE OF WATER SUPPLY <input type="checkbox"/> Drilled Well <input type="checkbox"/> Dug Well <input type="checkbox"/> Private <input checked="" type="checkbox"/> Public <input type="checkbox"/> Other

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)			
TREATMENT TANK <input checked="" type="checkbox"/> Concrete <input checked="" type="checkbox"/> Regular b. Low Profile <input type="checkbox"/> Plastic <input type="checkbox"/> Other: _____ CAPACITY: <u>1000</u> GAL. <u>PLUS AERATOR</u>	DISPOSAL FIELD TYPE & SIZE <input type="checkbox"/> Stone Bed <input type="checkbox"/> Stone Trench <input checked="" type="checkbox"/> Proprietary Device a. cluster array <input type="checkbox"/> Linear b. regular load <input checked="" type="checkbox"/> H-20 load <input type="checkbox"/> Other: _____ SIZE: <u>2960</u> sq. ft. (lin. ft.)	GARBAGE DISPOSAL UNIT <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> Maybe If Yes or Maybe, specify one below: <input type="checkbox"/> multi-compartment tank <input type="checkbox"/> ___ tanks in series <input type="checkbox"/> increase in tank capacity <input type="checkbox"/> Filter on Tank Outlet	DESIGN FLOW <u>810</u> gallons per day BASED ON: <input checked="" type="checkbox"/> Table 4A (dwelling unit(s)) <input type="checkbox"/> Table 4C (other facilities) SHOW CALCULATIONS for other facilities
SOIL DATA & DESIGN CLASS PROFILE CONDITION <u>S1 B</u> a: Observation Hole # <u>TP4</u> Depth _____" of Most Limiting Soil Factor	DISPOSAL FIELD SIZING <input checked="" type="checkbox"/> Medium---2.6 sq. ft. / gpd <input type="checkbox"/> Medium---Large 3.3 sq. ft. / gpd <input type="checkbox"/> Large---4.1 sq. ft. / gpd <input type="checkbox"/> Extra Large---5.0 sq. ft. / gpd	EFFLUENT/EJECTOR PUMP <input type="checkbox"/> Not Required <input checked="" type="checkbox"/> May Be Required <input type="checkbox"/> Required Specify only for engineered systems: DOSE: _____ gallons	<input type="checkbox"/> Section 4G (meter readings) ATTACH WATER METER DATA LATITUDE AND LONGITUDE at center of disposal area Lat. <u>43</u> d <u>49</u> m <u>57</u> s <u>79</u> Lon. <u>70</u> d <u>15</u> m <u>08</u> s <u>19</u> if g.p.s., state margin of error:

SITE EVALUATOR STATEMENT			
I certify that on <u>2-18-22</u> (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A CMR 241).			
Site Evaluator Signature <u>Mark Cenci</u>	SE # <u>262</u>	Date <u>3-9-22</u>	
Site Evaluator Name Printed <u>MARK CENCI</u>	Telephone Number <u>329-3524</u>	E-mail Address	

Note: Changes to or deviations from the design should be confirmed with the Site Evaluator.

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Department of Human Services
Division of Health Engineering, Station 10
(207) 287-5872 Fax: (207) 287-3185

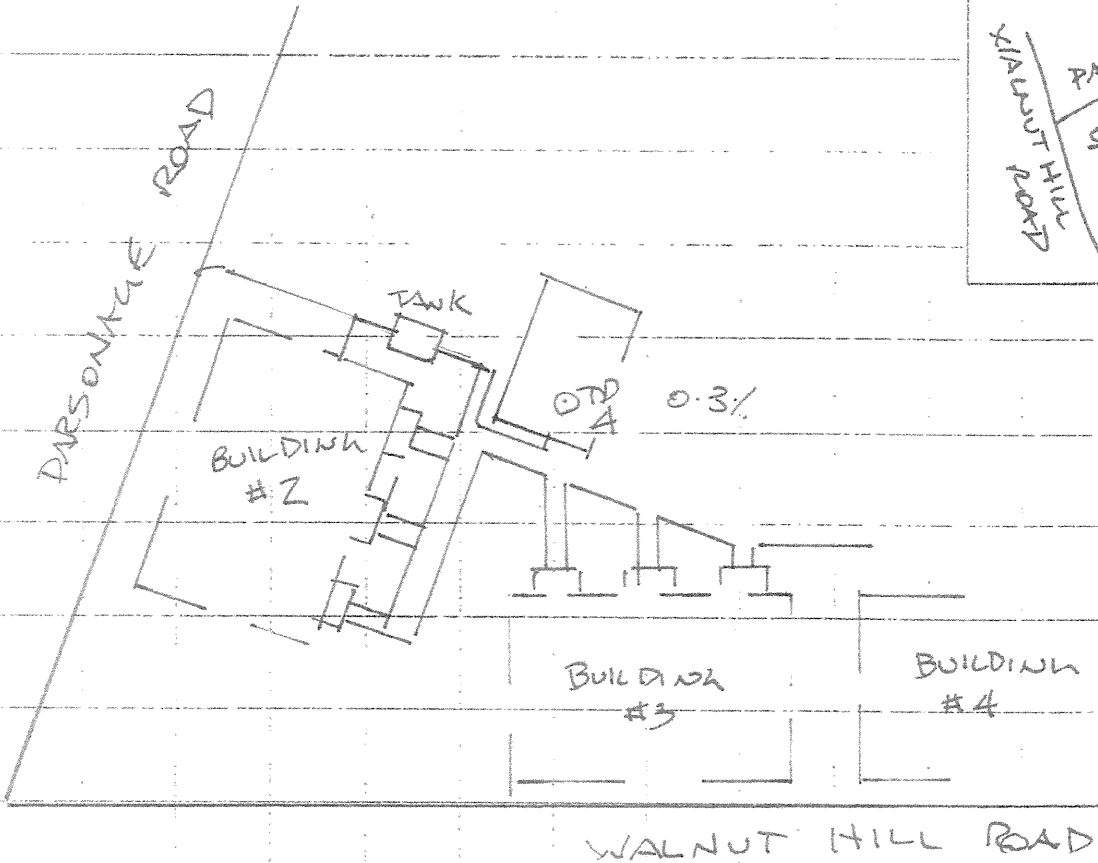
Town, City, Plantation
NORTH YARMOUTH

Street, Road, Subdivision
**BUILDING 2
521 WALNUT HILL ROAD**

Owner or Applicant Name
527 LLC

SITE PLAN Scale 1" = 40 ft.

SITE LOCATION PLAN
(map from Maine Atlas recommended)



SOIL PROFILE DESCRIPTION AND CLASSIFICATION

(Location of Observation Holes Shown Above)

Observation Hole # TP-4 Test Pit Boring

Observation Hole # _____ Test Pit Boring

_____ " Depth of organic horizon above mineral soil

_____ " Depth of organic horizon above mineral soil

Texture	Consistency	Color	Mottling
0			
6	SANDY/ LOAM	DARK BROWN	
12			
18			
24	LOAMY GRAVELLY LOOSE	RED TO GRAY	
30	SAND		NONE
36			
42	to 72"		
48			

Soil Profile	Classification Condition	Slope Percent	Limiting Factor Depth	<input type="checkbox"/> Groundwater <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth
5	B	0.3	-	

Texture	Consistency	Color	Mottling
0			
6			
12			
18			
24			
30			
36			
42			
48			

Soil Profile	Classification Condition	Slope Percent	Limiting Factor Depth	<input type="checkbox"/> Groundwater <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth

Site Evaluator Signature Paul Dan

SE # 202

Date 3-9-22

Page 2 of 3
HHE-200 Rev. 10/02

Date 3-22-22

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Department of Human Services
Division of Health Engineering, Station 10
(207) 287-5872 Fax: (207) 287-3165

Town, City, Plantation
NORTH YARMOUTH

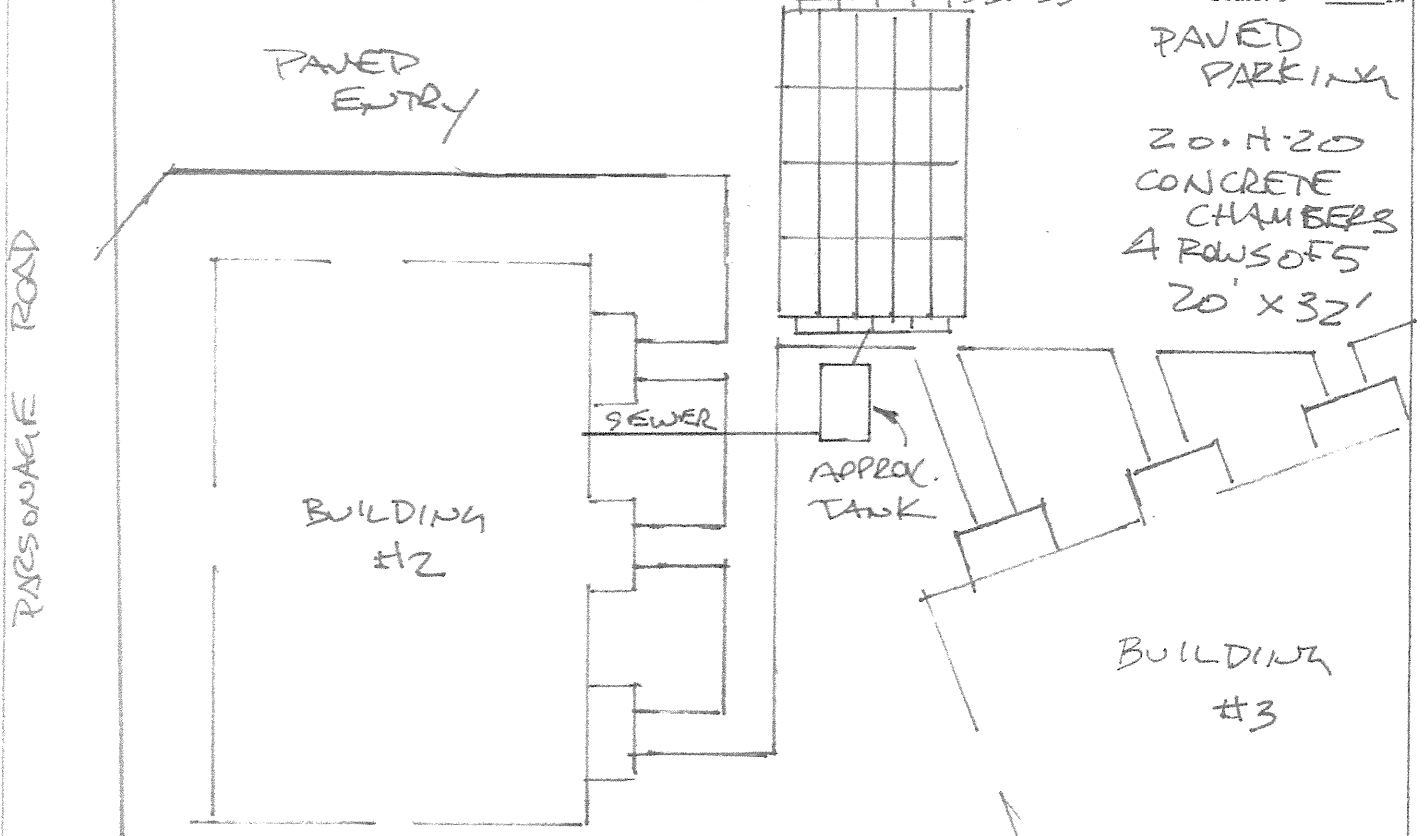
Street, Road, Subdivision
521 WALNUT HILL RD

Owner or Applicant Name
SET LLC

SUBSURFACE WASTEWATER DISPOSAL PLAN

SDR 35

Scale: 1" = 20 ft.



BACKFILL REQUIREMENTS

CONSTRUCTION ELEVATIONS

ELEVATION REFERENCE POINT

Depth of Backfill (upslope) 8"
Depth of Backfill (downslope) 8"
DEPTHS AT CROSS-SECTION (shown below)

Finished Grade Elevation (at Row 1) —"
Top of Proprietary Device (at Row 1) —"
Bottom of Disposal Field (at Row 1) —"

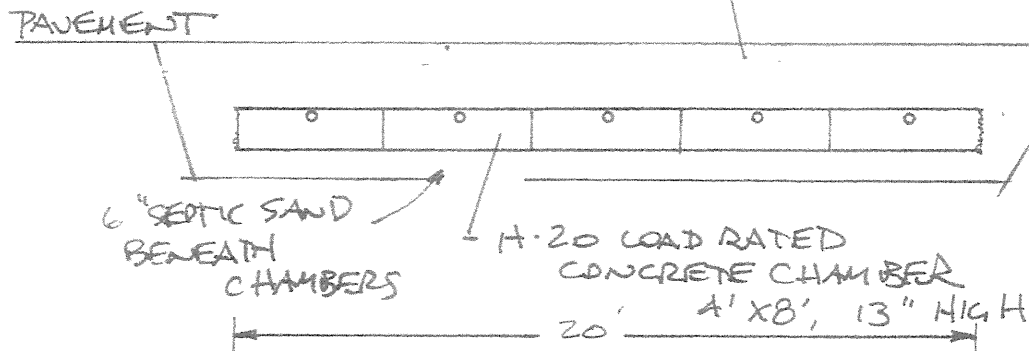
Location & Description: TO BE SET AT THE TIME OF CONSTRUCTION
Reference Elevation is: 0.0" or CONSTRUCTION

DISPOSAL FIELD CROSS SECTION

Scales:
Vertical: 1" = 5 ft.
Horizontal: 1" = 5 ft.

FOR H-20 RATING:

APPROX 18" FILL OVER CHAMBERS



Mark Davis
Site Evaluator Signature

262
SE #

3-9-22
Date

3-22-22

Page 3 of 3
HHE-200 Rev. 10/02

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. Health & Human Services
Div of Environmental Health, 11 SHS
(207) 287-5672 Fax: (207) 287-4172

PROPERTY LOCATION		>> CAUTION: LPI APPROVAL REQUIRED <<	
City, Town, or Plantation	<u>NORTH YARMOUTH</u>	Town/City	Permit # _____
Street or Road	<u>521 WALNUT HILL RD.</u>	Date Permit Issued	Fee: \$ _____ Double Fee Charged []
Subdivision, Lot #	<u>BUILDING #3</u>	Local Plumbing Inspector Signature	L.P.I. # _____
OWNER/APPLICANT INFORMATION		<input type="checkbox"/> Owner <input type="checkbox"/> Town <input type="checkbox"/> State	
Name (last, first, MI)	<u>527 LLC</u>	The Subsurface Wastewater Disposal System shall not be installed until a Permit is issued by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.	
Mailing Address of Owner/Applicant	<u>865 OAK HILL ROAD NORTH YARMOUTH, 04097</u>	Municipal Tax Map #	Lot # _____
Daytime Tel. #	<u>415-8723</u>	CAUTION: INSPECTION REQUIRED	
I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a Permit.		I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application.	
Signature of Owner or Applicant _____		Local Plumbing Inspector Signature _____	
Date _____		(1st) date approved _____	
		(2nd) date approved _____	

PERMIT INFORMATION	
TYPE OF APPLICATION <input checked="" type="checkbox"/> 1. First Time System <input type="checkbox"/> 2. Replacement System Type replaced: _____ Year installed: _____ <input type="checkbox"/> 3. Expanded System a. <25% Expansion b. >25% Expansion <input type="checkbox"/> 4. Experimental System <input type="checkbox"/> 5. Seasonal Conversion	THIS APPLICATION REQUIRES <input type="checkbox"/> 1. No Rule Variance <input type="checkbox"/> 2. First Time System Variance a. Local Plumbing Inspector Approval b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 3. Replacement System Variance a. Local Plumbing Inspector Approval b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 4. Minimum Lot Size Variance <input type="checkbox"/> 5. Seasonal Conversion Permit
SIZE OF PROPERTY <u>2.24</u> SQ. FT. ACRES	DISPOSAL SYSTEM TO SERVE <input type="checkbox"/> 1. Single Family Dwelling Unit, No. of Bedrooms: <input checked="" type="checkbox"/> 2. Multiple Family Dwelling, No. of Units: <u>3-3BR</u> <input type="checkbox"/> 3. Other: <u>UNITS</u> (specify) _____ Current Use <input type="checkbox"/> Seasonal <input type="checkbox"/> Year Round <input type="checkbox"/> Undeveloped
SHORELAND ZONING Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	DISPOSAL SYSTEM COMPONENTS <input checked="" type="checkbox"/> 1. Complete Non-engineered System <input type="checkbox"/> 2. Primitive System (graywater & alt. toilet) <input type="checkbox"/> 3. Alternative Toilet, specify: _____ <input type="checkbox"/> 4. Non-engineered Treatment Tank (only) <input type="checkbox"/> 5. Holding Tank, _____ gallons <input type="checkbox"/> 6. Non-engineered Disposal Field (only) <input type="checkbox"/> 7. Separated Laundry System <input type="checkbox"/> 8. Complete Engineered System (2000 gpd or more) <input type="checkbox"/> 9. Engineered Treatment Tank (only) <input type="checkbox"/> 10. Engineered Disposal Field (only) <input checked="" type="checkbox"/> 11. Pre-treatment, specify: <u>OXY/PRO OR EQUAL</u> <input type="checkbox"/> 12. Miscellaneous Components
	TYPE OF WATER SUPPLY <input type="checkbox"/> 1. Drilled Well <input type="checkbox"/> 2. Dug Well <input type="checkbox"/> 3. Private <input checked="" type="checkbox"/> 4. Public <input type="checkbox"/> 5. Other

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)			
TREATMENT TANK <input checked="" type="checkbox"/> Concrete <input checked="" type="checkbox"/> Regular <input type="checkbox"/> Low Profile <input type="checkbox"/> Plastic <input type="checkbox"/> Other: _____ CAPACITY: <u>2000 GAL.</u> <u>1000 PLUS AERATOR</u>	DISPOSAL FIELD TYPE & SIZE <input type="checkbox"/> 1. Stone Bed <input type="checkbox"/> 2. Stone Trench <input checked="" type="checkbox"/> 3. Proprietary Device a. cluster array <input checked="" type="checkbox"/> Linear b. regular load <input type="checkbox"/> H-20 load <input type="checkbox"/> 4. Other: <u>MOUND BUSTER</u> SIZE: <u>598</u> sq. ft./lin. ft.	GARBAGE DISPOSAL UNIT <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> Maybe If Yes or Maybe, specify one below: <input type="checkbox"/> a. multi-compartment tank <input type="checkbox"/> b. _____ tanks in series <input type="checkbox"/> c. increase in tank capacity <input type="checkbox"/> d. Filter on Tank Outlet	DESIGN FLOW <u>810</u> gallons per day BASED ON: <input checked="" type="checkbox"/> 1. Table 4A (dwelling unit(s)) <input type="checkbox"/> 2. Table 4C (other facilities) SHOW CALCULATIONS for other facilities
SOIL DATA & DESIGN CLASS PROFILE CONDITION <u>5.1 B</u> at Observation Hole # <u>TP.2</u> Depth _____" of Most Limiting Soil Factor	DISPOSAL FIELD SIZING <input checked="" type="checkbox"/> 1. Medium---2.6 sq. ft. / gpd <input type="checkbox"/> 2. Medium---Large 3.3 sq. ft. / gpd <input type="checkbox"/> 3. Large---4.1 sq. ft. / gpd <input type="checkbox"/> 4. Extra Large---5.0 sq. ft. / gpd	EFFLUENT/EJECTOR PUMP <input type="checkbox"/> 1. Not Required <input checked="" type="checkbox"/> 2. May Be Required <input type="checkbox"/> 3. Required Specify only for engineered systems: DOSE: _____ gallons	<input type="checkbox"/> 3. Section 4G (meter readings) ATTACH WATER METER DATA LATITUDE AND LONGITUDE at center of disposal area Lat. <u>43</u> d <u>29</u> m <u>57</u> s <u>79</u> Lon. <u>70</u> d <u>15</u> m <u>08</u> s <u>19</u> if g.p.s., state margin of error: _____

SITE EVALUATOR STATEMENT			
I certify that on <u>2-18-22</u> (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A CMR 241).			
Site Evaluator Signature <u>Mark Cenci</u>	SE # <u>262</u>	Date <u>3-9-22</u>	
Site Evaluator Name Printed <u>MARK CENCI</u>	Telephone Number <u>329-3524</u>	E-mail Address	

Note : Changes to or deviations from the design should be confirmed with the Site Evaluator.

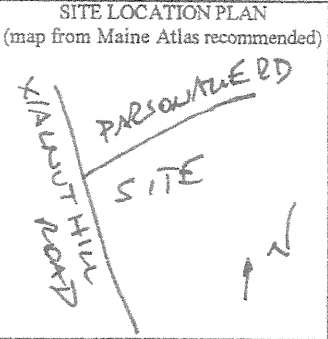
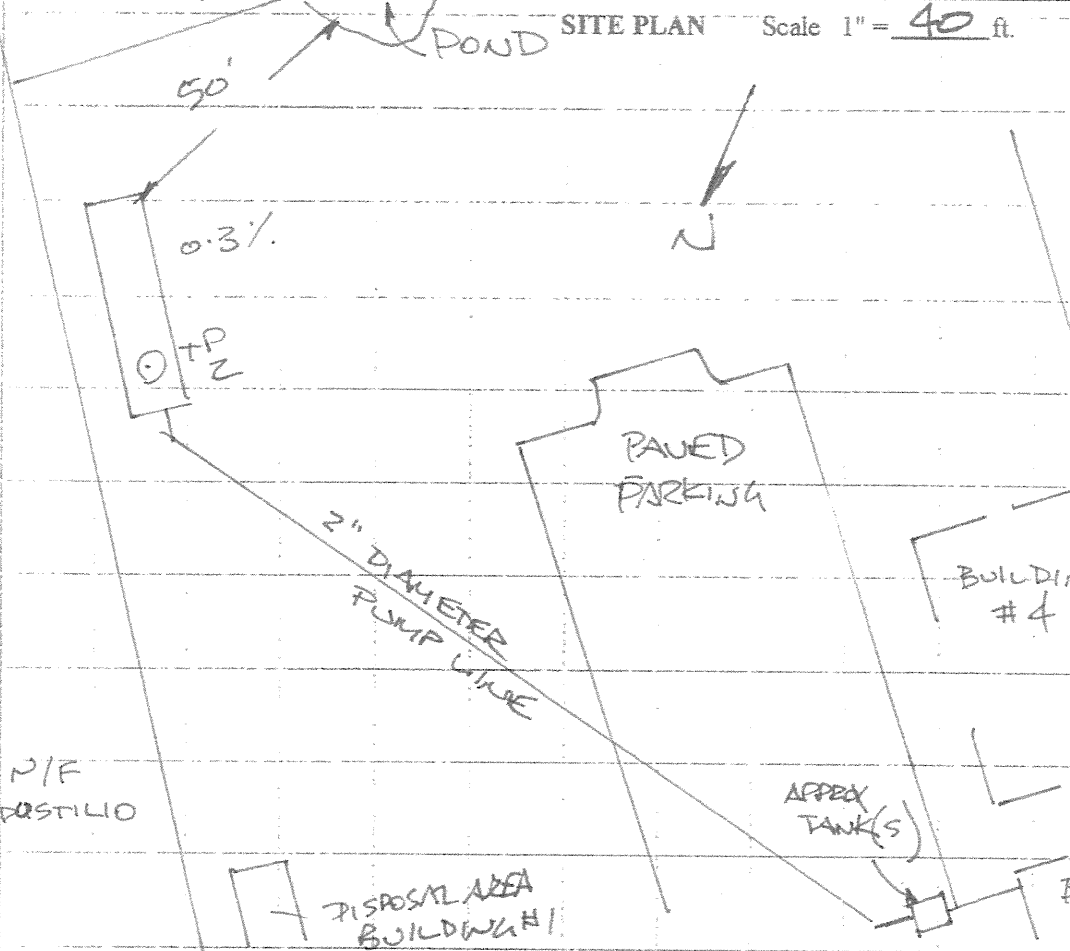
SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION
BUILDING #3

Maine Department of Human Services
 Division of Health Engineering, Station 10
 (207) 287-5872 Fax: (207) 287-3185

Town, City, Plantation
NORTH YARMOUTH

Street, Road, Subdivision
521 WALNUT HILL ROAD

Owner or Applicant Name
S27 LLC



SOIL PROFILE DESCRIPTION AND CLASSIFICATION

(Location of Observation Holes Shown Above)

Observation Hole # **TP-2** Test Pit Boring

Depth of organic horizon above mineral soil _____"

Depth below mineral soil surface (inches)	Texture	Consistency	Color	Mottling
0	LOAMY SAND	FRIABLE	DARK BROWN	
6				
12				
18	LOAMY GRAVELLY SAND	LOOSE	RED BROWN	
24				
30				NONE
36				
42	MEDIUM SAND		GRAY BROWN	
48				

Soil Profile	Classification Condition	Slope Percent	Limiting Factor Depth	<input type="checkbox"/> Groundwater
S	B	0.3	-	<input type="checkbox"/> Restrictive Layer
				<input type="checkbox"/> Bedrock
				<input type="checkbox"/> Pit Depth

Observation Hole # _____ Test Pit Boring

Depth of organic horizon above mineral soil _____"

Depth below mineral soil surface (inches)	Texture	Consistency	Color	Mottling
0				
6				
12				
18				
24				
30				
36				
42				
48				

Soil Profile	Classification Condition	Slope Percent	Limiting Factor Depth	<input type="checkbox"/> Groundwater
				<input type="checkbox"/> Restrictive Layer
				<input type="checkbox"/> Bedrock
				<input type="checkbox"/> Pit Depth

Site Evaluator Signature: *Mark Davis* SE # **22** Date **3-9-22**

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Department of Human Services
Division of Health Engineering, Station 10
(207) 287-5672 Fax: (207) 287-3165

Town, City, Plantation
NORTH YARMOUTH

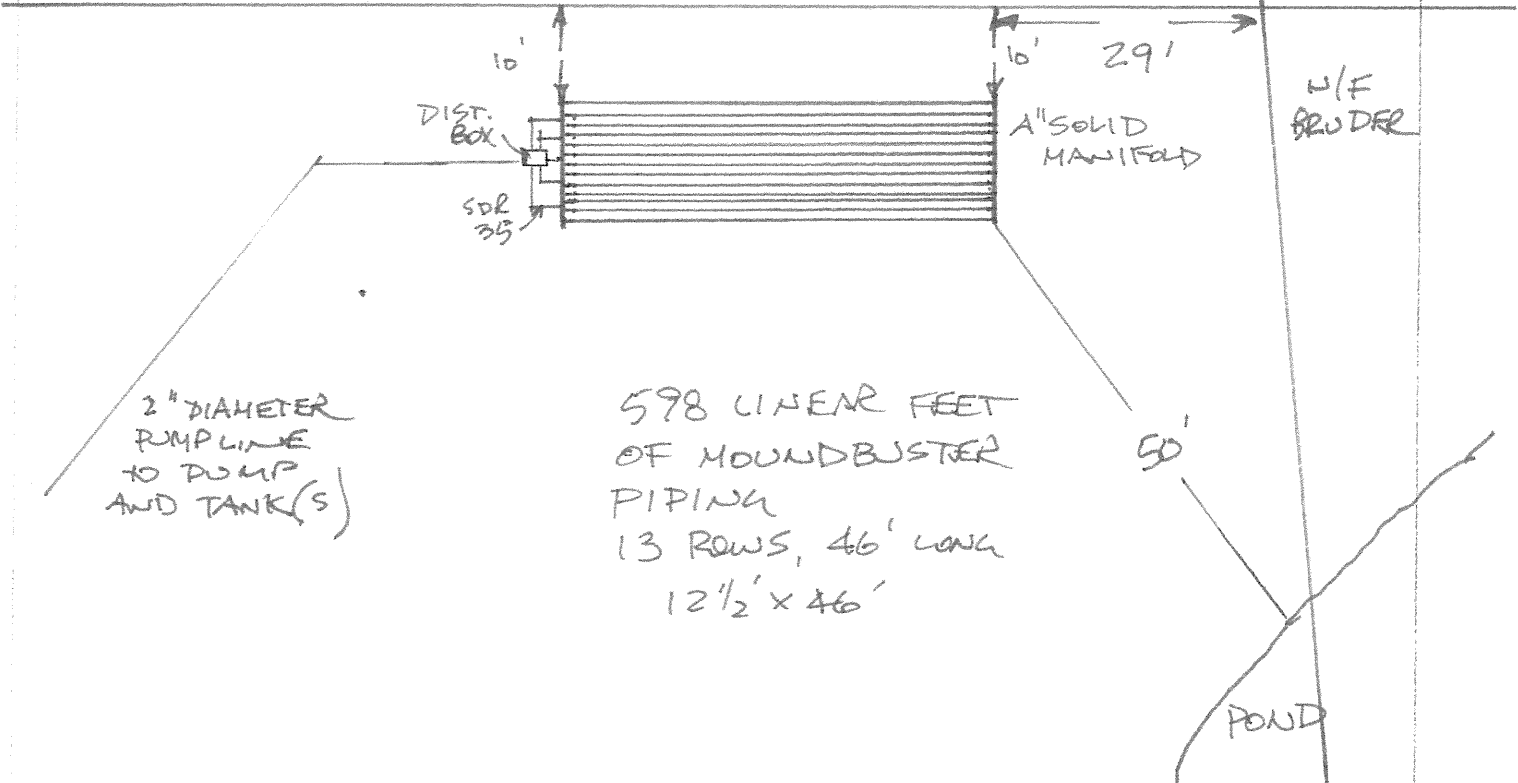
Street, Road, Subdivision
521 WALNUT HILL BUILDING 3

Owner or Applicant Name
S27 LLC

SUBSURFACE WASTEWATER DISPOSAL PLAN

N/F DOSTILIO

Scale: 1" = 20 ft



BACKFILL REQUIREMENTS
ABOVE GRADE

Depth of Backfill (upslope) 8
Depth of Backfill (downslope) 8

CONSTRUCTION ELEVATIONS

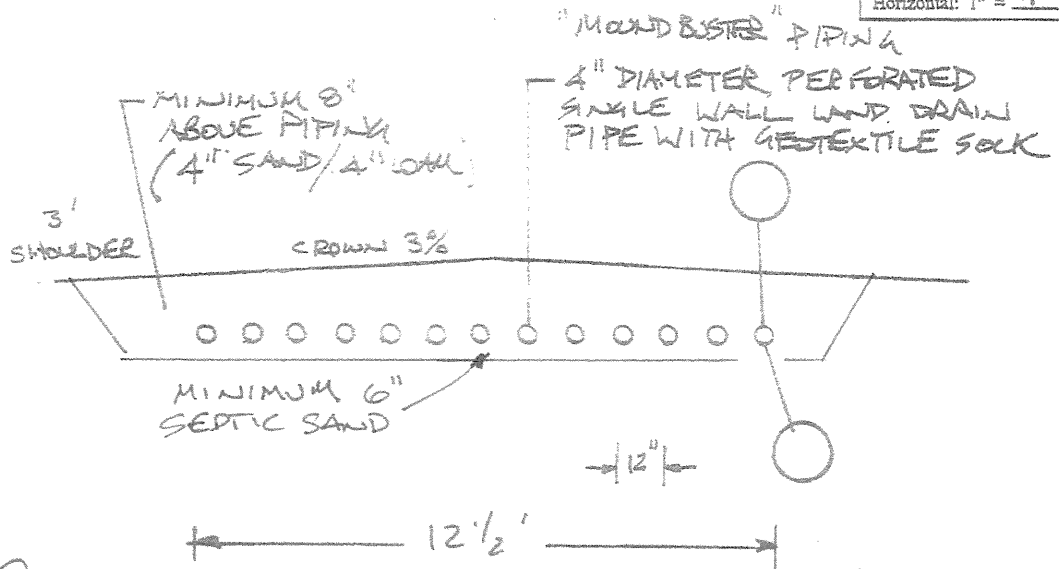
Finished Grade Elevation ---
Top of PIPES ---
Bottom of PIPES ---

ELEVATION REFERENCE POINT
Location & Description: TO BE SET AT TIME OF CONSTRUCTION

Reference Elevation is 0.0' or: _____

DISPOSAL FIELD CROSS SECTION

Scales:
Vertical: 1" = 4
Horizontal: 1" = 4



Mark Davis
Site Evaluator Signature

262
SE #

3-9-22
Date

Bldg 4

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. Health & Human Services
Div of Environmental Health, 11 SHS
(207) 287-5672 Fax: (207) 287-4172

PROPERTY LOCATION

>> CAUTION: LPI APPROVAL REQUIRED <<

City, Town, or Plantation: NORTH YARMOUTH
Street or Road: 521 WALNUT HILL RD.
Subdivision, Lot #: BUILDING #4

Town/City: Permit #:
Date Permit Issued: Fee: \$ Double Fee Charged []

OWNER/APPLICANT INFORMATION

Local Plumbing Inspector Signature: L.P.I. #
Owner Town State

Name (last, first, MI): 527 LLC
Mailing Address of Owner/Applicant: 865 OAK HILL ROAD NORTH YARMOUTH, 04097
Daytime Tel. #: 415-8723

The Subsurface Wastewater Disposal System shall not be installed until a Permit is issued by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.

OWNER OR APPLICANT STATEMENT
I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a Permit.

CAUTION: INSPECTION REQUIRED
I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application.
(1st) date approved
Local Plumbing Inspector Signature (2nd) date approved

PERMIT INFORMATION

TYPE OF APPLICATION
[X] First Time System
[] Replacement System
Type replaced:
Year installed:
[] Expanded System
[] Experimental System
[] Seasonal Conversion

THIS APPLICATION REQUIRES
[X] No Rule Variance
[] First Time System Variance
[] Replacement System Variance
[] Minimum Lot Size Variance
[] Seasonal Conversion Permit

DISPOSAL SYSTEM COMPONENTS
[X] Complete Non-engineered System
[] Primitive System (graywater & alt. toilet)
[] Alternative Toilet, specify:
[] Non-engineered Treatment Tank (only)
[] Holding Tank, gallons
[] Non-engineered Disposal Field (only)
[] Separated Laundry System
[] Complete Engineered System (2000 gpd or more)
[] Engineered Treatment Tank (only)
[] Engineered Disposal Field (only)
[X] Pre-treatment, specify: OXY/PRO OR FORMAL
[] Miscellaneous Components

SIZE OF PROPERTY: 2.24 SQ. FT. ACRES
SHORELAND ZONING: Yes No

DISPOSAL SYSTEM TO SERVE
[] Single Family Dwelling Unit, No. of Bedrooms:
[X] Multiple Family Dwelling, No. of Units: 3-3BR UNITS
[] Other:
Current Use Seasonal Year Round Developed

TYPE OF WATER SUPPLY
[] Drilled Well [] Dug Well [] Private
[X] Public [] Other

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)

TREATMENT TANK
[] Concrete [X] Regular
[] Low Profile
[] Plastic
[] Other: CAPACITY: 1000 GAL PLUS AERATOR

DISPOSAL FIELD TYPE & SIZE
[] Stone Bed [] Stone Trench
[] Proprietary Device
[] cluster array [] Linear
[] regular load [] H-20 load
[] Other:
SIZE: 2304 sq. ft. lin. ft.

GARBAGE DISPOSAL UNIT
[X] No [] Yes [] Maybe
If Yes or Maybe, specify one below:
[] multi-compartment tank
[] tanks in series
[] increase in tank capacity
[] Filter on Tank Outlet

DESIGN FLOW
810 gallons per day
BASED ON:
[X] Table 4A (dwelling unit(s))
[] Table 4C (other facilities)
SHOW CALCULATIONS for other facilities

SOIL DATA & DESIGN CLASS
PROFILE CONDITION: S, B
at Observation Hole # TP.3
Depth:
of Most Limiting Soil Factor

DISPOSAL FIELD SIZING
[X] Medium---2.6 sq. ft. / gpd
[] Medium---Large 3.3 sq. ft. / gpd
[] Large---4.1 sq. ft. / gpd
[] Extra Large---5.0 sq. ft. / gpd

EFFLUENT/EJECTOR PUMP
[] Not Required
[X] May Be Required
[] Required
Specify only for engineered systems:
DOSE: gallons

[] Section 4G (meter readings)
ATTACH WATER METER DATA
LATITUDE AND LONGITUDE
at center of disposal area
Lat: 43 d 49 m 57 s 79
Lon: 70 d 15 m 08 s 19
if g.p.s, state margin of error:

SITE EVALUATOR STATEMENT

I certify that on 2-18-22 (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A CMR 241).

Site Evaluator Signature: [Signature] SE #: 262 Date: 3-9-22
Site Evaluator Name Printed: MARK CENCI Telephone Number: 329-3524 E-mail Address:

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

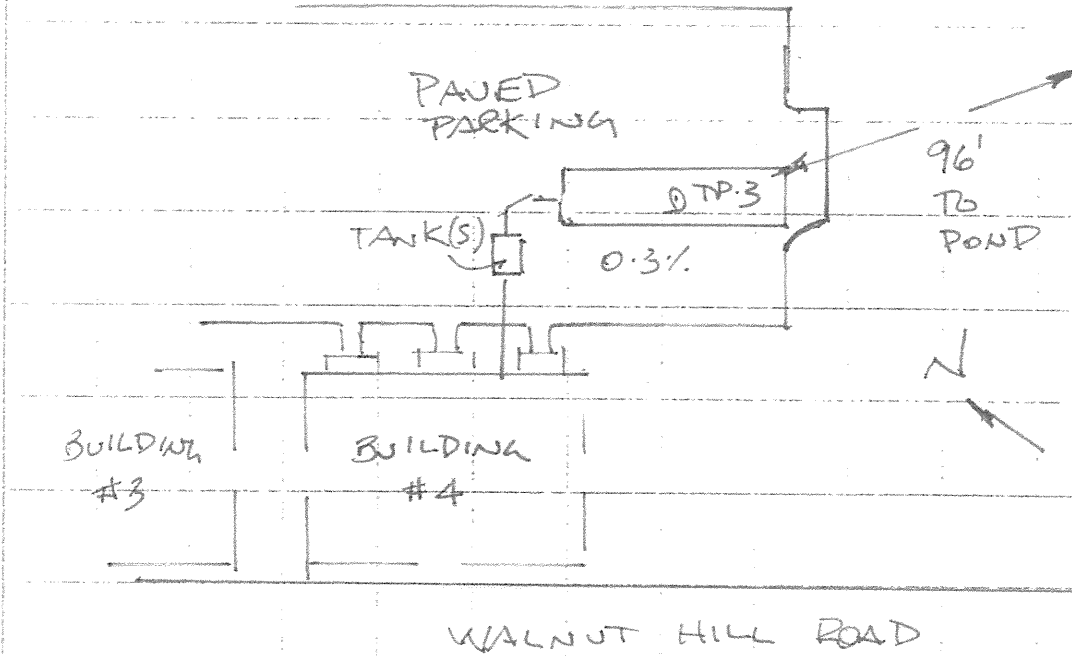
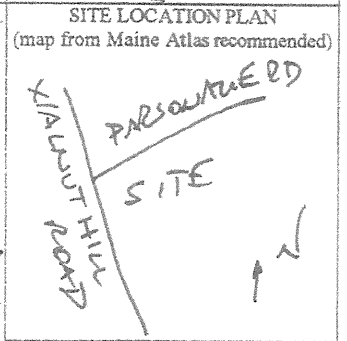
Maine Department of Human Services
Division of Health Engineering, Station 10
(207) 287-5872 Fax: (207) 287-3165

Town, City, Plantation
NORTH YARMOUTH

Street, Road, Subdivision
**BUILDING 4
521 WALNUT HILL ROAD**

Owner or Applicant Name
527 LLC

SITE PLAN Scale 1" = 40 ft.



SOIL PROFILE DESCRIPTION AND CLASSIFICATION

(Location of Observation Holes Shown Above)

Observation Hole # TP-3 Test Pit Boring

Depth of organic horizon above mineral soil _____

Texture	Consistency	Color	Mottling
0			
6			
12			
18	LOOSE	MIXED	
24			
30			NONE
36		RED BROWN	
42			
48			

Observation Hole # _____ Test Pit Boring

Depth of organic horizon above mineral soil _____

Texture	Consistency	Color	Mottling
0			
6			
12			
18			
24			
30			
36			
42			
48			

Soil Profile	Classification	Slope	Limiting Factor	<input type="checkbox"/> Groundwater
<u>5</u>	<u>B</u>	<u>0.3</u>	<u>—</u>	<input type="checkbox"/> Restrictive Layer
Profile	Condition	Percent	Depth	<input type="checkbox"/> Bedrock
				<input type="checkbox"/> Pit Depth

Soil Profile	Classification	Slope	Limiting Factor	<input type="checkbox"/> Groundwater
				<input type="checkbox"/> Restrictive Layer
Profile	Condition	Percent	Depth	<input type="checkbox"/> Bedrock
				<input type="checkbox"/> Pit Depth

Mark De...
Site Evaluator Signature

202
SE #

3-9-22
Date

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Department of Human Services
Division of Health Engineering, Station 10
(207) 287-5672 Fax: (207) 287-3165

Town, City, Plantation

NORTH YARMOUTH

Street, Road, Subdivision

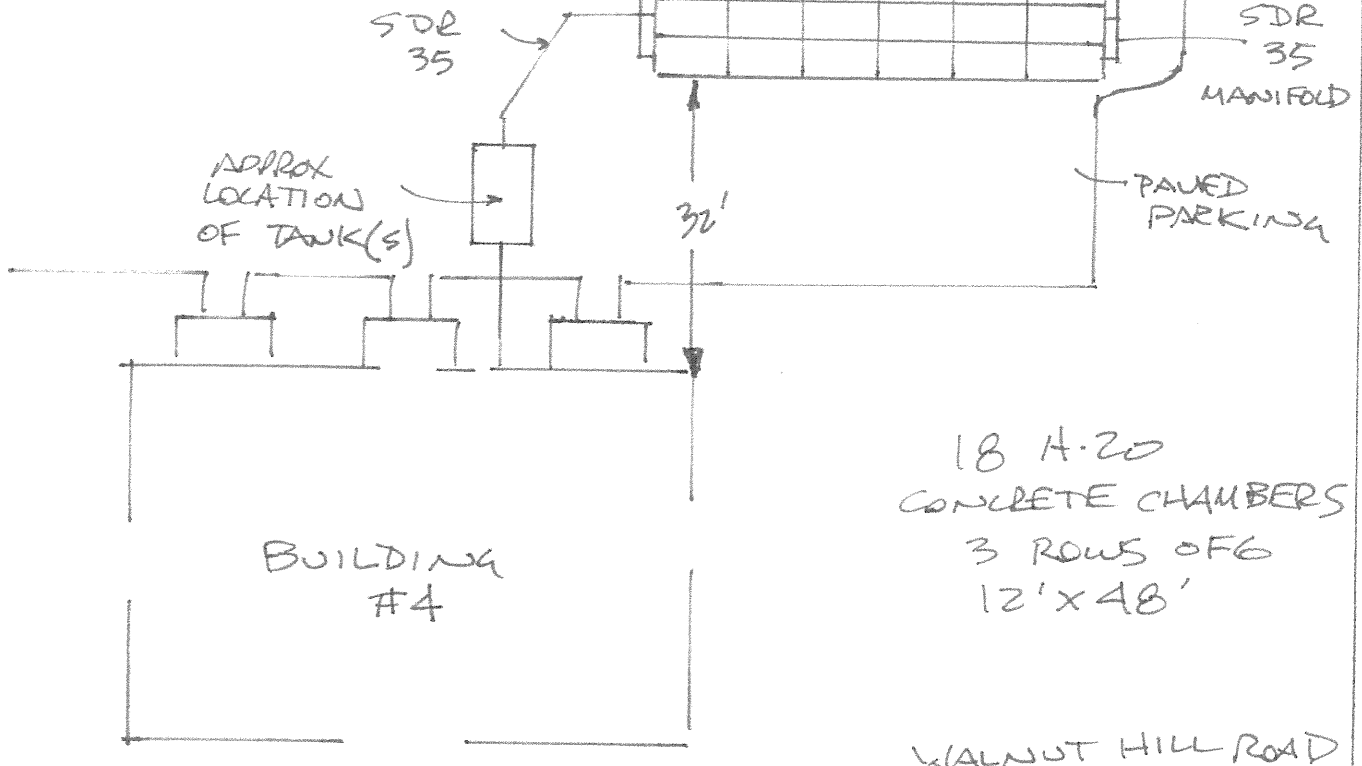
521 WALNUT HILL RD

Owner or Applicant Name

SZ7 LLC

SUBSURFACE WASTEWATER DISPOSAL PLAN

Scale: 1" = 20 ft.



BACKFILL REQUIREMENTS

Depth of Backfill (upslope) $\frac{0}{0}$ "
Depth of Backfill (downslope) $\frac{0}{0}$ "
DEPTHS AT CROSS-SECTION (shown below)

CONSTRUCTION ELEVATIONS

Finished Grade Elevation $\frac{X}{X}$ "
Top of Proprietary Device $\frac{X}{X}$ "
Bottom of Disposal Field $\frac{X}{X}$ "

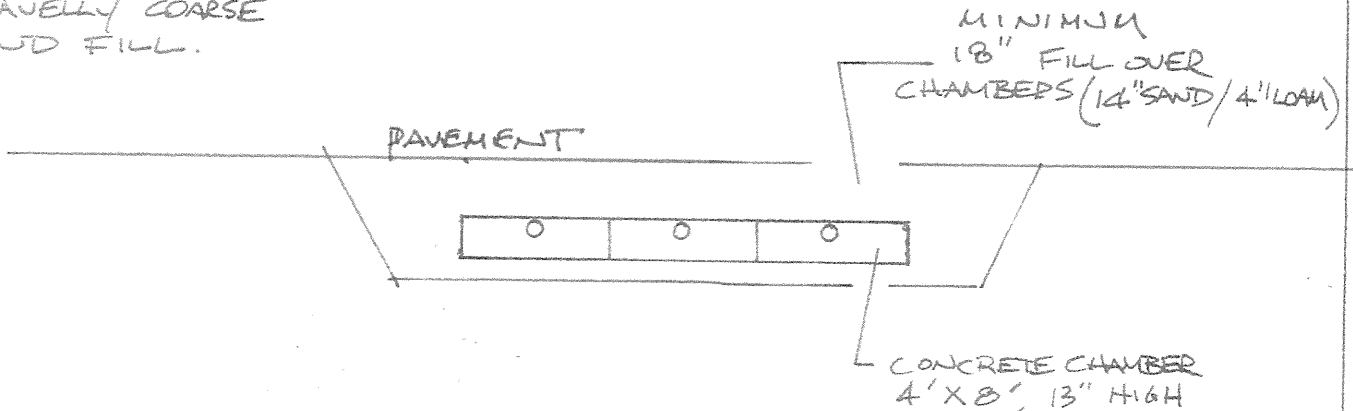
ELEVATION REFERENCE POINT

Location & Description: TO BE SET AT THE TIME OF CONSTRUCTION
Reference Elevation is: 0.0" or

DISPOSAL FIELD CROSS SECTION

SCARIFY ALL GROUND TO BE FILLED. USE GRAVELLY COARSE SAND FILL.

Scales:
Vertical: 1" = 5 ft.
Horizontal: 1" = 5 ft.



Site Evaluator Signature

Handwritten Signature

SE #

262

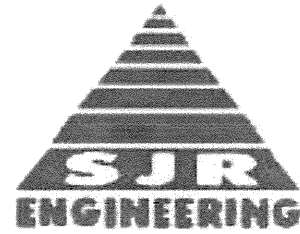
Date

3-9-22

Erosion Control Narrative

April 18, 2022

Laurie Bachelder
PO Box 6914
Portland, Maine 04130



Re: Proposed 4 Building Complex, Route 115, North Yarmouth

Dear Laurie,

527 LLC owns a parcel of land at the intersection of Parsonage Road and Walnut Hill Road in North Yarmouth, Maine. They are proposing to construct 4 new 2-story Townhouse buildings. Each of the 2,909 sf buildings will have 3 units and be served with public water, underground electricity, and building sewer to Fugi septic tanks with appropriately sized septic disposal systems. Each unit will have 3 bedrooms The site will have a driveway entrance into the project from Parsonage Road. Approximately 26,812 sf of impervious area (buildings and pavement) will be created. Stormwater from the parking area will be directed into an existing manmade stormwater pond. The building roofs will be infiltrated into the ground through stone drip edges. Parking will be provided for 29 vehicles (2.5 stalls per unit). It is anticipated that this projects site infrastructure will be started in the Spring of 2022 once all approvals have been obtained.

The site is identified as Tax Map 7 Lot 62 of the Town's Tax Map. The parcel is approximately 2.24 acres in size and lies within the Village Center Zoning District and the Groundwater Protection Overlay Zone.

Existing Site Conditions

The existing site consists of a vacant residential house and barn with associated driveway onto Walnut Hill Road. Existing conditions have been taken from plans prepared by Horizon Engineering and blended with LIDAR contours and aerial photography of offsite areas. The topography of the proposed developed site is shown at a two-foot contour interval. The slope of the property varies from 1% along the flatter areas to 20% along the banks of the steeper slopes of the property.

Adjacent Areas

Adjacent areas and land uses are similar in nature to that being proposed (residential housing). Runoff from the property enters into a 24" diameter culvert (CMP) under Walnut Hill Road.

Soils

Soils delineation was taken from the medium intensity soils maps of the Cumberland County Soil Survey. I have overlaid the proposed developed site onto this map. Onsite soils are identified as being Hinckley loamy sand (hydro group "A", K= 0.17).

The K number is an erodibility index number which is a value assigned to the soil based on a no erosion potential of .10 to a high erosion potential of .64. An index number greater than .32 indicates a high level of erosion control measures must be taken in order to control erosion of this soil. The hydrological group rating is a rating system of the relative permeability of the soil with Group "A" being extremely permeable such as a beach sand, to Group "D" being slow draining such as a wetland area.

Erosion and Sediment Control Practices

This plan has been developed to provide a strategy for dealing with soil erosion during and after the construction of the project. This plan is based on the standards and specifications for erosion prevention as contained in the "2016 Best Management Practices Manual for Designers and Engineers" by the Soil and Water Conservation District and Maine DEP.

The Contractor shall limit construction disturbance to (ie disturbed unstable ground surface) to no more than 10 acres at any one time. An area considered "opened" includes any area not stabilized with pavement, vegetation, mulch, mats, riprap, or gravel base on road/pavement locations. Open areas must have temporary erosion control installed within 14 days of disturbance (and

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Deacon Hayes Commons, North Yarmouth

prior to a $\frac{1}{2}$ " or more rain event). Areas opened within 100' of environmental resources (wetlands, stream) must have temporary erosion controls installed within 7 days. While the erosion control plan is comprehensive, additional measures may be necessary to control erosion from the site.

It shall be the Contractors responsibility to be aware of weather conditions at any time during the construction of the project, and to make appropriate erosion control decisions regarding the current condition of the site for the anticipated rainfall event. The site erosion controls must be able to prevent significant erosion during the expected event.

A pre-construction meeting with the Town, Owner, and Contractor shall be required to specifically discuss how the erosion control plan will be constructed and monitored.

Construction is expected to begin following obtaining permits for approval. It is expected that construction activities will be started in the Spring of 2022. Special attention should be given to the sections pertaining to Fall and Winter seeding, as the project may overlap into the winter construction season.

The principal erosion control devices will be silt fences (or erosion control mulch berms), hay mulch, stabilized construction entrance (eventually pavement), and seed to protect existing trees and drainage paths from the regions undergoing construction. Features such as vegetated ditches and erosion control material will be constructed as permanent erosion controls.

Prior to construction, the Contractor will install the stabilized construction entrance to minimize potential tracking of soils from the project construction onto paved public roads.

Structural Measures

1. Silt fencing/erosion control mix berm shall be installed along the contour and perpendicular to the predominant slope of the land just beyond the downslope limits of

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clearing and grubbing and/or just above any adjacent property line and streams where indicated on the plan to protect against construction related erosion. Installation shall be as shown on the plans or approved equal.

2. Riprap materials shall be placed in all inlets/outlets of pipe culverts. These aprons will prevent scour at stormwater outlets and minimize the potential for downstream erosion by reducing the velocity of concentrated stormwater flows. Average design size stone, D50, shall be as called out in the detail on the plans. Largest size of stone in the riprap is to be 1.5 times the D50 size.
3. Protective mats on steep slopes will aid in controlling erosion on critical areas during the establishment period of vegetation.
4. Naturally vegetated buffers and grass filter strips remove sediment and other pollutants from runoff by infiltration, deposition, absorption and decomposition. Filters are effective only if used to remove sediment from sheet (overland) flow.
5. Stabilized construction entrance is to be placed during construction, where traffic is entering or leaving construction site. This will reduce or eliminate the tracking or flowing of sediment onto public rights of way. An 8" thick layer of 3"-4" crushed stone 50' in length has been designed and shown on the plan. If soil tracking does occur, the Contractor shall vacuum sweep the paved surface of the roadway by the close of business that day.
6. Temporary storm drain inlet protection (crushed stone, silt sack in the catch basin, waddles, etc.) will prevent

Site Erosion Control

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sediment from entering the storm drain system during construction and also stop erosion at its' source. The idea is to provide a filtering device at the entrance to the storm drain system such that sediments become trapped.

7. A stone check dam is a filtering and energy dissipation device that limits the erosion process. These dams are 2"-3" crushed stone, 24" in height and are placed in drainage ditches as a temporary erosion control measure. The dams are to be removed prior to final acceptance of the project and riprap installed in its' place.
8. Soil stockpiles shall be hay mulched within 24 hours of stockpiling. The downslope side of the stockpile shall have a ring of erosion control barrier placed (silt fence, erosion control berm mix, waddles). Stockpiles are not to be located within 100' of environmental resources where possible.
9. Trench dewatering shall be pumped to filter bags prior to discharge from the site. They shall be located in upland areas greater than 100' from environmental resources.
10. Dust control will be addressed through the use of water trucks spraying the ground with water and/or applying calcium chloride to the surface to minimize dust creation.

Vegetative Measures

1. Topsoil on site shall be stockpiled at a stable location on site and covered with anchored mulch for temporary erosion control.

2. If any disturbed area of soil will be left bare for more than two weeks, or if construction is to be completed in phases over an extended duration, temporary seeding and mulching shall commence immediately following initial fine grading of site. **In sensitive areas (within 100' of wetlands) temporary mulch must applied within 7 days or prior to any storm event on all disturbed surfaces.** It shall be maintained and reseeded as necessary to insure good vegetative cover for the entire duration of construction. Seed will be selected from the following table, according to the time of the year.

Temporary Seed Mixture

Seed Type	lbs acre	lbs 1000 sf	Seeding Depth	Recommended Seeding Date
Winter Rye	112	2.6	1"-1.5"	8/15 - 10/1
Oats	80	1.8	1"-1.5"	4/1 - 7/1
or Annual Ryegrass	40	0.9	.25"	and 8/15 - 9/15
Sudangrass	40	0.9	.5"-1"	5/15 - 8/15
Perennial Ryegrass	40	0.9	.25"	8/15 - 9/15
Temporary Mulch with or without dormant seeding				10/1 - 4/1

Mulch will be applied with seeding according to mulch table. If it is not possible to seed 45 days or more prior to frost, than dormant seeding and anchored mulch shall be applied. The application of mulch shall be such that the bare ground is barely visible.

3. Permanent seedings of grass cover shall be applied to all disturbed areas. All surface water control measures and final land grading in the vicinity should be completed. Ground preparation shall include tilling to a minimum 3" depth of fine but friable soil free of clods or stones. Permanent seed shall be selected according to its final destination. (See permanent seed mixture table)

4. All seeding will require mulch. Mulch provides several benefits: conserves moisture, prevents surface compaction, improves water quality, reduces runoff and erosion, controls weeds, and helps establish plant cover. Mulch shall be applied according to the following tables:

	Permanent Seed Mix		Application Rate	
			Parks & Lawns lbs/1000 sf	Roadside Areas ditches, basins lbs/1000 sf
Kentucky Bluegrass		.46		
Creeping Red Fescue		.46		.46
Perennial Ryegrass		.11		
Redtop				.05
Tall Fescue				.46
Total Seed Rate		1.03		0.97

Note: 1. The contractor may wish to final seed from 10/1 to 11/1 with the same soil preparations, seeding mixes (doubling the seed rate) and mulching, but it may result in winter kill. Vegetation must be inspected and reseeded as necessary in the following spring to assure good vegetative cover.

2. No seeding shall be permitted on the snow.
3. Mulch shall be applied after all seed applications (see mulch) and in enough quantity to cover all bare spots such that bare ground is not visible. Any site grading performed in winter conditions shall be covered with mulch on a daily basis. Mulch rate shall be twice the normal rate.
4. Permanent seedings should be made 45 days or more prior to the first killing frost (Seed by September 15th) or as a temporary and dormant seeding after the first killing frost.

Maintenance

During the period of construction and/or until long term vegetation is established:

1. Seeded areas will be fertilized and reseeded as necessary to insure 90% vegetative establishment.
2. At a minimum, the hay bale/silt fence barriers shall be inspected and repaired once a week and immediately following all significant rainfall or snow melt. Sediment trapped behind these barriers shall be excavated when it reaches a depth of 6 six inches and regraded onto the site.
3. Diversion ditches and swales will be checked weekly and repaired when necessary until adequate vegetation is established.
4. The Owner and contractor shall be responsible for the construction and maintenance of all proposed temporary and

permanent erosion control measures including vegetation. The contractor must install or construct all required improvements shown on the plans. The contractor must incorporate all other site improvements, restrictions, construction limits, drainage improvements, natural vegetated buffers, proposed landscaping, etc. The contractor must obtain a complete set of plans, reports, permit approvals, and documents pertaining to the project before beginning construction.

5. The contractor shall remove all temporary erosion control devices from the site after construction is complete and the site is permanently stabilized.

WINTER CONSTRUCTION (as applicable)

The winter construction period is from November 1 through April 15. If the construction site is not stabilized with pavement, a road gravel base, 75 % mature vegetation cover or riprap by November 15, then the site needs to be protected with over-winter stabilization. An area considered open is any area not stabilized with pavement; vegetation, mulching, erosion control mats, riprap or gravel base on a road. Winter excavation and earthwork shall be completed such that no more than 1 acres of the site is without stabilization at any one time. Limit the exposed area to those areas in which work is expected to be undertaken during the proceeding 15 days and that can be mulched in one day prior to any snow event.

All areas shall be considered to be denuded until the subbase gravel is installed in roadway areas or the areas of future loam and seed have been loamed, seeded and mulched. Hay and straw mulch rate shall be a minimum of 150 lbs./1,000 s.f. (3 tons/acre) and shall be properly anchored.

The contractor must install any added measures which may be necessary to control erosion/sedimentation from the site dependent upon the actual site and weather conditions.

Continuation of earthwork operations on additional areas shall not begin until the exposed soil surface on the area being worked has been stabilized, in order to minimize areas without erosion control protection.

SOIL STOCKPILES

Stockpiles of soil or subsoil will be mulched for over winter protection with hay or straw at twice the normal rate or at 150 lbs/1,000 s.f. (3 tons per acre) or with a four-inch (4") layer of erosion control mix. This will be done within 24 hours of stocking and re-established prior to any rainfall or snowfall. Any soil stockpile will not be placed (even covered with hay or straw) within 100 feet from any natural resources.

NATURAL RESOURCES PROTECTION

Any areas within 100 feet from any natural resources, if not stabilized with a minimum of 75 % mature vegetation catch, shall be mulched by December 1 and anchored with plastic netting or protected with erosion control mats. During winter construction, a double line of sediment barriers (i.e. silt fence backed with hay bales or erosion control mix) will be placed between any natural resource and the disturbed area.

Projects crossing a natural resource shall be protected a minimum distance of 100 feet on either side from the resource. Existing projects not stabilized by December 1 shall be protected with the second line of sediment barrier to ensure functionality during the spring thaw and rains.

SEDIMENT BARRIERS

During frozen conditions, sediment barriers shall consist of erosion control filter berms as frozen soil prevents the proper installation of hay bales and sediment silt fences.

MULCHING

All area shall be considered to be denuded until areas of future loam and seed have been loamed, seeded and mulched. Hay and straw mulch shall be applied at a rate of 150 lb. per 1,000 square feet or 3 tons/acre (twice the

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normal accepted rate of 75-lbs./1,000 s.f. or 1.5 tons/acre) and shall be properly anchored.

Mulch shall not be spread on top of snow. The snow will be removed down to a one-inch depth or less prior to application.

After each day of final grading, the area will be properly stabilized with anchored hay or straw or erosion control matting.

An area shall be considered to have been stabilized when exposed surfaces have been either mulched with straw or hay at a rate of 150 lb. per 1,000 square feet (3 tons/acre) and adequately anchored so that the ground surface is not visible through the mulch.

Between the dates of November 1 and April 15, all mulch shall be anchored by either peg line, mulch netting, asphalt emulsion chemical, tracking into the surface or wood cellulose fiber. The mulch cover is sufficient when the ground surface is not visible. After November 1, mulch and anchoring of all bare soil shall occur at the end of each final grading workday.

MULCHING ON SLOPES AND DITCHES

Slopes shall not be left exposed for any extended time of work suspension unless fully mulched and anchored with peg and netting or with erosion control blankets. Mulching shall be applied at a rate of 230 lbs/1,000 sf on all slopes greater than 8%.

Mulch netting shall be used to anchor mulch in all drainage ways with a slope greater than 3 % for slopes exposed to direct winds and for all other slopes greater than 8%.

Erosion control blankets shall be used in lieu of mulch in all drainage ways with slopes 8% or greater. Erosion control mix can be used to substitute erosion control blankets on all slopes except ditches.

SEEDING

Between the dates of October 15 and April 1, loam or seed will not be required. During periods of above freezing temperatures, finished areas shall be fine graded and either protected with mulch or temporarily seeded and mulched until such time as the final treatment can be applied. If the date is after November 1 and the exposed area has been loamed and final graded with a uniform surface, then the area may be dormant seeded at a rate of 3 times higher than specified for permanent seed and then mulched.

Dormant seeding may be selected to be placed prior to the placement of mulch and fabric netting anchored with staples. If dormant seeding is used for the site, all disturbed areas shall receive 4" of loam and seed at an application rate of 5lbs/1000 s.f. All areas seeded during the winter will be inspected in the spring for adequate catch. All areas insufficiently vegetated (less than 75 % catch) shall be revegetated by removing the mulch and reseeding and remulching.

If dormant seeding is not used for the site, all disturbed areas shall be revegetated in the spring.

TRENCH DEWATERING AND TEMPORARY STREAM DIVERSION

Water from construction trench dewatering or temporary stream diversion will pass first through a filter bag or secondary containment structure (e.g. hay bale lined pool) prior to discharge. The discharge site shall be selected to avoid flooding, icing, and sediment discharges to a protected resource. In no case shall the filter bag or containment structure be located within 100 feet of a protected natural resource.

INSPECTION AND MONITORING

Maintenance measures shall be applied as needed during the entire construction season. After each rainfall, snow storm or period of thawing and runoff, the site contractor shall perform a visual inspection of all installed erosion control measures and perform repairs as needed to insure their continuous function. Following the temporary and/or final seeding and

mulching, the contractor shall inspect and repair any damages and unvegetated spots. Established vegetative cover means a minimum of 85 to 90 % of areas vegetated with vigorous growth.

STANDARDS FOR TIMELY STABILIZATION OF CONSTRUCTION SITES DURING WINTER

1. Standard for the timely stabilization of ditches and channels: The contractor will construct and stabilize all stone-lined ditches and channels on the site by November 15. The contractor will construct and stabilize all grass-lined ditches and channels on the site by September 15. If the contractor fails to stabilize a ditch or channel to be grass-lined by September 15, then the contractor will take one of the following actions to stabilize the ditch for late fall and winter.

Install a sod lining in the ditch: The contractor will line the ditch with properly installed sod by October 1. Proper installation includes the contractor pinning the sod onto the soil with wire pins, rolling the sod to guarantee contact between the sod and underlying soil, and watering the sod to promote root growth into the disturbed soil.

Install a stone lining in the ditch: The contractor will line the ditch with stone riprap by November 15. The contractor will hire a registered professional engineer to determine the stone size and lining thickness needed to withstand the anticipated flow velocities and flow depths within the ditch. If necessary, the contractor will regrade the ditch prior to placing the stone lining so to prevent the stone lining, from reducing the ditch's cross-sectional area.

2. Standard for the timely stabilization of disturbed slopes: The contractor will construct and stabilize stone-covered slopes by November 15. The contractor will seed and mulch all slopes to be vegetated by September 15. The department will consider any area having a grade greater than 15% to be a slope. If the contractor fails to stabilize any

slope to be vegetated by September 15, then the contractor will take one of the following actions to stabilize the slope for late fall and winter.

Stabilize the soil with temporary vegetation and erosion control mats: By October 1, the contractor will seed the disturbed slope with winter rye at a seeding rate of 3 pounds per 1000 square feet and apply erosion control mats (or mulch with jute netting) over the mulched slope. The contractor will monitor growth of the rye over the next 30 days. If the rye fails to grow at least three inches or cover at least 75% of the disturbed slope by November 1, then the contractor will cover the slope with an additional layer of winter mulch application, stone riprap, or erosion control mix as described below.

Stabilize the slope with sod: The contractor will stabilize the disturbed slope with properly installed sod by October 1. Proper installation includes the contractor pinning the sod onto the slope with wire pins, rolling the sod to guarantee contact between the sod and underlying soil, and watering the sod to promote root growth into the disturbed soil. The contractor will not use late-season sod installation to stabilize slopes having a grade greater than 33%.

Stabilize the slope with erosion control mix: The contractor will place a six-inch layer of erosion control mix on the slope by November 15. Prior to placing the erosion control mix, the contractor will remove any snow accumulation on the disturbed slope. The contractor will not use erosion control mix to stabilize slopes having grades greater than 50% or having groundwater seeps on the slope face.

Stabilize the slope with stone riprap: The contractor will place a layer of stone riprap on the slope by November 15. The contractor will hire a registered professional engineer to determine the stone size needed for stability and to design a filter layer for underneath the riprap.

3. Standard for the timely stabilization of disturbed soils: By September 15 the contractor will seed and mulch all disturbed soils on areas having a slope less than 15%. If the contractor fails to stabilize these soils by this date, then the contractor will take one of the following actions to stabilize the soil for late fall and winter.

Stabilize the soil with temporary vegetation: By October 1, the contractor will seed the disturbed soil with winter rye at a seeding rate of 3 pounds per 1000 square feet, lightly mulch the seeded soil with hay or straw at 75 pounds per 1000 square feet, and anchor the mulch with plastic or jute netting. The contractor will monitor growth of the rye over the next 30 days. If the rye fails grow at least three inches or cover at least 75% of the disturbed soil before November 15, then the contractor will mulch the area for over-winter protection as described in one of the items below of this standard.

Stabilize the soil with sod: The contractor will stabilize the disturbed soil with properly installed sod by October 1. Proper installation includes the contractor pinning the sod onto the soil with wire pins, rolling the sod to guarantee contact between the sod and underlying soil, and watering the sod to promote root growth into the disturbed soil.

Stabilize the soil with mulch: By November 15, the contractor will mulch the disturbed soil by spreading hay or straw at a rate of at least 150 pounds per 1000 square feet on the area so that no soil is visible through the mulch. Prior to applying the mulch, the contractor will remove any snow accumulation on the disturbed area. Immediately after applying the mulch, the contractor will anchor the mulch with plastic or jute netting to prevent wind from moving the mulch off the disturbed soil.

Please feel free to contact me if you have any questions concerning the use of these measures. We feel that these measures if properly constructed and maintained will be sufficient to control erosion on your project without any

Site Erosion Control
Deacon Hayes Commons, North Yarmouth

adverse impact to the area. Thank you for involving this firm on your project.

Sincerely yours,

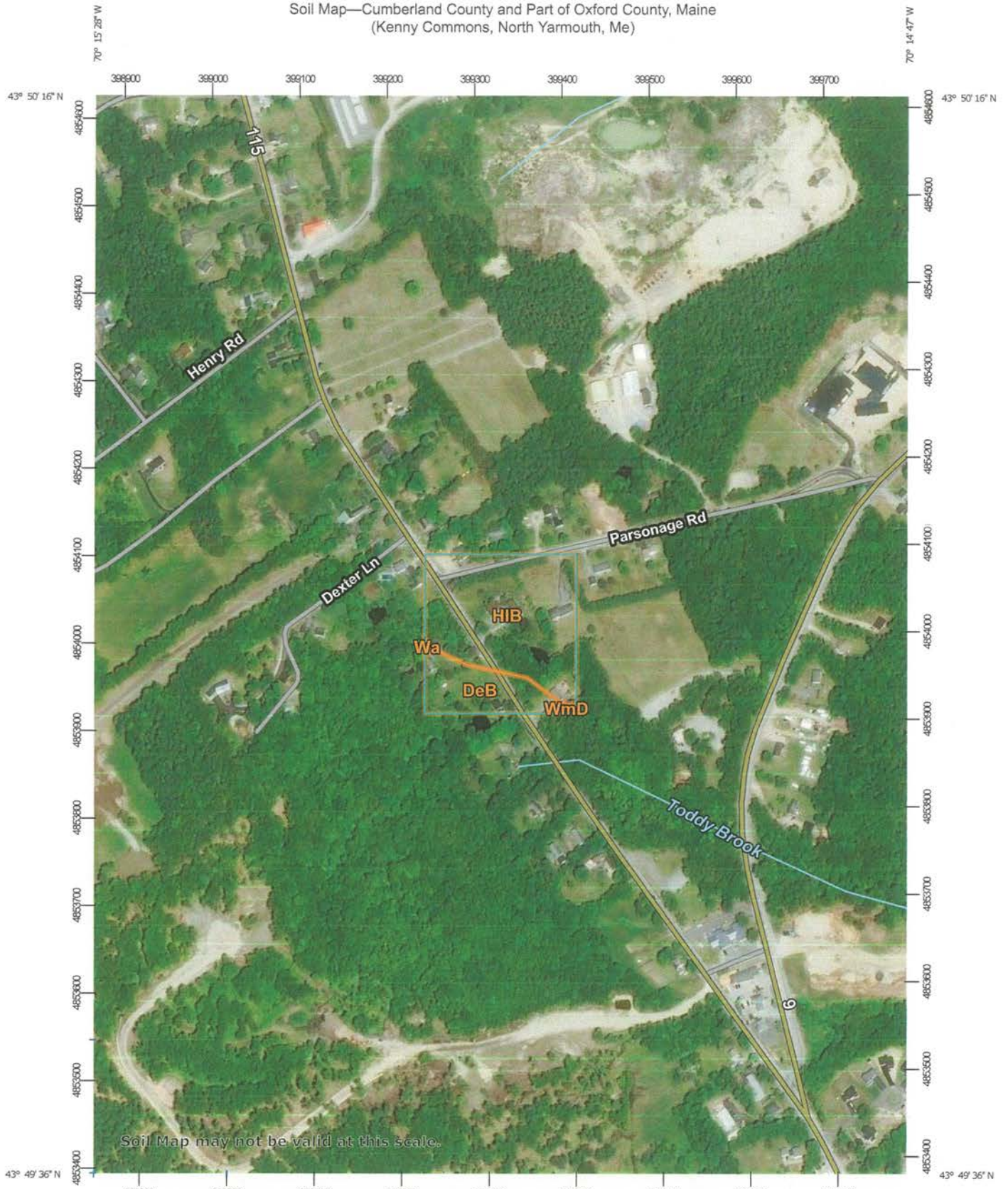


Stephen Roberge, PE
for SJR Engineering Inc.



Medium Intensity Soil Survey

Soil Map—Cumberland County and Part of Oxford County, Maine
(Kenny Commons, North Yarmouth, Me)



Map Scale: 1:6,000 if printed on A portrait (8.5" x 11") sheet.
 0 50 100 200 300 Meters
 0 250 500 1000 1500 Feet
 Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 19N WGS84

MAP LEGEND

-  Area of Interest (AOI)
-  Area of Interest (AOI)
- Soils**
-  Soil Map Unit Polygons
-  Soil Map Unit Lines
-  Soil Map Unit Points
- Special Point Features**
-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Cumberland County and Part of Oxford County, Maine

Survey Area Data: Version 18, Aug 31, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jun 7, 2019—Jul 2, 2019

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
DeB	Deerfield loamy fine sand, 3 to 8 percent slopes	1.9	23.6%
HIB	Hinckley loamy sand, 3 to 8 percent slopes	5.9	75.3%
Wa	Walpole fine sandy loam	0.0	0.3%
WmD	Windsor loamy sand, 15 to 35 percent slopes	0.1	0.8%
Totals for Area of Interest		7.8	100.0%

Homeowner Document

Deacon Hayes Commons
Homeowners Association, Inc.

Townhouse Lots

Rules,
Regulations,
and Architectural Guidelines

As Adopted
by the Board of Directors
on XXXX

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INTRODUCTION

To ensure that our community will always be an attractive and desirable place to live, architectural standards must be maintained. These standards are generally outlined in the Declaration of Covenants, Conditions, and Restrictions (“DCCR”), a copy of which should have been provided to each Homeowner upon the purchase of their property in the Association. The DCCR, Bylaws, Articles of Incorporation, and the Rules, Regulations and Architectural Guidelines (“Guidelines”) are collectively referred to herein as “Governing Documents”. These Guidelines should be used as a *supplement* to the DCCR, Bylaws, and Articles of Incorporation. It is recommended that every homeowner read the Governing Documents for a full understanding of the rules, processes, and restrictions that apply to our community.

Architectural standards benefit all residents and all residents share the responsibility to comply with, support, and contribute to them. These Rules and Guidelines are not intended to unnecessarily constrain or restrict Homeowners. Instead, the purpose of the Rules and Guidelines is to protect each Homeowner’s investment and ensure that we can all take pride in our community.

The goal of these Guidelines is to provide specific, yet easy to understand guidance concerning architectural changes and other rules that may only be generally expressed in the DCCR, Bylaws, and Articles of Incorporation. As with the other Association documents, this document is intended to be a part of each Homeowner’s permanent records.

We look forward to working with residents to keep Kenney Commons an attractive community.

Sincerely,

Members of the Board of Directors
Deacon Hayes Commons

ARCHITECTURAL CHANGE REQUEST REVIEW PROCESS

Application. Prior to beginning an exterior change or construction, including, but not limited to, changes in colors, Homeowners, if so required by the Governing Documents, shall submit an Application for the addition, alteration, or improvement to the Board of Directors (the “BOD”) for approval. The Board of Directors may solicit input from the Covenants Committee (the “CC”) prior to final approval. Homeowners must use the provided Architectural Change Request form (copy attached as Exhibit A) in submitting the Application. The Application must be complete for review and consideration by the Board of Directors. Incomplete Applications will be returned to the Homeowner for the required information. The BOD has sixty (60) days to review a complete Application. If an Application is returned to the Homeowner for any reason, the sixty (60) day review period will begin upon the BOD’s receipt of the revised Application. Oral requests will not be considered and may not be relied upon by any Homeowner. **If an item is not covered in the Governing Documents, the Homeowner must submit an Application prior to commencement of work.**

Neighbor Notification. The application requires the signature of adjoining neighbors and/or those who have a view of the Applicant’s property as awareness of the proposed architectural change. Neighbors and other community members are encouraged to provide their candid opinions concerning any proposed architectural changes in writing to the BOD through the HOA’s management company. To ensure that any opinion concerning a proposed architectural change is considered by the BOD during the Application review, neighbors should provide their opinions as soon as they are notified of the proposed change. Neighbor agreement to a proposed architectural change does not guarantee approval of the request. Additionally, neighbor disagreement with a proposed architectural change request does not preclude approval of the request. The BOD views neighbor and other Homeowner’s input as one of many factors for consideration in reviewing architectural change requests.

Voting. The BOD meets within sixty days as noted above to review and vote upon architectural change requests submitted by the Homeowners. A request is approved or denied by majority vote of those present. Decisions of the BOD generally are based upon the DCCR and these Guidelines. For unusual circumstances, or for other good cause, exceptions to the Guidelines may be made without creating a precedent.

Homeowner Notification. The HOA’s management company will notify the Homeowner in writing as to the decision of their request. This written reply will consist of a copy of the Application bearing approval or disapproval, an explanation of any restrictions or contingencies, or an explanation as to why the request was denied.

Approved Architectural Change Requirements. If a request is approved, the Homeowner may immediately begin to implement the change. The change must begin within 6 months and be completed within 12 months of the approval date. If the project is not begun or completed as specified, the approval is considered lapsed and the Homeowner must reapply for the change.

Approval of any change is not to be construed as approval of the structural integrity of the alteration or addition, nor does it relieve the Homeowner from acquiring the necessary permits and approvals from County or State agencies.

No alterations or additions shall be made which change the drainage patterns or cause runoff onto common areas, adjacent lots, or streets. Homeowners are responsible for any drainage or runoff damage caused by an architectural change.

Reconsideration/Appeal. With **new relevant information** the Homeowner may appeal the decision in writing, via the HOA's management company, within 15 days of the date on the notification letter of the decision. Any appeal to the BOD must provide information to the BOD as to how the Application for an architectural change was not reviewed in accordance with the DCCR and these Guidelines. A hearing shall be scheduled if specifically requested by the Homeowner or Board. Pending the appeal or hearing, the Board will communicate its decision in writing after deliberation at the next scheduled meeting. Neighbors and other community members who have a registered complaint concerning an Application may be notified of the request for reconsideration and/or invited to the appeal hearing.

Unapproved Changes. Homeowners will receive written notification of a violation if the Homeowner has implemented an architectural change prior to obtaining permission from the BOD, or has otherwise violated the Governing Documents. This notification will state the violation, and, if applicable, provide a date by which the Homeowner must either: (1) bring their property back into compliance (i.e., original condition); or (2) apply for the change. If, after review of the Application the BOD denies the change, the Homeowner must bring the property into compliance in accordance with the Governing Documents, unless the Homeowner: (1) appeals the decision to the BOD, or (2) requests a hearing to reconsider its decision on the Application as set forth above. Under this circumstance, a Homeowner can request reconsideration only once per application. Homeowners who have corrected a violation and brought their property into compliance must provide written notification of the correction to the BOD.

Grandfather Waiver Clause. There may be some alterations in existence that do not comply with these Guidelines, but which were previously applied for and approved or with respect to which enforcement action is inappropriate in the opinion of the BOD. In these cases, the BOD reserves the right to grant a temporary Grandfather Waiver for the alteration. This waiver shall generally last no longer than the current life of the alteration, and shall not extend to replacement of the alteration. This Grandfather Waiver does not include exterior alterations not approved through the requisite Application process. In addition, any architectural change applied for and approved prior to the publication of this document that does not meet requirements of these Guidelines must be maintained as approved.

ENFORCEMENT

It is the sincere hope and expectation of the HOA that members of the community abide willingly to these Guidelines as a demonstration of mutual respect for their neighbors and the community as a whole. However, in the event that a Homeowner does not abide by these Guidelines, the HOA is empowered by the Governing Documents to utilize numerous methods, including, but not limited to, legal action, to enforce these Guidelines. If a Homeowner is found in violation of these Guidelines, the following process will be followed:

1. The Homeowner will be sent a letter from the HOA's management company describing the violation and requesting that the Homeowner bring their property into compliance or, if applicable, submit an Application for the change to the BOD, within 30 days of the letter.
2. If, after 30 days, the Homeowner has not brought their property into compliance, submitted an Application, or provided a reasonable explanation for the delay in bringing their property into compliance, the HOA's management company shall provide the Homeowner with a second letter (sample attached as Exhibit B), sent certified mail, with the following information:
 - a. Identification of the violation;
 - b. Enforcement options open to the BOD;
 - c. Opportunity for a hearing if requested within five (5) days of sending of the second letter. If a hearing has been requested, a hearing date shall be scheduled and notice sent to Owner and any other parties; and
 - d. Opportunity to acknowledge violation within five (5) days of sending of the second letter and correct the violation, submit an Application to the BOD, or in lieu of requesting a hearing.
3. If a hearing is timely requested, it shall be held by the BOD at which hearing the owner may present any and all defenses and has the right to be represented by counsel.
4. Subsequent to the hearing or if no hearing is timely requested and the Homeowner's property is not brought into compliance by the specified date, the BOD shall review the violation and determine the enforcement options. Enforcement options open to the BOD include, but are not limited to:
 - a. Fines and/or liens on property;
 - b. Removing or correcting the violation, of which the Homeowner shall be responsible for all costs;
 - c. Arbitration and legal enforcement; and
 - d. Suspension of common area privileges.

The HOA reserves the right to inspect Homeowner property for compliance with the Governing Documents. The HOA has the right, upon resolution of the BOD, to enter upon the Homeowner's property and take steps to remove or abate the violation. Any costs incurred by the HOA for bringing a property into compliance may be assessed against the owner of the property, and a statement of the amount shall be rendered to the Homeowner. The assessment is due upon receipt. This assessment may become a lien on the lot until removed by payment. Alternately or simultaneously, the BOD may turn the matter over to legal counsel for resolution. If the court or arbiter rules in favor of the HOA, the Homeowner is obligated to pay the HOA for all legal and any additional enforcement-related costs.

ARCHITECTURAL GUIDELINES

Below are the Guidelines for the community. It is impossible to draft Guidelines which will cover all possible exterior changes. The BOD will review, on a case-by-case basis, requests that are not covered by the Guidelines. Emphasis will be placed on proper scale, materials, and impact on neighboring properties. The BOD may exempt a Homeowner from these Guidelines for unusual circumstances without creating precedent for the community at-large. For instance, given their unique location to other homes, change requests for corner lots may be reviewed on a slightly different basis than non-corner lots.

Please keep in mind that these Guidelines are a supplement to the DCCR, and are intended to add clarification to the DCCR. If a restriction speaks for itself as written in the DCCR, it might not be reiterated here.

Homeowners are responsible for obtaining all required governmental permits prior to implementing a change.

Air Conditioners/Heat Pumps

- Window air-conditioning units are strictly prohibited.
- An approved application is required for any heat pump that is added to the home after original construction.
- The size of any proposed heat pump should be appropriate for the setting.
- Heat pumps that have an approved architectural application do not require a new application for replacement as long as they are the same size, appearance, and are placed in the same location.
- There is no requirement for an approved architectural application for replacing central air conditioning units as long as they are the same size, appearance, and are placed in the same location.

Aerials, Exterior Antennae and Satellite Dishes

- An approved Application is required for the installation of all television aerial (but not radio antenna) and other devices intended to receive telecommunications signals such as direct broadcast satellite (DBS), television broadcast, and multipoint distribution service (MDS) (collectively referred to as "Antennae").
- Every effort should be made to locate the Antenna so that it is not seen from the street, and, if on the ground, installed as close to the home as possible without precluding reception of an acceptable quality signal. Landscape screening may be required as long as there is no interference with an acceptable signal.
- Antennae shall be of a standard manufacturer color, such as gray, brown, or off-white.
- Antennae situated entirely within a dwelling unit, and not visible from the exterior, are permitted without application.

Attic Ventilators

- An approved application is required for all attic ventilators not installed during original construction.
- Attic ventilators will be installed on the roof on the rear side of the house (that side facing away from the road).

- Attic ventilators will be painted flat black or a flat finish that matches the color of the roof.
- Attic ventilators will not extend more than twelve (12) inches above the roof surface and not extend above the highest point of the roof.

Awnings, Sun Trellises, Superstructures

- An approved Application, with a complete description and picture of the item, must be submitted and completed for awnings, sun trellises, and superstructures. Only awnings that are retractable will be considered.
- Fabric is the preferred material for awnings. Metal, plastic, vinyl, or other materials will generally not be approved.
- Only rear yard installations will be considered for awnings, sun trellises and superstructures.

Boats/Trailers/Trucks/RVs/Vehicle Repairs

- Boats, buses, trailers, commercial vehicles (including vans used for commercial use and vehicles displaying commercial signage), trucks (as defined by the Maine Department of Motor Vehicles and/or by common usage, except for light pick-up trucks of three quarter ton capacity or less used for non-commercial purposes), junk vehicles, unlicensed, unregistered or inoperable motor vehicles (which shall include, without limitation, any vehicle which would not pass applicable state inspection criteria), campers, RV's, machinery or equipment of any kind of character (except for such equipment and machinery as may be reasonable, customary or usual in connection with the use and maintenance of any dwelling), or any similar items may not be stored on the common areas, parking lots, driveways, or any portion of any lot for any time, other than in garages.
- Guests using campers or RV's may park such vehicle in a Homeowner's driveway for not more than two weeks within a 12-month period.
- Major vehicle renovation or repair on any property within the community is prohibited.

Compost Bins

- Compost bins are prohibited because of the close proximity of homes to each other.

Decks

- An approved Application is required for decks.
- Decks and deck stairs must be in the rear of the house, and may not protrude past the sides of the home (i.e., the imaginary planes, which run parallel to the sides of the home and extend to the lot border but do not include bay windows, chimneys, or other projections). A waiver of this requirement may be granted if extenuating circumstances are deemed by the BOD to exist, such as a berm area, swale, woodlands, steep topography, etc.
- A ground level deck that is less than twelve inches (12") in elevation does not require handrails. All other decks require handrails. Only vertical pickets will be approved for handrails. A maximum of four (4) sunbursts or starbursts will be allowed.
- Materials allowed are pressure treated wood, vinyl, and Trex or similar synthetic material. If Trex or a similar synthetic material is used, a sample of the color must be provided.
- Decks may be stained and/or sealed in colors that are compatible with the existing trim of the dwelling unit. Deck flooring may be a different color from the railings/pickets. A sample of the stain color should be included with the Application.

- A solid trim board must cover any open side of the deck to conceal the joints and cut ends of the deck.
- Any lattice, enclosed screening, sun shields, privacy screening, benches, flower boxes, or other decorative items on or a part of the deck must be outlined in the Application and will be reviewed on a case by case basis and must be fabricated of like material.

Dog Houses and Dog Runs

- Dog houses and dog runs are prohibited. Such items are prohibited by the Declaration.

Driveways and Driveway Aprons

- An approved Application is required for driveway extension, widening or rerouting.
- Driveways and driveway aprons may not be changed in size or location and must be uniform and consistent and of concrete or asphalt.
- Changes in grade are prohibited as they may adversely affect drainage patterns.
- Resurfacing an existing driveway with no changes does not require an architectural change application.
- Any exception to the above requires approval through an Architectural Change Request.

Flagpoles

- American flags will be displayed in accordance with the provisions of the Federal Flag Code. When a patriotic effect is desired, the flag may be displayed twenty-four hours a day if properly illuminated during hours of darkness. This means that there is either a light directly upon the flag or that there is sufficient local lighting to make the flag easily visible at night. (USC 36, CHAP 10, Sect 173)
- One permanent, free standing flagpole is authorized on either front or rear lots and should be located as to minimize its impact on neighboring properties. Free standing poles can be no less than fifteen (15) feet or more than twenty (20) feet The usual size of flag for home use and these flag poles is three feet (3') x five feet (5'). An architectural change application is required.
- One temporary flag pole staff, which does not exceed six (6) feet in length can be attached at an incline to the front wall or pillar of the house, does not require an architectural change application.

Fences

- An approved Application is required for fences.
- Fences must match that which has been installed by the builder (six (6) feet in height and alternating board construction).
- Fences must be erected with the finished side (“beauty side”) facing out.
- Fences shall be stained or water-proofed, if such staining or water-proofing is specifically not prohibited by the fence’s warranty. A sample stain color should be included in the Application for the fence.
- Fencing shall be constructed on the property lines and enclose the entire rear yard. A waiver of this requirement may be granted if the BOD believes that extenuating circumstances exist such as a prohibitive easement, berm area, swale, woodlands, etc., and will be reviewed on a case-by-case basis.

- Fencing must not interfere with the flow of drainage in swales or within surface drainage easements. A homeowner who installs a fence within an easement area does so at their own risk and the HOA assumes no responsibility.
- Invisible pet fences are prohibited.
- Fence applications shall include:
 - A site plan, plat, or other scale drawing of the property. The drawing should show the exact dimensions of the property and all improvements, easements, existing neighboring fences, and the proposed fence.
 - A drawing or photograph of the fence design, including dimensions, materials, and color.

Firewood

- Firewood may be stored outside if stacked neatly on a platform behind the house. Firewood may not be stacked in the front of the house, side of the house, or on Common Areas.

Garages

- Garages are prohibited.

Garden Hoses

Garden hoses in the front of the residence will be coiled neatly and contained within a box or on a hanger.

Gardens hoses will not be left out uncoiled in the yard, or must be obscured from street view.

Generators

- An approved county permit must accompany the architectural application and a copy of the final county inspection must be submitted post-installation.
Generators will be installed in accordance with county code and manufacturer specifications. Generators not installed in the rear of the home may require either landscaping, fencing or screening to screen them from view.

Grills and Fireplaces

- Permanent grills or fireplaces are prohibited.
- Temporary (moveable) grills must be stored behind the house or in the dwelling when not in use, and be of sufficient safety standoff distance from the house when in use.

Hot Tubs/Spas

- Hot Tubs/Spas are prohibited.

Irrigation Systems

- Irrigation Systems are prohibited except if installed by the original developer during initial construction in common green spaces.

Landscaping and Lawns

- An approved Application is required for hardscaping, brickwork, stone work, structures, etc.
- An Application is not required for planting shrubs, trees, lawn, flowers (including freestanding flowerpots). The planting of hedges or rows of plants used as a blockade or screen requires an approved Application and should consider full growth and size when planting, prior to placement within the homeowner property.
- No tree, hedge, or landscape feature can be placed in a location where it will obstruct sight-lines for traffic on community streets, neither at the time of planting nor as the plants grow.
- No planting or structure may interfere with any easement or the flow of any drainage channel.
- Metal lawn edging may be used in yards and shall be as unobtrusive as possible so as to not disrupt the surrounding aesthetics.
- Retaining walls require an architectural change application. Retaining walls will not interfere with drainage patterns. Generally, retaining walls will be no higher than three (3) feet.

Lawn Furniture

- All lawn furniture not maintained on a deck or patio must be maintained within the rear yard or that portion of the lot that is screened from public view.
- Lawn furniture is not allowed to remain overnight within any front or side yard of any lot or in the common areas.
- Concrete, metal, wood or wrought iron benches not on a patio, porch or deck are considered lawn ornaments, and must meet the Guidelines listed under “Lawn Ornaments”.
- Bench size shall be limited to one (1) bench seating up to three (3) people.

Lawn Ornaments

- An approved Application is required for any lawn ornament, statuary, or bench. The Application must include a complete description of size, location on lot, materials, color and design. A drawing or picture should be included.
- Plastic ornaments are not allowed.
- Front and side yard ornaments are:
 - Restricted to a total of two ornaments per lot;
 - Of a color that is consistent with the house trim or of a neutral/natural color;
 - Lawn ornaments and statuary shall be no larger than one foot in height.
 - Placed in flower or shrub beds directly next to the house.
- Holiday ornaments are allowed during holiday seasons. They may be installed one month prior to the holiday and must be removed one month after the holiday. Holiday lighting must follow the Guidelines stated under “Lighting.”
- Ornaments placed in the rear of the house are:
 - Restricted to a total of six (6) ornaments per lot;
 - May not exceed two (2) feet in height; and
 - Of a color consistent with the house trim or of a neutral/natural color.
- Single family birdhouses and small feeders (bird and squirrel) in the rear yard are not restricted. However, large birdhouses, bird hotels, and large decorative feeders are considered lawn ornaments and require an Application.

Lighting, Exterior

- An approved Application is required if a change in style, shape, color, or positioning of existing lighting or if additional light fixtures or walkway lighting are to be installed.
- All fixtures are to be of similar color and style.
- Exterior lighting and light fixtures will be hard wired so there is no visible wiring or conduit.
- Lampposts (including globes) must have a single fixture and be no larger than seven (7) feet in height.
- An approved Application is not required if replacing an existing light fixture with one similar in size, shape, and color to an original or previously approved fixture.
- All exterior lighting will be installed so as not to shine on adjacent property or public space. The BOD may require relocation or other mitigation if such lighting is deemed to be a nuisance by the BOD.
- Permanent walkway lighting must be an inconspicuous size and design. It should not be easily noticed from the curb during daylight. Only low-level lighting will be considered. This restriction does not apply to approved security or floodlights.
- Temporary decorative holiday and festive lighting does not require approval. However lighting shall be installed no earlier than one month prior to use and must be removed within one month after the holiday or function.
- Permanent party lights, fluorescent lights used outdoors, and large bug lights are prohibited.

Mailboxes

- Mailboxes constructed or installed shall be substantially similar in design, dimension and material to the mailboxes installed by the Builder.

Painting and Staining

- The color of the exterior of all structures or dwellings, including, without limitation, doors, siding, gutters, downspouts, brick and trim, shall not be changed or altered.
- Repainting or staining doors, shutters, decks, or fences in a color different from the existing color requires an approved Application.
- Applications for painting or staining must include a sample of the color.

Patios

- An approved Application is required for construction of a patio.
- Patios shall be no higher than six (6) inches above the ground.
- Materials allowed are reinforced concrete, flagstone or brick. If brick or flagstone is used, a sturdy barrier must surround the perimeter of the patio unless the brick is at ground level.
- The patio must not extend past the side of the house.
- Patios must not affect the drainage on any property.
- Wooden patio structures are considered decks and must follow Guidelines for deck construction as set forth herein.

Play Equipment, Basketball Backboards, Play Structures, Etc.

- Portable and/or permanent basketball backboards and trampolines are prohibited.
- Play equipment such as bikes, wagons, skateboards, etc. are not allowed to remain overnight within any driveway, front yard, or side yard.
- An approved Application is required for permanent play structures such as play sets, swing sets, play houses, and jungle gyms. Structure should be no higher than twelve (12) feet.

Roofing

- Changes in roofing material (from asphalt shingles to cedar shakes) and color require an approved application.
- When replacing roofing, every effort should be made to replace the roof with matching material.

Security Doors and Windows

- An approved Application is required for security doors and windows.
- Security doors will only be allowed on rear doors not visible from the street.
- Security windows will only be allowed on the interior and screened by curtains or blinds so that they are not visible from the outside of the house.

Screened Porch

- An approved Application is required for screened porches.
- Screened porches and steps must be confined to the rear yard (i.e., the space behind the home between the two planes created by the sides of the house) and may not protrude from the side of the home.
- Wooden portions of screened porches must be stained or sealed, unless such staining or sealing is specifically prohibited by the manufacturer. If other than a clear stain or seal is used, a sample of the color should be included with the Application.
- Roof shingles must match those on the house.
- Siding must match the house.

- Any lattice, sun shields, privacy screens, benches, and other decorative items must be outlined in the Application and will be reviewed on a case by case basis.
- Screening must be of a non-rusting type.

Sheds

- No sheds will be permitted.

Skylights An approved Application is required for skylights unless installed by the builder at the time of house construction.

- Skylights will only be installed on the rear roof of the house (that portion of the house facing away from the street). No skylights will be approved that face the street.
- The frame color of the skylight will be compatible with the roof color.
- A picture of the proposed skylight, dimensions, color and a plan showing where it is to be installed must be submitted with the Application.

Storm Doors

- An approved Application is required for storm doors.
- Storm doors must be rustproof metal or wood with clear glass panels (or fiberglass screening in the summer). They must be attached flush to the original doorjamb. Raw aluminum storm doors will not be approved.
- Any modifications to the original doorjamb necessary for installation of a storm door must be specified on the Application.
- Storm doors match the entry door or the trim around the entry door.
- Storm doors on the front of the house must be full view clear glass.
- Storm doors on the rear or side of the house may be either full view, three quarters view clear glass.

Storm Windows

- An approved Application is required for storm windows.
- Storm window and screen trim shall be painted the same color as the window trim.

Swimming Pools

- Swimming pools are prohibited.
- Children's wading pools in rear yards are allowed and do not require an approved application.

Vegetable Gardens

- The association may have a community garden in the community green space as provided on the site drawing by the original developer.

Water Features

- Water features (example: lily ponds, water gardens, fountains, etc.) are not permitted.

Window Flower Boxes

- An approved Application is required for window flower boxes.

Deacon Hayes Commons

EXHIBIT A - APPLICATION

**DEACON HAYES
COMMONS
ARCHITECTURAL
CHANGE APPLICATION**

- TYPE or PRINT - Please READ INSTRUCTIONS and COMPLETE ALL SPACES. USE A SEPARATE APPLICATION FOR EACH REQUEST.
- Town laws require you to obtain a Building Permit on most structural changes to your home and some on your lot. This may include fences, decks, patios, sheds, etc. You are responsible for contacting the County to determine if a permit is required. Approval or denial of a request is based on the Homeowners Association criteria. Property owner has sole responsibility for compliance with County codes and regulations.
- Owner must contact xxxxxxxx
- ATTACH a detailed, scale drawing plat map or blueprint of the lot, with proposed alterations indicated IN RED (A copy of your lot location drawing received at settlement is ideal.). Include all lot and alteration dimensions, color changes, materials and design information.
- Any variation from the original Application must be resubmitted for approval.
- ATTACH structural drawings, including elevation measurements, the color and material list and photo if available, of proposed alteration.
- INCOMPLETE APPLICATIONS, OR APPLICATIONS SUBMITTED WITHOUT PLANS, ETC., WILL BE RETURNED.
- Use the reverse side of Application if more space is needed.
- SUBMISSION OF APPLICATION DOES NOT GIVE AUTHORIZATION TO BEGIN WORK. WRITTEN APPROVAL MUST BE OBTAINED PRIOR TO COMMENCING ALTERATIONS.

Name: _____

Date Submitted: _____

Address: _____

Work Telephone: (____) _____

Home Telephone: (____) _____

Signature: _____

E-Mail Address _____

Lot #: _____ Block: _____

Date Work to Begin: _____

Date Work to be Completed: _____

A. Proposed Alteration: _____

B. Types of materials: _____

C. Dimensions: _____

D. Colors: _____ House _____ Trim _____ Door _____ Other _____ Stain

E. Additional Details: _____

Signature and comments from all adjoining neighbors and/or those who have a view of the Applicant's property. Their signatures indicate an awareness of your intent and do not constitute or indicate approval or disapproval. Signers are encouraged to write to the Association if they have additional comments.

Address/Lot #	Signature	Comment, if any
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Address/Lot #	Signature	Comment, if any
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Address/Lot #	Signature	Comment, if any
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_ _ _ FOR KC USE ONLY _ _ _

Date Received: _____ Date Action Taken: _____

Reviewed/
Approved by: _____

APPROVED: __

NOT APPROVED: __

INCOMPLETE/PENDING APPLICATION: __

With these EXCEPTIONS:

For these REASONS:

__ Incomplete

__ Returned to Owner

__ Provide the following:

Deacon Hayes Commons

EXHIBIT B – SAMPLE VIOLATION LETTER

CERTIFIED MAIL – RETURN RECEIPT REQUESTED
AND FIRST CLASS MAIL

Record Owner or Tenant/Invitee

Re: Deacon Hayes Commons Homeowners
Association, Inc. Second Notice of Covenant
Violation

Dear Record Owner or Tenant/Invitee:

This letter shall serve as notice that you remain in violation of the Association's covenants, specifically Article ___ of the Association's (Declaration, Bylaws or Rules, Regulations and Architectural Guidelines), due to _____ (describe violation). As initial violation notice was previously sent to you.

If you fail to correct the above violation within ___ days of the date of this letter, the Board of Directors is authorized to impose a fine against you for your violation of Article ___ of the Associations (Declaration, Bylaws or Rules, Regulations and Architectural Guidelines). Please be advised that each recurrence of the above violation or each day during which it continues shall be deemed a separate offense, subject to a separate fine not to exceed a reasonable amount as established by the Board of Directors for each offense. Please note that the Board is also authorized to suspend your membership privileges due to the above violation.

You have the right to request a hearing before the Board of Directors if you wish to dispute or explain the above violation. Such request must be made in writing and must be received by the Board within 5 days of the date of this notice. If you request a hearing, the Board will schedule a hearing for you and notify you of the date and time.

In lieu of requesting a hearing, you may respond to this notice within 5 days of the date of this notice, acknowledging in writing that the violation occurred as alleged and promising that you will immediately correct the violation and will not allow the violation to recur. Such acknowledgement and promise, as well as correction of the violation, shall terminate the enforcement activity of the Association with regard to this particular violation.

Thank you for your cooperation with this matter. If you have any questions, you may contact the undersigned at _____.

Sincerely,
DEACON HAYES COMMONS
HOMEOWNERS
ASSOCIATION, INC.

cc: Record Owner (if not already listed above) By: _____

**Wetland/Environmental
Narrative**



Wetland Investigation and Soil Report Maine Route 115 and Parsonage Road Property North Yarmouth

Date: May 26, 2021

To: Jason Vafiades
Atlantic Resource Consultants
541 US Route 1
Freeport, ME 04032

Wetlands Summary:

The pond on the property is a man-made feature, with steep cut banks and no associated wetlands. The pond is not a vernal pool. The pond could be filled as it is not a protected feature. Guidance from DEP is recommended, as it is part of a larger drainage system. There is a stoned-up outfall at the easterly end of the pond, which only flows when the pond is over-filled. The drainage which flows onto the property through a culvert beneath Rt. 115 is a DEP Jurisdictional Stream, until it empties into the pond. The drainage is incised and there are very small areas of wetlands associated with it. The DEP requires a 75-foot buffer of no-disturbance from the stream channel, which can be reduced to 25 feet with a Permit-By-Rule.

Soil and Wastewater Summary:

Soils are consistently coarse textured and well drained on the property. The wastewater sizing is Medium, according to the Rules. The property is in the Groundwater Protection Overlay District, and most likely aerating pre-treatment septic systems will be required to achieve desired development density. The property and abutting properties are served by individual water wells, and these should be located on a plan to allow for sufficient setbacks to wastewater disposal systems. A Nitrate-nitrogen impact study will most likely be required. The placement of wastewater disposal systems on the property will need to be considered to allow for groundwater dilution. Systems may need to be located 100 feet from the easterly property line.

Date of Investigation: May 25, 2021

Location of the Investigation:

The property investigated is located on the southeasterly corner of Maine Route 115 and Parsonage Road. It is a 2.24-acre lot.

Purposes of the Investigation:

The purposes of the wetland investigation are to identify and describe wetlands on the property according to definitions in the Maine Natural Resources Protection Act (the *NRPA*) to determine if specific alteration and filling permits are required and if there are any setbacks required under the *NRPA*, to determine the Maine DEP jurisdictional status of any streams and to identify any potential vernal pools.

The purpose of the soil investigation is to identify, describe and locate representative suitable areas for wastewater disposal, according to the Maine Subsurface Wastewater Disposal Rules (the *Rules*), and provide sizing and setback information for planning purposes.

Methods of the Investigation:

A literature search and on-site investigations were made. The investigations were performed following the guidelines described in the 1987 Corps of Engineers Delineation Manual and the 2009 Interim Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region. This procedure uses a multiple parameter approach that requires the presence of three primary components for an area to be identified as a wetland: 1) hydric soils; 2) predominance of hydrophytic vegetation; and 3) wetland hydrology.

The *Boundary and Existing Conditions Survey Made for Atlantic Resource Consultants*, by Horizons Engineering dated 5/6/21 was used in the field during the investigation. A soil test pit dug by hand with a shovel and soil probe was done for the on-site wastewater disposal investigation.

Site Location and Description:

The property is located on a broad terrace easterly of Walnut Hill. Drainage is southeasterly to Toddy Brook (see Figure 1), which is a perennial stream located off the property.

The terrace is uniformly underlain by coarse textured sands and gravels, depicted by the Maine Geological Survey as late-glacial fans and near shore deposits. These deposits were made in shallow ocean water, near the source of the material. The Town gravel pit on Parsonage Road is a good example of the deposit

The property is depicted as an association of Hinckley loamy sand and Deerfield loamy fine sand on the *National Cooperative Soil Survey* (see Figure 2).

Results of the Wetlands Investigation:

There is a drainage flowing onto the property from a culvert beneath Route 115. This drainage is a Jurisdictional Stream of the Maine DEP, until it empties into the pond. The stream is incised and there are very little associated wetlands.

The DEP requires a 75-foot buffer of no-disturbance from the channel. This can be reduced to 25 feet with a Permit-By-Rule.

The pond is a man-made feature, is not a vernal pool and can be filled. There are no wetlands associated with the pond, as it has steep, cut banks. There is an outfall at the southeasterly end of the pond, which only flows when the pond is full. Guidance from the DEP regarding filling is recommended.

Results of the Soil and Wastewater Disposal Investigation:

A soil test pit was dug to verify the mapping. The soil is a coarse textured, gravelly, loamy sand. The entire property is rated Medium for wastewater disposal sizing, or 234 square feet of stone bed per bedroom.

Other disposal system options are available that save space, including plastic chambers and Eljen Indrains. If pre-treatment of wastewater is required, the stone bed sizing is reduced by half.

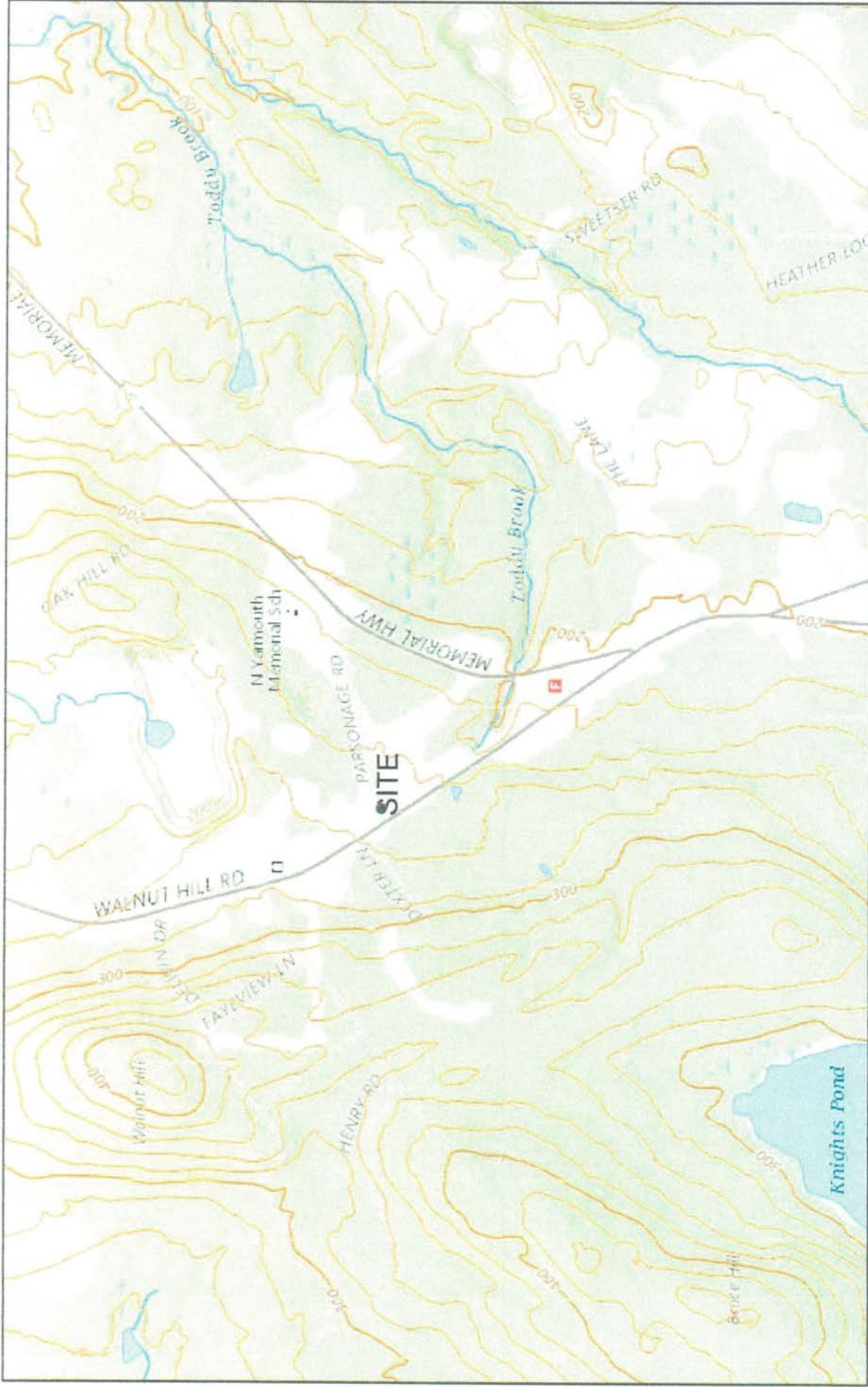
The disposal systems do not require mounding above grade, and can be set deeper into the ground to facilitate gravity flow from septic tanks.

The stream and the pond on the property are considered Minor Water Bodies by the *Rules* and require a 50-foot wastewater setback for systems disposing less than 1000 gpd. A 100-foot setback is required for systems disposing between 1000 and 2000 gpd.



Mark Cenci, L.G #467, LSE # 262

Figure 1.



5/25/2021 3:32:34 PM

1:18,056



Normal Intermediate Contours

Normal Index Contours

Stormwater Calculations

Existing Condition

2/10/25 year storm events

Deacon Hayes Commons North Yarmouth, Maine Stormwater Project Summary

April 18, 2022

Stormwater Flows at Design Point 1

	<u>2 year</u>	<u>10 year</u>	<u>25 year</u>
Existing Conditions at Design Point .	0.01 cfs	0.11 cfs	0.63 cfs
Proposed Conditions at Design Point	0.00cfs	0.05 cfs	0.52 cfs

4 buildings (3,162 sf each) infiltrated into ground through roof line drip strip - 4' wide, 3' deep, $\frac{3}{4}$ " crushed stone wrapped with fabric.

Drip Line Filter Calculation Check

PER BUILDING

Project: Deacon Hayes Commons Route 115

ATS:
Date:
Version:
Engineer:

Initial Stormwater Review
Steve Roberge

TREATMENT

Area	Treated Impervious Area (sf)	Required WQV (cf)	Width (ft)	Length (ft)	Reservoir Stone Thickness (ft)	Provided WQV in Stone @ 40% porosity (cf)	Soil Filter Media Thickness (ft)	Provided WQV in Soil Filter Media @ 30% porosity (cf)	Sand Layer Thickness (ft)	Provided WQV in Sand @ 20% porosity (cf)	Total WQV Provided	% Provided
Building 1: Units 1-6	3,162	263.5	4.0	190.0	3	912.0	1	228.0	0	0.0	1140.0	433%
	3,162											



Watershed 1



Design Point 1



Routing Diagram for Existing Condition

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Existing Condition

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Page 2

Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
1.482	39	>75% Grass cover, Good, HSG A (1S)
0.393	98	Unconnected pavement, HSG A (1S)
0.345	30	Woods, Good, HSG A (1S)
2.219	48	TOTAL AREA

Existing Condition

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Page 3

Soil Listing (all nodes)

Area (acres)	Soil Group	Subcatchment Numbers
2.219	HSG A	1S
0.000	HSG B	
0.000	HSG C	
0.000	HSG D	
0.000	Other	
2.219		TOTAL AREA

Existing Condition

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Page 4

Ground Covers (all nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
1.482	0.000	0.000	0.000	0.000	1.482	>75% Grass cover, Good	1S
0.393	0.000	0.000	0.000	0.000	0.393	Unconnected pavement	1S
0.345	0.000	0.000	0.000	0.000	0.345	Woods, Good	1S
2.219	0.000	0.000	0.000	0.000	2.219	TOTAL AREA	

Existing Condition

NRCC 24-hr D 2-Year Rainfall=3.19"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Watershed 1

Runoff Area=96,680 sf 17.70% Impervious Runoff Depth>0.01"
Flow Length=580' Tc=13.6 min UI Adjusted CN=43 Runoff=0.01 cfs 0.001 af

Reach DP 1: Design Point 1

Inflow=0.01 cfs 0.001 af
Outflow=0.01 cfs 0.001 af

Total Runoff Area = 2.219 ac Runoff Volume = 0.001 af Average Runoff Depth = 0.01"
82.30% Pervious = 1.827 ac 17.70% Impervious = 0.393 ac

Existing Condition

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NRCC 24-hr D 2-Year Rainfall=3.19"

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Summary for Subcatchment 1S: Watershed 1

Runoff = 0.01 cfs @ 20.00 hrs, Volume= 0.001 af, Depth> 0.01"
 Routed to Reach DP 1 : Design Point 1

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 NRCC 24-hr D 2-Year Rainfall=3.19"

Area (sf)	CN	Adj	Description
17,110	98		Unconnected pavement, HSG A
15,010	30		Woods, Good, HSG A
64,560	39		>75% Grass cover, Good, HSG A
96,680	48	43	Weighted Average, UI Adjusted
79,570			82.30% Pervious Area
17,110			17.70% Impervious Area
17,110			100.00% Unconnected

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.3	20	0.0200	0.98		Sheet Flow, Smooth surfaces n= 0.011 P2= 3.10"
10.9	135	0.0290	0.21		Sheet Flow, Grass: Short n= 0.150 P2= 3.10"
0.9	160	0.0375	2.90		Shallow Concentrated Flow, Grassed Waterway Kv= 15.0 fps
1.2	135	0.0150	1.84		Shallow Concentrated Flow, Grassed Waterway Kv= 15.0 fps
0.1	80		9.83		Lake or Reservoir, Mean Depth= 3.00'
0.2	50	0.0400	4.82	8.43	Trap/Vee/Rect Channel Flow, Bot.W=2.00' D=0.50' Z= 3.0 '/' Top.W=5.00' n= 0.030
13.6	580	Total			

Existing Condition

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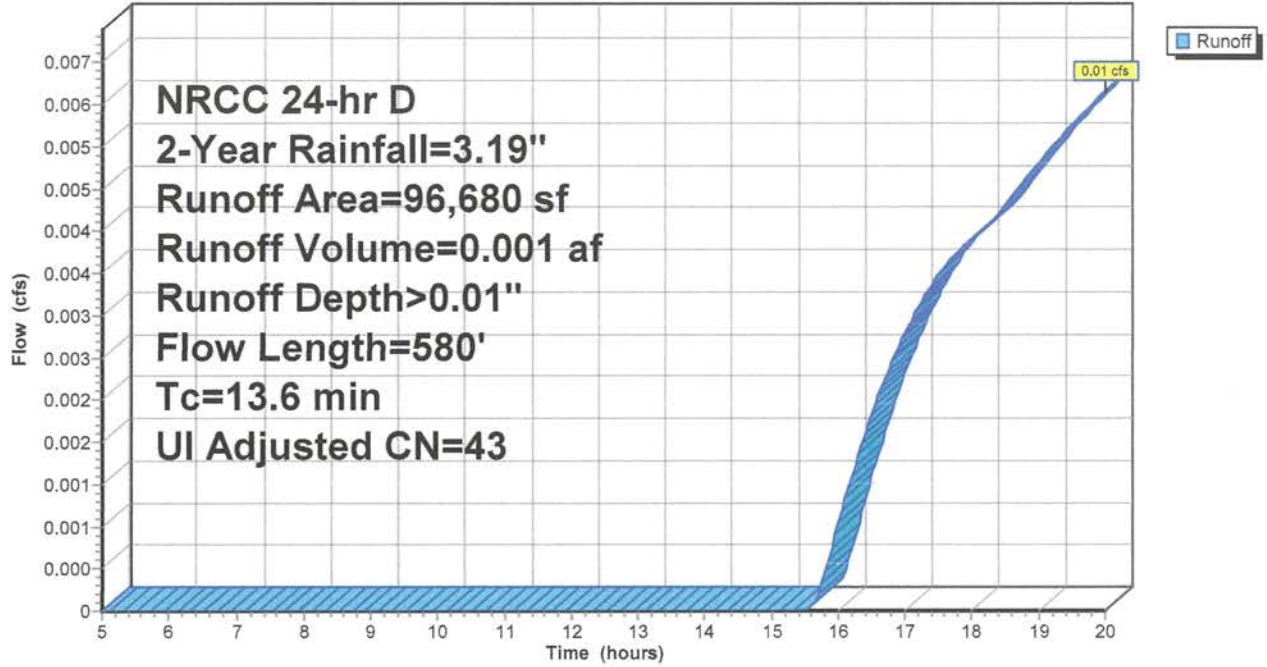
NRCC 24-hr D 2-Year Rainfall=3.19"

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Subcatchment 1S: Watershed 1

Hydrograph



Existing Condition

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NRCC 24-hr D 2-Year Rainfall=3.19"

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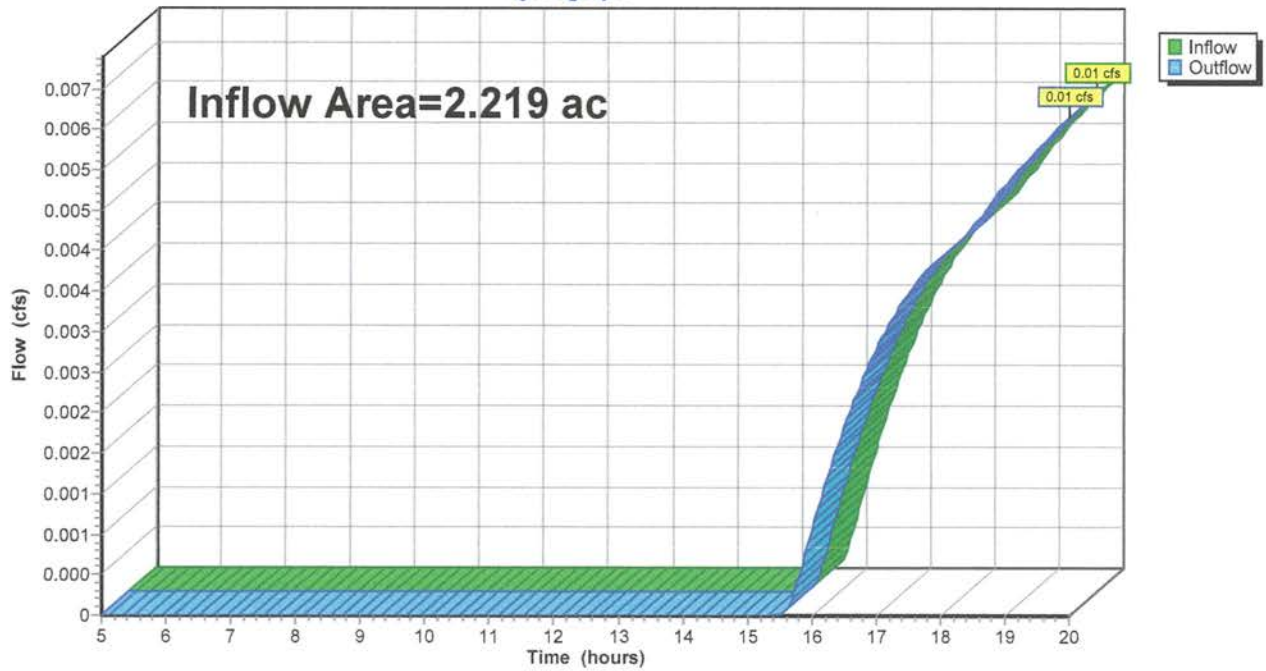
Summary for Reach DP 1: Design Point 1

Inflow Area = 2.219 ac, 17.70% Impervious, Inflow Depth > 0.01" for 2-Year event
Inflow = 0.01 cfs @ 20.00 hrs, Volume= 0.001 af
Outflow = 0.01 cfs @ 20.00 hrs, Volume= 0.001 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Reach DP 1: Design Point 1

Hydrograph



Existing Condition

NRCC 24-hr D 10-Year Rainfall=4.77"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Watershed 1

Runoff Area=96,680 sf 17.70% Impervious Runoff Depth>0.21"
Flow Length=580' Tc=13.6 min UI Adjusted CN=43 Runoff=0.11 cfs 0.040 af

Reach DP 1: Design Point 1

Inflow=0.11 cfs 0.040 af
Outflow=0.11 cfs 0.040 af

Total Runoff Area = 2.219 ac Runoff Volume = 0.040 af Average Runoff Depth = 0.21"
82.30% Pervious = 1.827 ac 17.70% Impervious = 0.393 ac

Existing Condition

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NRCC 24-hr D 10-Year Rainfall=4.77"

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Summary for Subcatchment 1S: Watershed 1

Runoff = 0.11 cfs @ 12.61 hrs, Volume= 0.040 af, Depth> 0.21"
 Routed to Reach DP 1 : Design Point 1

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 NRCC 24-hr D 10-Year Rainfall=4.77"

Area (sf)	CN	Adj	Description
17,110	98		Unconnected pavement, HSG A
15,010	30		Woods, Good, HSG A
64,560	39		>75% Grass cover, Good, HSG A
96,680	48	43	Weighted Average, UI Adjusted
79,570			82.30% Pervious Area
17,110			17.70% Impervious Area
17,110			100.00% Unconnected

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.3	20	0.0200	0.98		Sheet Flow, Smooth surfaces n= 0.011 P2= 3.10"
10.9	135	0.0290	0.21		Sheet Flow, Grass: Short n= 0.150 P2= 3.10"
0.9	160	0.0375	2.90		Shallow Concentrated Flow, Grassed Waterway Kv= 15.0 fps
1.2	135	0.0150	1.84		Shallow Concentrated Flow, Grassed Waterway Kv= 15.0 fps
0.1	80		9.83		Lake or Reservoir, Mean Depth= 3.00'
0.2	50	0.0400	4.82	8.43	Trap/Vee/Rect Channel Flow, Bot.W=2.00' D=0.50' Z= 3.0 ' /' Top.W=5.00' n= 0.030
13.6	580	Total			

Existing Condition

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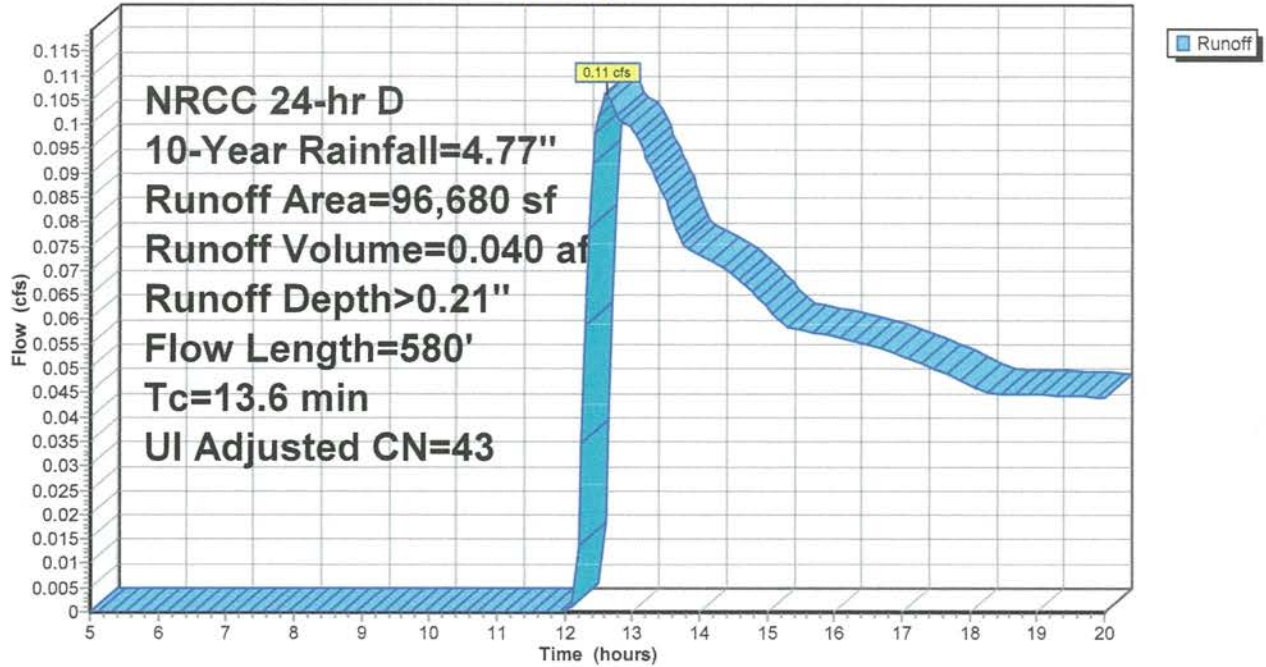
NRCC 24-hr D 10-Year Rainfall=4.77"

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Subcatchment 1S: Watershed 1

Hydrograph



Existing Condition

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NRCC 24-hr D 10-Year Rainfall=4.77"

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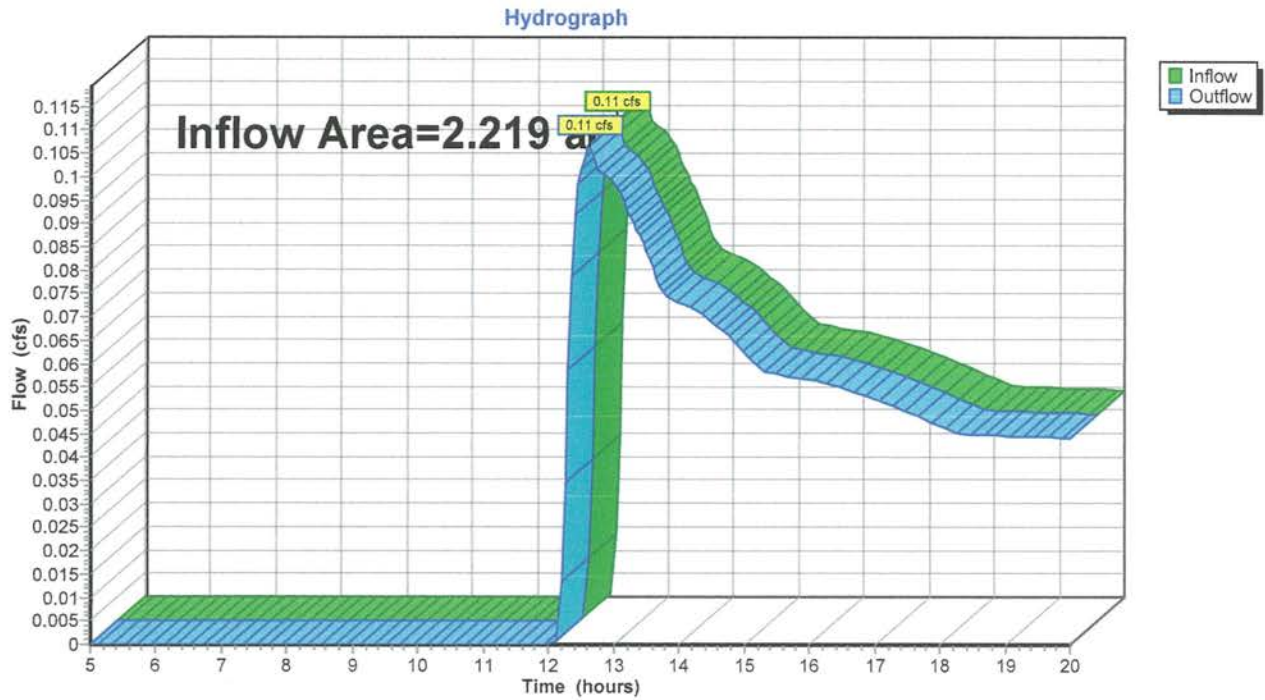
Page 12

Summary for Reach DP 1: Design Point 1

Inflow Area = 2.219 ac, 17.70% Impervious, Inflow Depth > 0.21" for 10-Year event
Inflow = 0.11 cfs @ 12.61 hrs, Volume= 0.040 af
Outflow = 0.11 cfs @ 12.61 hrs, Volume= 0.040 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Reach DP 1: Design Point 1



Existing Condition

NRCC 24-hr D 25-Year Rainfall=6.01"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Watershed 1

Runoff Area=96,680 sf 17.70% Impervious Runoff Depth>0.54"
Flow Length=580' Tc=13.6 min UI Adjusted CN=43 Runoff=0.63 cfs 0.099 af

Reach DP 1: Design Point 1

Inflow=0.63 cfs 0.099 af
Outflow=0.63 cfs 0.099 af

Total Runoff Area = 2.219 ac Runoff Volume = 0.099 af Average Runoff Depth = 0.54"
82.30% Pervious = 1.827 ac 17.70% Impervious = 0.393 ac

Existing Condition

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NRCC 24-hr D 25-Year Rainfall=6.01"

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Summary for Subcatchment 1S: Watershed 1

Runoff = 0.63 cfs @ 12.28 hrs, Volume= 0.099 af, Depth> 0.54"
 Routed to Reach DP 1 : Design Point 1

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 NRCC 24-hr D 25-Year Rainfall=6.01"

Area (sf)	CN	Adj	Description
17,110	98		Unconnected pavement, HSG A
15,010	30		Woods, Good, HSG A
64,560	39		>75% Grass cover, Good, HSG A
96,680	48	43	Weighted Average, UI Adjusted
79,570			82.30% Pervious Area
17,110			17.70% Impervious Area
17,110			100.00% Unconnected

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.3	20	0.0200	0.98		Sheet Flow, Smooth surfaces n= 0.011 P2= 3.10"
10.9	135	0.0290	0.21		Sheet Flow, Grass: Short n= 0.150 P2= 3.10"
0.9	160	0.0375	2.90		Shallow Concentrated Flow, Grassed Waterway Kv= 15.0 fps
1.2	135	0.0150	1.84		Shallow Concentrated Flow, Grassed Waterway Kv= 15.0 fps
0.1	80		9.83		Lake or Reservoir, Mean Depth= 3.00'
0.2	50	0.0400	4.82	8.43	Trap/Vee/Rect Channel Flow, Bot.W=2.00' D=0.50' Z= 3.0 ' Top.W=5.00' n= 0.030
13.6	580	Total			

Existing Condition

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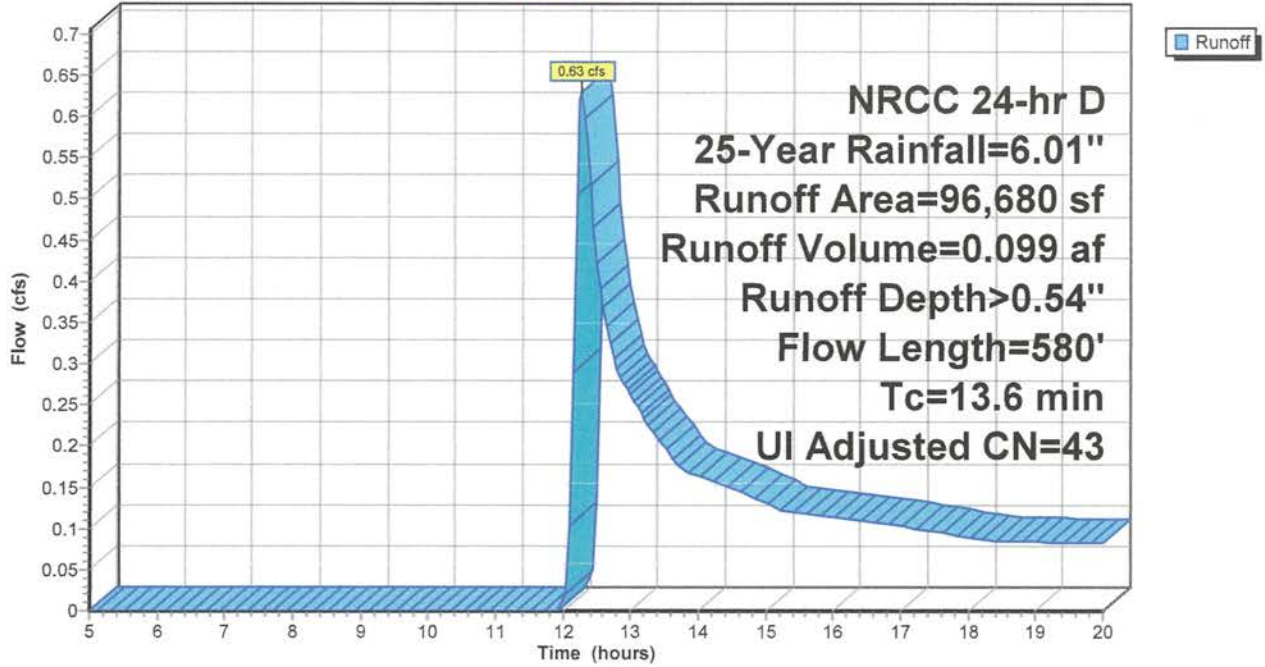
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Subcatchment 1S: Watershed 1

Hydrograph



Existing Condition

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NRCC 24-hr D 25-Year Rainfall=6.01"

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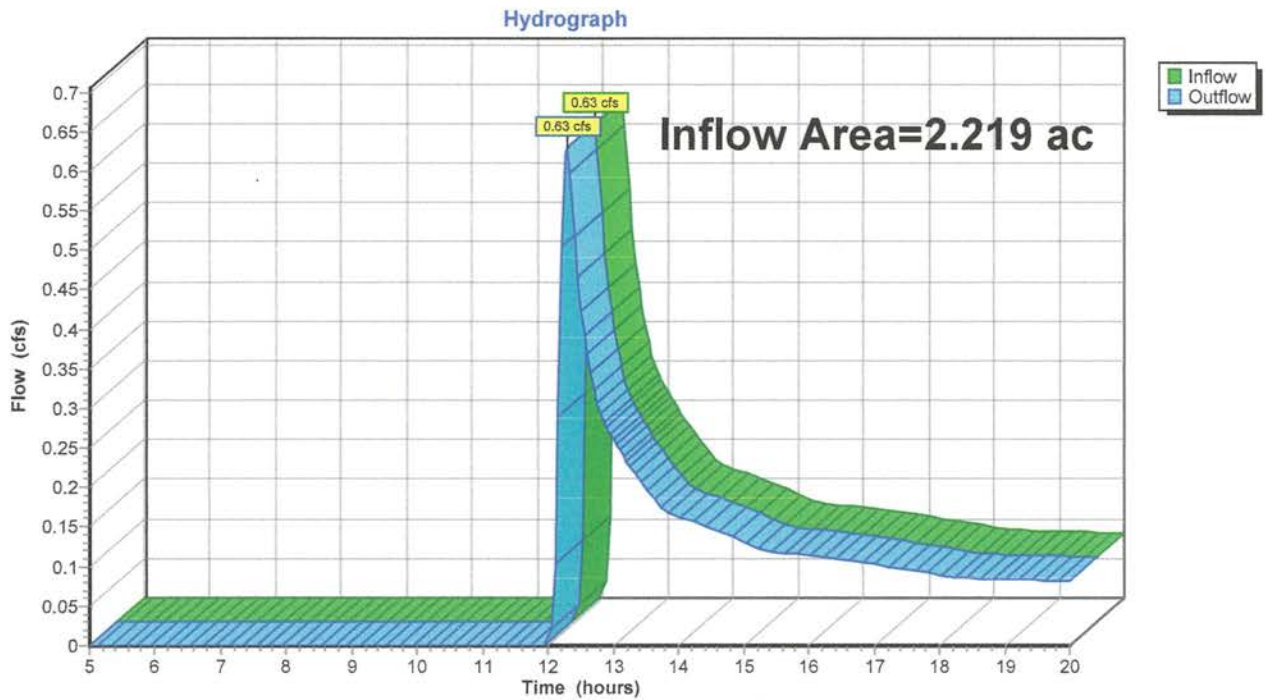
Page 16

Summary for Reach DP 1: Design Point 1

Inflow Area = 2.219 ac, 17.70% Impervious, Inflow Depth > 0.54" for 25-Year event
Inflow = 0.63 cfs @ 12.28 hrs, Volume= 0.099 af
Outflow = 0.63 cfs @ 12.28 hrs, Volume= 0.099 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Reach DP 1: Design Point 1



Stormwater Calculations
Proposed Condition Design Point 1
2/10/25 year storm events



Watershed 1



Design Point 1



Proposed Condition

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Page 2

Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
1.157	30	Meadow, non-grazed, HSG A (WS 1)
0.288	98	Paved parking, HSG A (WS 1)
0.345	30	Woods, Good, HSG A (WS 1)
1.789	41	TOTAL AREA

Proposed Condition

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Page 3

Soil Listing (all nodes)

Area (acres)	Soil Group	Subcatchment Numbers
1.789	HSG A	WS 1
0.000	HSG B	
0.000	HSG C	
0.000	HSG D	
0.000	Other	
1.789		TOTAL AREA

Proposed Condition

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Page 4

Ground Covers (all nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
1.157	0.000	0.000	0.000	0.000	1.157	Meadow, non-grazed	WS 1
0.288	0.000	0.000	0.000	0.000	0.288	Paved parking	WS 1
0.345	0.000	0.000	0.000	0.000	0.345	Woods, Good	WS 1
1.789	0.000	0.000	0.000	0.000	1.789	TOTAL AREA	

Proposed Condition

NRCC 24-hr D 2-Year Rainfall=3.19"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment WS 1: Watershed 1

Runoff Area=77,950 sf 16.10% Impervious Runoff Depth>0.00"
Tc=0.0 min CN=41 Runoff=0.00 cfs 0.000 af

Reach 1R: Design Point 1

Inflow=0.00 cfs 0.000 af
Outflow=0.00 cfs 0.000 af

Total Runoff Area = 1.789 ac Runoff Volume = 0.000 af Average Runoff Depth = 0.00"
83.90% Pervious = 1.501 ac 16.10% Impervious = 0.288 ac

Proposed Condition

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NRCC 24-hr D 2-Year Rainfall=3.19"

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Summary for Subcatchment WS 1: Watershed 1

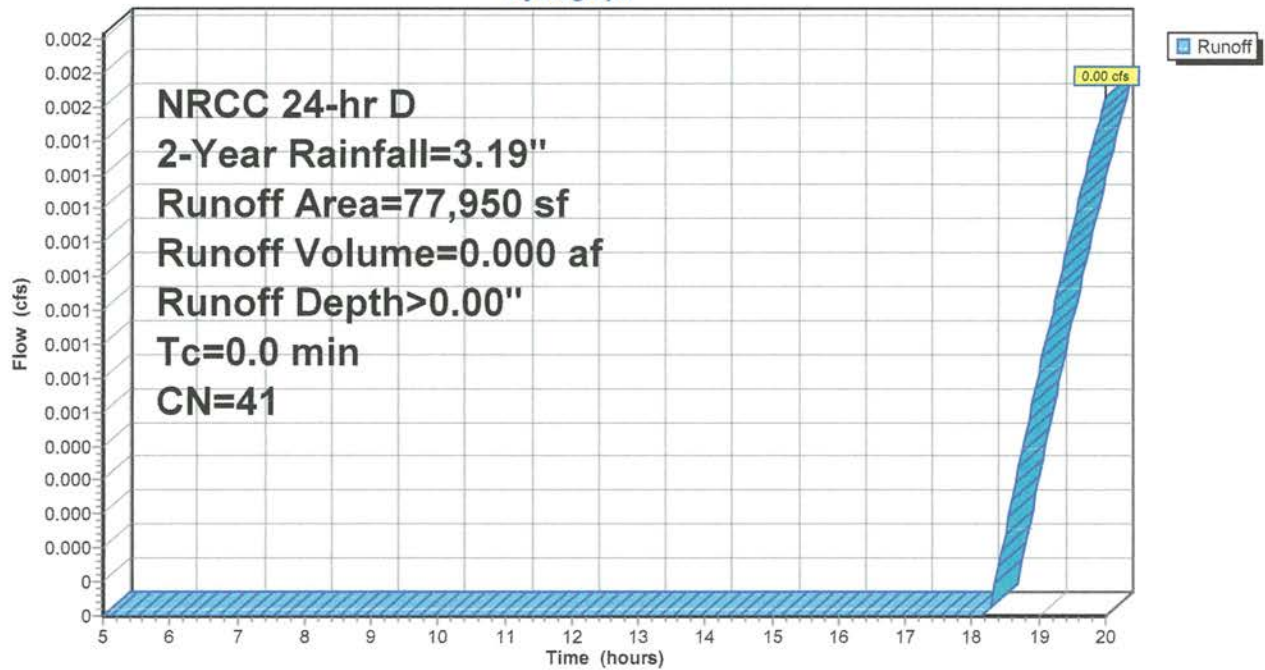
Runoff = 0.00 cfs @ 20.00 hrs, Volume= 0.000 af, Depth> 0.00"
Routed to Reach 1R : Design Point 1

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
NRCC 24-hr D 2-Year Rainfall=3.19"

Area (sf)	CN	Description
12,550	98	Paved parking, HSG A
15,010	30	Woods, Good, HSG A
50,390	30	Meadow, non-grazed, HSG A
77,950	41	Weighted Average
65,400		83.90% Pervious Area
12,550		16.10% Impervious Area

Subcatchment WS 1: Watershed 1

Hydrograph



Proposed Condition

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NRCC 24-hr D 2-Year Rainfall=3.19"

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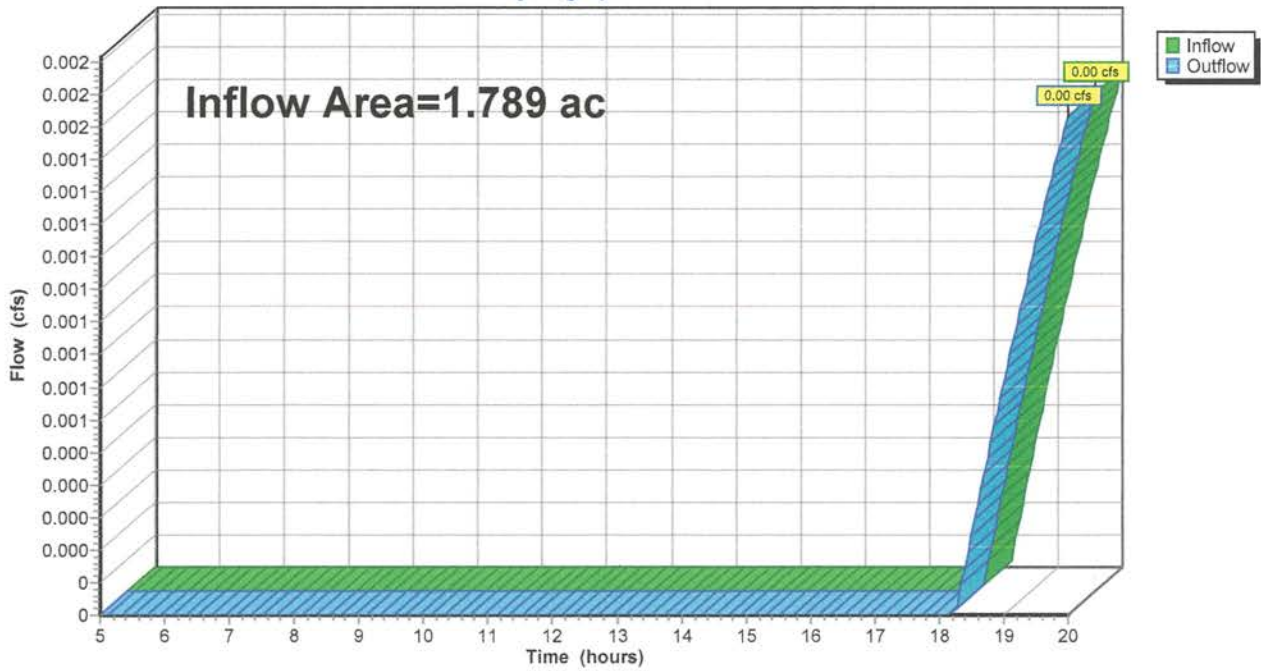
Summary for Reach 1R: Design Point 1

Inflow Area = 1.789 ac, 16.10% Impervious, Inflow Depth > 0.00" for 2-Year event
Inflow = 0.00 cfs @ 20.00 hrs, Volume= 0.000 af
Outflow = 0.00 cfs @ 20.00 hrs, Volume= 0.000 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Reach 1R: Design Point 1

Hydrograph



Proposed Condition

NRCC 24-hr D 10-Year Rainfall=4.77"

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Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment WS 1: Watershed 1

Runoff Area=77,950 sf 16.10% Impervious Runoff Depth>0.16"
Tc=0.0 min CN=41 Runoff=0.05 cfs 0.023 af

Reach 1R: Design Point 1

Inflow=0.05 cfs 0.023 af
Outflow=0.05 cfs 0.023 af

Total Runoff Area = 1.789 ac Runoff Volume = 0.023 af Average Runoff Depth = 0.16"
83.90% Pervious = 1.501 ac 16.10% Impervious = 0.288 ac

Proposed Condition

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NRCC 24-hr D 10-Year Rainfall=4.77"

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Summary for Subcatchment WS 1: Watershed 1

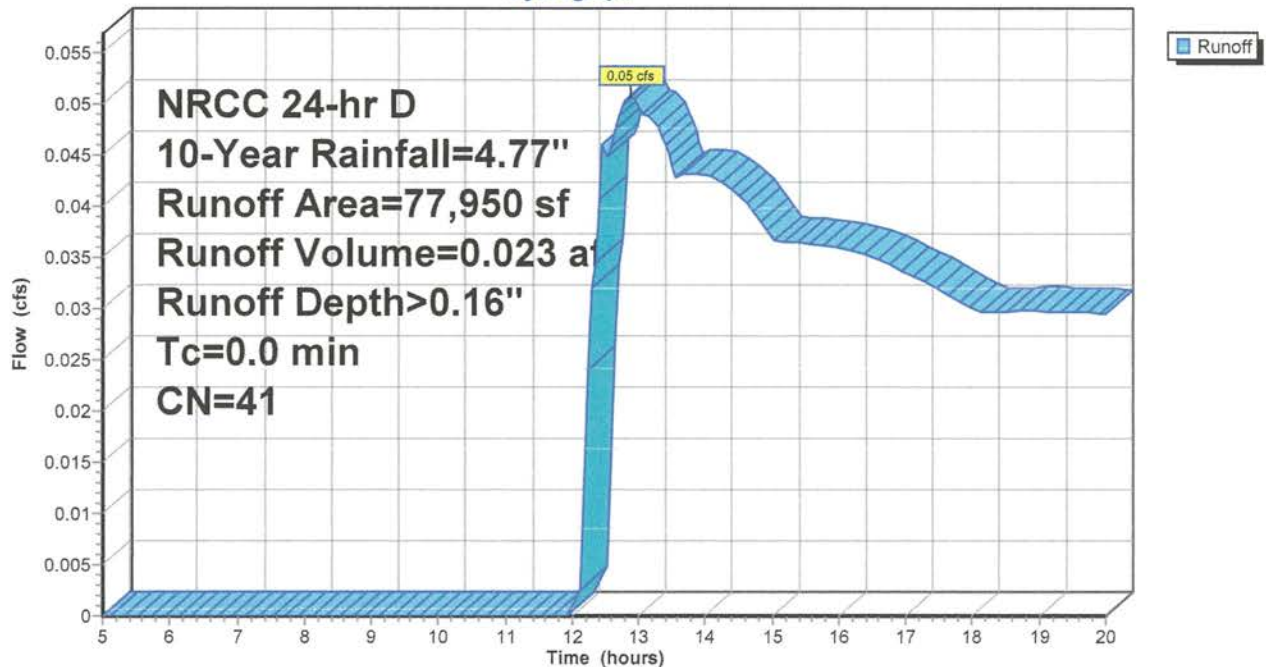
Runoff = 0.05 cfs @ 12.88 hrs, Volume= 0.023 af, Depth> 0.16"
Routed to Reach 1R : Design Point 1

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
NRCC 24-hr D 10-Year Rainfall=4.77"

Area (sf)	CN	Description
12,550	98	Paved parking, HSG A
15,010	30	Woods, Good, HSG A
50,390	30	Meadow, non-grazed, HSG A
77,950	41	Weighted Average
65,400		83.90% Pervious Area
12,550		16.10% Impervious Area

Subcatchment WS 1: Watershed 1

Hydrograph



Proposed Condition

Prepared by SJR Engineering Inc

HydroCAD® 10.10-7a s/n 00591 © 2021 HydroCAD Software Solutions LLC

NRCC 24-hr D 10-Year Rainfall=4.77"

Printed 4/18/2022

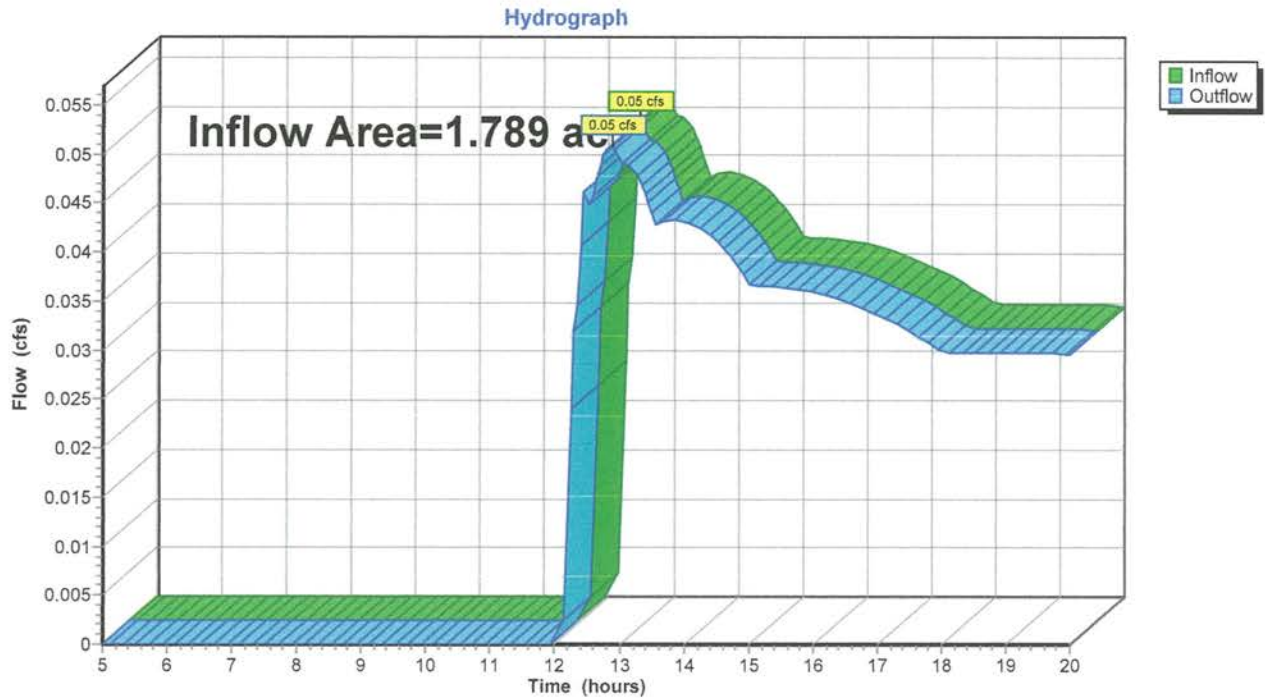
Page 10

Summary for Reach 1R: Design Point 1

Inflow Area = 1.789 ac, 16.10% Impervious, Inflow Depth > 0.16" for 10-Year event
Inflow = 0.05 cfs @ 12.88 hrs, Volume= 0.023 af
Outflow = 0.05 cfs @ 12.88 hrs, Volume= 0.023 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Reach 1R: Design Point 1



Proposed Condition

NRCC 24-hr D 25-Year Rainfall=6.01"

Prepared by SJR Engineering Inc

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Page 11

Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment WS 1: Watershed 1

Runoff Area=77,950 sf 16.10% Impervious Runoff Depth>0.44"
Tc=0.0 min CN=41 Runoff=0.52 cfs 0.066 af

Reach 1R: Design Point 1

Inflow=0.52 cfs 0.066 af
Outflow=0.52 cfs 0.066 af

Total Runoff Area = 1.789 ac Runoff Volume = 0.066 af Average Runoff Depth = 0.44"
83.90% Pervious = 1.501 ac 16.10% Impervious = 0.288 ac

Proposed Condition

Prepared by SJR Engineering Inc
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NRCC 24-hr D 25-Year Rainfall=6.01"

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Page 12

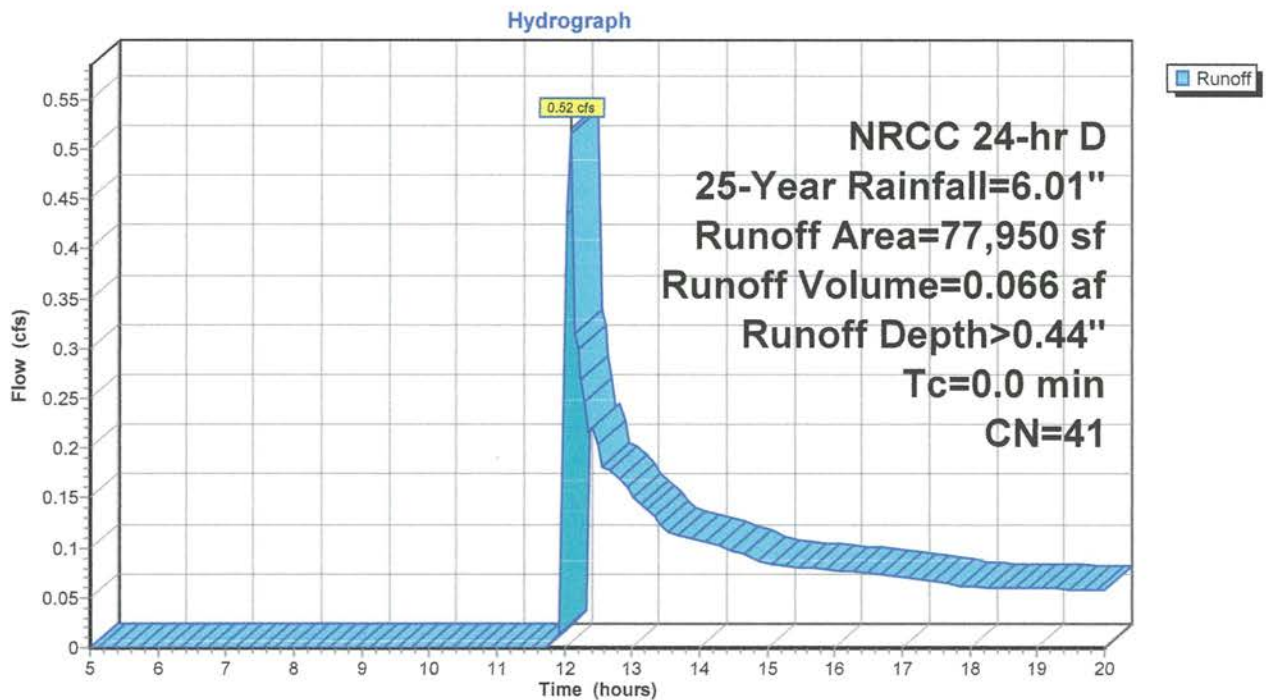
Summary for Subcatchment WS 1: Watershed 1

Runoff = 0.52 cfs @ 12.09 hrs, Volume= 0.066 af, Depth> 0.44"
Routed to Reach 1R : Design Point 1

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
NRCC 24-hr D 25-Year Rainfall=6.01"

Area (sf)	CN	Description
12,550	98	Paved parking, HSG A
15,010	30	Woods, Good, HSG A
50,390	30	Meadow, non-grazed, HSG A
77,950	41	Weighted Average
65,400		83.90% Pervious Area
12,550		16.10% Impervious Area

Subcatchment WS 1: Watershed 1



Proposed Condition

Prepared by SJR Engineering Inc

HydroCAD® 10.10-7a s/n 00591 © 2021 HydroCAD Software Solutions LLC

NRCC 24-hr D 25-Year Rainfall=6.01"

Printed 4/18/2022

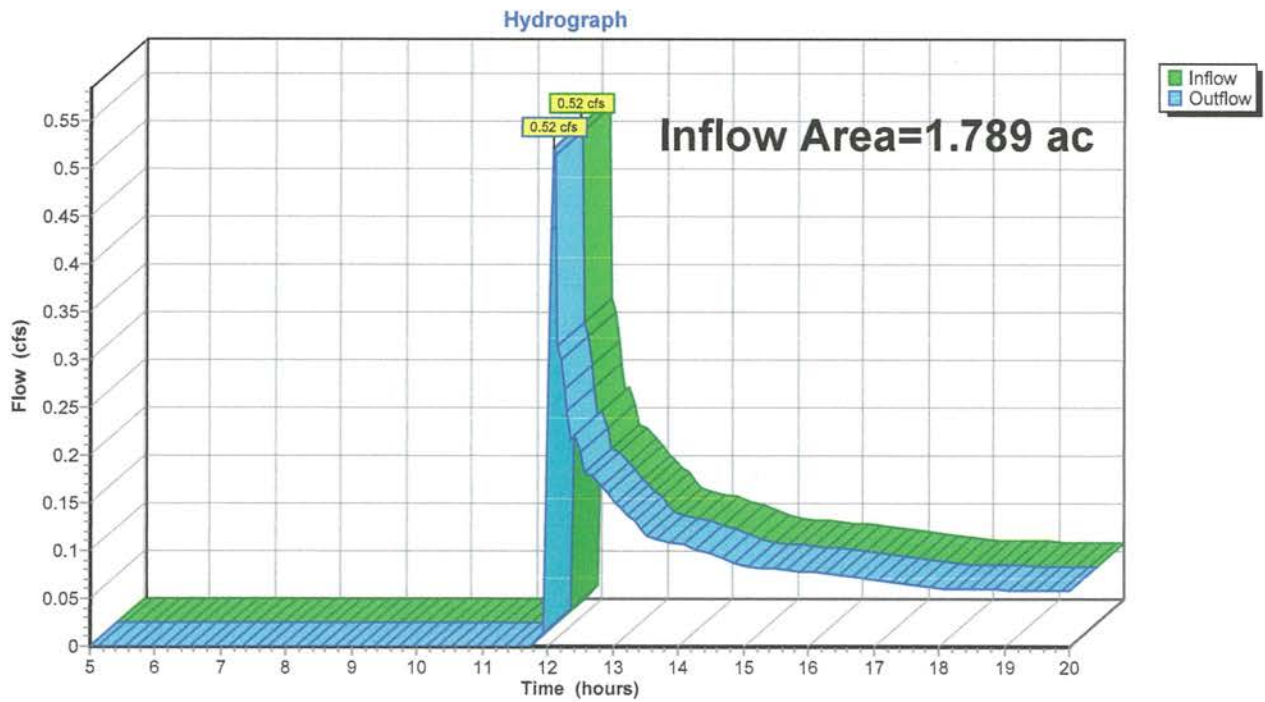
Page 13

Summary for Reach 1R: Design Point 1

Inflow Area = 1.789 ac, 16.10% Impervious, Inflow Depth > 0.44" for 25-Year event
Inflow = 0.52 cfs @ 12.09 hrs, Volume= 0.066 af
Outflow = 0.52 cfs @ 12.09 hrs, Volume= 0.066 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Reach 1R: Design Point 1



Housekeeping/Maintenance

Kenny Commons

Inspection and Maintenance Plan

Date: April 2022

The Earthwork Contractor will be responsible for inspection, maintenance, and operations of the stormwater system during construction. Upon approval of the final construction by the Owner, the Owner will be responsible for the inspection, maintenance, and operation of the stormwater system. We have attached the "Maine ESC BMPs (10/2016)" at the end of the narrative that more fully identifies the Party's E+S responsibilities.

INSPECTIONS - by Contractor During Construction

Areas of proposed construction that will require inspections/maintenance of the stormwater system include the following:

- **Ditches, Swales, or other open stormwater channels**
 - Embankment inspection and maintenance
 - Channel inspection
 - Sediment removal and disposal
- **Culverts, catch basins, stormwater control structures**
 - Structure inspection and maintenance
 - Inlet and Outlet inspection
 - Debris removal and disposal
- **Buffers/Landscaping**
 - Landscaping inspection and maintenance
 - Landscaping turf inspection and maintenance
 - Debris removal and disposal
- **General Site Erosion Controls**
 - Sediment barriers (silt fence, erosion control berm material)
 - Stabilized Construction Exit

Riprap slopes

Level Lip Spreaders

Erosion Control Blankets

Temporary/Permanent Seed and Mulch

Hay mulch

There may be other areas of inspection/maintenance specific to the project during construction that may not be identified above. The Contractor is directed to utilize the 2014 Revision to the Maine Erosion and Sediment Control Field Guide for Contractors.

The Contractors representative will inspect the general erosion control items identified above including the drainage system, swales, channels, and stormwater structures to determine if a soil blockage or impaired capacity to pass flow exists. During construction, the inspection will be done prior to and within 24 hours after a storm event greater than $\frac{1}{2}$ " in 24 hours. A record of inspections and maintenance or corrective measures shall be kept by the Contractor.

MAINTENANCE AND CLEANING

The earthwork contractor will regularly inspect for sediment accumulation, obstructions, debris, and other potential causes for operational difficulty in the conveyance of stormwater including the roof drip edge system. Immediate action shall be taken to remedy detrimental obstructions.

The Contractor will regularly inspect the infiltration rate of the soil after every major storm event (1/2" rain event in 24 hours) in the first few months to ensure proper function. Ongoing maintenance will be required as necessary.

All sand, salt, etc. accumulated when sweeping the paved parking, access road, and snow stockpile areas, shall be trucked off-site for disposal.

RECORD KEEPING

The Contractor will maintain inspection records, with recordings of condition of items identified above and annotation of substantial precipitation events or mitigating circumstances in the intervening time for trends to develop for anticipated future preventive maintenance schedule.

INSPECTIONS - by Owner Post-Construction

Areas of the completed construction that will require ongoing inspections and maintenance of the stormwater system include the following:

- **Ditches, Swales, or other open stormwater channels**
 - Embankment inspection and maintenance
 - Channel inspection
 - Sediment removal and disposal
- **Culverts, catch basins, stormwater control structures**
 - Structure inspection and maintenance
 - Inlet and Outlet inspection
 - Debris removal and disposal
- **Buffers/Landscaping**
 - Landscaping inspection and maintenance
 - Landscaping turf inspection and maintenance
 - Debris removal and disposal
- **General Site Erosion Controls**
 - Riprap slopes
 - Level Lip Spreaders
 - Permanent Seed and Mulch

There may be other areas of inspection/maintenance specific to the project identified after construction that may not be identified above. The Owner is directed to utilize the 2014 Revision to the Maine Erosion and Sediment Control Field Guide for Contractors for these situations.

The Owners representative will inspect the general erosion control items identified above including the drainage system, swales, channels, and stormwater structures to determine if a soil blockage or impaired capacity to pass flow exists. Post construction, the inspection will be done within 24 hours after a storm event greater than $\frac{1}{2}$ " in 24 hours. General post-construction inspections will be performed on a

monthly basis from March to November, and quarterly during the remainder of the year. A record of inspections and maintenance or corrective measures shall be kept by the owner.

MAINTENANCE AND CLEANING

The Owner will regularly inspect for sediment accumulation, obstructions, debris, and other potential causes for operational difficulty in the conveyance and detention system. Immediate action shall be taken to remedy detrimental obstructions.

The Owner will regularly inspect the infiltration rate of the soils and pond after every major storm event (1/2" rain event in 24 hours) in the first few months to ensure proper function.

A mandatory scheduled maintenance will be performed every four weeks for a period of one hundred and twenty (120) days and will begin after satisfactory completion and acceptance of project construction. Ongoing maintenance may be required as necessary.

All sand, salt, etc. accumulated when vacuuming the paved parking, access road, and snow stockpile areas, shall be trucked off-site for disposal.

RECORD KEEPING

The Owner will maintain inspection records, with recordings of condition of items identified above and annotation of substantial precipitation events or mitigating circumstances in the intervening time for trends to develop the future preventive maintenance schedule.

Maintenance Log Sheet

<u>Inspector Name</u>	<u>Date</u>	<u>Maintenance Task Completed</u>
<u>Existing Pond</u>		
<u>Pond Embankment</u>		
<u>Pond Vegetation</u>		
<u>Pond Inlet</u>		
<u>Pond Outlet</u>		
<u>Pond Outlet Control Structure</u>		
<u>Emergency Spillway</u>		
<u>Pond Volume</u>		
<u>Other</u>		
<u>CB1</u>		
<u>CB Inlet Protection</u>		
<u>All Ditches</u>		
<u>Pavement/Grass interface</u>		
<u>Pavement debris/sand</u>		
<u>Stabilized Construction Exit</u>		
<u>Landscaping Buffers</u>		
<u>Level Spreaders</u>		
<u>Stone Check Dams</u>		
<u>ESC devices installed/removed</u>		
<u>Winter Construction ESC</u>		
<u>Mulch</u>		
<u>90% Vegetation</u>		
<u>Plunge Pools</u>		
<u>Roof Drip Edge</u>		
<u>Snowplow sand/ground surface</u>		

Housekeeping

These performance standards apply to all projects.

1. Spill prevention. Controls must be used to prevent pollutants from being discharged from materials on site, including storage practices to minimize exposure of the materials to stormwater, and appropriate spill prevention, containment, and response planning and implementation.

2. Groundwater protection. During construction, liquid petroleum products and other hazardous materials with the potential to contaminate groundwater may not be stored or handled in areas of the site draining to an infiltration area. An "infiltration area" is any area of the site that by design or as a result of soils, topography and other relevant factors accumulates runoff that infiltrates into the soil. Dikes, berms, sumps, and other forms of secondary containment that prevent discharge to groundwater may be used to isolate portions of the site for the purposes of storage and handling of these materials.

NOTE: Lack of appropriate pollutant removal best management practices (BMPs) may result in violations of the groundwater quality standard established by 38 M.R.S.A. §465-C(1).

3. Fugitive sediment and dust. Actions must be taken to ensure that activities do not result in noticeable erosion of soils or fugitive dust emissions during or after construction. Oil may not be used for dust control.

NOTE: An example of the use of BMPs to control fugitive sediment and dust is as follows: Operations during wet months that experience tracking of mud off the site onto public roads should provide for sweeping of road areas at least once a week and prior to significant storm events. Where chronic mud tracking occurs, a stabilized construction entrance should be provided. Operations during dry months, that experience fugitive dust problems, should wet down the access roads once a week or more frequently as needed.

NOTE: Dewatering a stream without a permit from the department violates state water quality standards and the Natural Resources Protection Act.

4. Debris and other materials. Litter, construction debris, and chemicals exposed to stormwater must be prevented from becoming a pollutant source.

NOTE: To prevent these materials from becoming a source of pollutants, construction and post-construction activities related to a project may be required to comply with applicable provision of rules related to solid, universal, and hazardous waste, including, but not limited to, the Maine solid waste and hazardous waste management rules; Maine hazardous waste management rules; Maine oil conveyance and storage rules; and Maine pesticide requirements.

5. Trench or foundation de-watering. Trench de-watering is the removal of water from trenches, foundations, coffer dams, ponds, and other areas within the construction area that retain water after excavation. In most cases the collected water is heavily silted and hinders correct and safe construction practices. The collected water must be removed from the ponded area, either through gravity or pumping, and must be spread through natural wooded buffers or removed to areas that are specifically designed to collect the maximum amount of sediment possible, like a cofferdam sedimentation basin (or pumping water through a sediment dirtbag). Avoid allowing the water to flow over disturbed areas of the site. Equivalent measures may be taken if approved by the department.

NOTE: For guidance on de-watering controls, consult the latest edition of the Maine Erosion and Sediment Control BMPs", Maine Department of Environmental Protection."

6. Non-stormwater discharges. Identify and prevent contamination by non-stormwater discharges.

7. Additional requirements. Additional requirements may be applied on a site-specific basis.

Maintenance Plan & Best Management Practices

Site Inspection & Maintenance During Construction: Weekly inspections, as well as routine inspections following rainfalls, shall be conducted by the General Site Contractor of all temporary and permanent erosion control devices until final acceptance of the project (90% grass catch) by the Owner. Necessary repairs shall be made to correct undermining or deterioration. Final acceptance shall include a site inspection to verify the stability of all disturbed areas and slopes. Until final inspection, all erosion and sedimentation control measures shall immediately be cleaned, and repaired by the General Contractor as required. Disposal of all temporary erosion control devices shall be the responsibility of the General Contractor.

It is recommended that the Owner hire the services of the design engineer, or other qualified individual, to provide compliance inspections (during active construction) relative to implementation of the Stormwater and Erosion Control Plans. Such inspections should be limited to once a week or as necessary based on weather patterns, and be reportable to the Owner for record keeping purposes.

Maintenance Agreement: Short-term sedimentation maintenance shall be the responsibility of the Contractor to clean out all swales, structures, and soil filter basins prior to turning project over to the Owners. After project turnover, the Owner shall be the responsible party for inspecting and maintaining proper functioning of all stormwater conveyance practices and measures. The Owner may assign an environmental manager to carry out specific tasks identified below.

Structures and Other Measures

Stabilized Construction Entrance: A stabilized construction entrance is required at all locations that utilize vehicle access points from the project onto public or private paved roadways during construction operations. Tracked sediment onto public road systems shall be vacuum swept prior to the next significant rain event (1/2" rain/24 hours). Sweeping of sediment into ditches, storm drains or waterways is not acceptable

Winter Sanding/Sweeping: Post construction, paved parking lots, streets, and access driveways shall be vacuum swept a minimum of twice per year. The first shall take place in the Fall. The second vacuum sweeping shall take place after winter sanding operations terminate, prior to May 1.

Ditches/Swales: Open swales and ditches need to be inspected on a monthly basis and after a major rainfall event to assure that debris or sediments do not reduce the

effectiveness of the system. Debris needs to be removed at that time. Any sign of erosion or blockage shall be immediately repaired to assure a vigorous growth to vegetation for the stability of the structure and proper functioning.

Vegetated Ditches: Vegetative should be mowed at least monthly during the growing season to a height of not less than 3 inches. Larger brush or trees must not be allowed to become established in the channel. Unless finely mulched, clippings should be removed to minimize the amount of organic material accumulating in the swales. Any areas where the vegetation fails will be subject to erosion and should be repaired and revegetated. Sediment should be removed when the ditch cross section is 33% full of sediment.

Stone Lined Channels: Where stone is displaced from constructed riprap areas, it should be replaced and chinked to assure stability. With time, riprap may need to be added. Vegetation growing through riprap should be removed on a yearly schedule.

Stone Check Dams: Observe the center of the check dam to make sure it is lower than the edges. Sediment trapped behind the dams should be removed once it reaches half the height of the dam. Check to insure erosion around the sides of the dam has not occurred.

Level Lip Spreaders: Sediment/debris buildup should be removed when the pool volume is reduced by 33%. Observation of the front side of the level spreader is necessary to determine erosion along the existing vegetation/spreader interface.

Culverts: If sediment in culverts or piped drainage systems exceeds 20% of the diameter of the pipe, it should be removed. This may be accomplished by mechanical means or hydraulic flushing. Care should be taken to prevent the release of the sediments into the downstream receiving areas. All pipes should be inspected on an annual basis.

Trench Dewatering: Water is to be pumped to a soil filter bag prior to discharge from the area. Placement of the filter bag is to be greater than 100' from an environmental resource. Careful monitoring of the discharge water must be taken to insure sediment laden water does not enter downslope resources.

Catch Basin/Field Inlets: All catch basins, and any other field inlets throughout the collection system, need to be inspected on a monthly basis to assure that the inlet entry point is clear of debris and will allow the intended water entry. In many cases, a silt sack has been installed within the rim of the CB and should be emptied/replaced after each storm event in a disturbed soil area as necessary. On a yearly basis, or when sediment reaches two thirds of the total sump volume, catch basins will be vacuumed and cleaned of all accumulated sediment. Work must be done by a vacuum truck. The removed material must be disposed of in accordance with State of Maine Solid Waste Disposal Rules.

Soil Filter, Infiltration, and Wet Ponds

Clearing Inlets and Outlets of Ponds (where applicable): The inlet and outlet of a pond shall be checked periodically to ensure that flow structures are not blocked by debris. All ditches and pipes connecting ponds in series shall be checked for debris that may obstruct flow. Inspections shall be conducted monthly during wet weather conditions from March to November.

Basin Inspections: Ponds shall be inspected on an annual basis for erosion, destabilization of side slopes, embankment settling, and other signs of structural failure. Brief inspections shall be conducted following major storms. Corrective action shall be taken immediately upon identification of problem area. Records shall be kept of all maintenance operations at jobsite to help plan future work and identify problem areas.

Maintenance Dredging: Wet ponds typically lose 1% of their volume annually due to sediment accumulation. Dredging is required when accumulated volume loss reaches 15% or approximately every 15-20 years.

Drainage Area Inspections: The owners' environmental manager shall inspect the basin's drainage area semi-annually for eroding soil and other sediment sources. Repair eroding areas using appropriate erosion control BMP's immediately. Control sediment sources, such as stockpiles of winter sand, by removing them from the basin's drainage area or surrounding them with sediment control BMP's.

Mowing: A basin with a turf lining shall have its side-slopes and top of berm mowed at least twice a year to prevent woody growth. Clippings shall be removed to minimize the amount of organic material accumulating in the basin.

Sediment Removal: Remove accumulated debris and sediments from the sediment forebays, inlet plunge pools, and pre-treatment BMP's at least annually.

Snow Storage: The ponds are not to be used for snow storage. Snow storage shall be sited so that snowmelt flows to a pre-treatment BMP before reaching the infiltration basin.

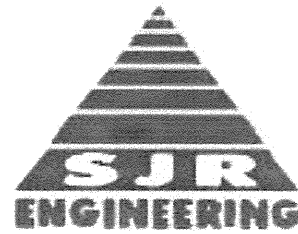
Pedestrian Access: Limit access to ponds to passive recreational use.

Vehicle Access: Prohibit vehicle access to all ponds, except that authorized for maintenance.

Yarmouth Water District

March 20, 2022

Eric Gagnon, Superintendent
Yarmouth Water District
PO Box 419
Yarmouth, Maine 04096



Re: Proposed Kenney Commons Complex, Route 115, North Yarmouth

Dear Eric,

527 LLC (aka Laurie Bachelder, agent) owns a parcel of land at the intersection of Parsonage Road and Walnut Hill Road in North Yarmouth, Maine. They are proposing to construct 4 new 2-story Townhouse buildings. Each of the buildings will have 3 units and be served with public water, underground electricity, and building sewer to Fugi septic tanks with appropriately sized septic disposal systems. Each unit will have 3 bedrooms. The site will have a driveway entrance into the project from Parsonage Road. Approximately 25,272 sf of impervious area (buildings, sidewalks, and pavement) will be created. Stormwater will be directed into an existing manmade stormwater pond. The building roofs will be infiltrated into the ground through stone drip edges. Parking will be provided for 30 vehicles (2.5 stalls per unit). It is anticipated that this project's site infrastructure will be started in the Spring of 2022 once all approvals have been obtained.

The site is identified as Tax Map 7 Lot 62 of the Town's Tax Map. The parcel is approximately 2.24 acres in size and lies within the Village Center Zoning District and the Groundwater Protection Overlay Zone.

I have attached the plans and HHE 200 forms for the 4 septic disposal areas. It is our understanding the disposal areas meet the criteria for the Maine Subsurface Disposal Rules. In summary, each building will have its own septic disposal area. Flows from each building will enter a Fugi septic system configuration and flow by gravity to the disposal areas. The disposal areas have been separated 100' from each other and meet the 20' setback from building foundations, 50' stream/surface water setback, and 10' property line side setback. I have also attached a preliminary copy of the building elevation and floor plans.

Water District Review
Kenney Commons, North Yarmouth

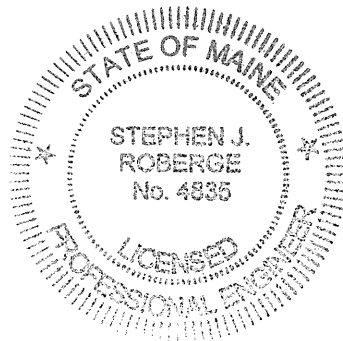
The Planning Board requirements indicate the project receive approval from the Water District when the parcel lies within the Groundwater Protection Overlay Zone. We are requesting such a review and letter of approval from the District to submit to the Planning Board.

Please contact me if you have any questions or concerns. Thank you in advance for your timely reply.

Sincerely yours,



Stephen Roberge PE
SJR Engineering Inc.

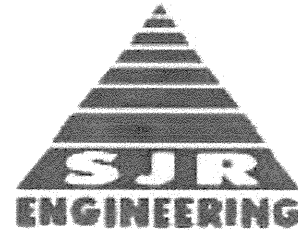


Attachments: Plans, HHE 200 forms, Building elevations/floor plan

North Yarmouth Fire Chief

April 18, 2022

Gregory Payson, Fire/Rescue Chief
Fire Rescue Station
10 Village Square Rd
North Yarmouth, ME 04097



Re: Proposed Deacon Hayes Commons Complex, Route 115, North Yarmouth

Dear Gregory,


527 LLC (aka Laurie Bachelder, agent) owns a parcel of land at the intersection of Parsonage Road and Walnut Hill Road in North Yarmouth, Maine. They are proposing to construct 4 new 2-story Townhouse buildings. Each of the buildings will have 3 units and be served with public water, underground electricity, and building sewer to Fugi septic tanks with appropriately sized septic disposal systems. Each unit will have 3 bedrooms. The site will have a driveway entrance into the project from Parsonage Road. Approximately 26,812 sf of impervious area (buildings, sidewalks, and pavement) will be created. Stormwater from the parking lot will be directed into an existing manmade stormwater pond. The building roofs will be infiltrated into the ground through stone drip edges. Parking will be provided for 29 vehicles (2.5 stalls per unit). It is anticipated that this projects site infrastructure will be started in the Spring of 2022 once all approvals have been obtained.

The site is identified as Tax Map 7 Lot 62 of the Town's Tax Map. The parcel is approximately 2.24 acres in size and lies within the Village Center Zoning District and the Groundwater Protection Overlay Zone.

I have attached the site and building plans for the preliminary submission to the Planning Board. As part of the Planning Board requirements, I am requesting your comments pertaining to the proposed development.

Please contact me if you have any questions or concerns. Thank you in advance for your timely reply.

Sincerely yours,

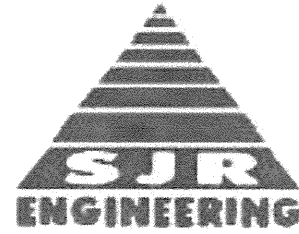

Stephen Roberge PE
SJR Engineering Inc.

Attachments: Plans, Building elevations/floor plan

Pre-application waiver request

April 12, 2022

Ryan Keith, Planner
North Yarmouth Planning Board
10 Village Square Road
North Yarmouth, Maine



Re: Waiver Request for Kenney Commons, Parsonage Road, North Yarmouth

Dear Ryan and Board Members,

A pre-application package has been previously submitted to the Planning Board. We respectfully request the following waivers for the submission requirements:

1. Section 4.4f.13 requests a determination of peak hour traffic for the 12-unit project. Due to the small size of the development, the anticipated peak hour traffic would be insignificant. Hiring a traffic engineer to provide this data would add unnecessary cost to the project development.
2. Section 4.4f.14 requests stormwater calculations be provided. The project does not require a stormwater permit from Maine DEP other than a stormwater PBR permit which pertains to erosion control. Due to the small project development and highly permeable onsite soils, it would seem unlikely increased flows across the property line could occur. The project has been designed to infiltrate all the building's roof water into drip strips to prevent soil splash on the buildings and to infiltrate the water into the ground. The parking pavement water is split to both sides of the parking facility (along curb lines) and discharges to a stone transition strip that will minimize erosion from this water and encourage infiltration into the highly permeable soils. Water from the parking area is prevented from entering the stream by the construction of the walkway path to the existing man-made pond. We anticipate no increases in stormwater flows.

SJR ENGINEERING, INC.

STEVE@SJRENG.COM. 16 THURSTON DRIVE, MONMOUTH, ME. TEL: (207) 242-6248

3. Section 4.4g.5 requests a groundwater impact analysis be performed by a groundwater hydrologist. We believe this study is un-necessary due to the septic systems being developed for each individual building, and those systems being separated by 100' or more from the other systems. Each individual system is designed to accept 810 gpd and is designed to meet the State of Maine Plumbing Code.
4. Section 4.5B.2.c requests groundwater protection and pollution measures be employed on the project. We have provided an extensive erosion and sediment control plan. We have also provided a "Housekeeping/Maintenance" narrative that has groundwater as part of the project documentation.
5. Section 4.5B.2.d requests a spill prevention plan be developed for the project. There are no chemicals or liquids being stored on the project and therefore no need for a spill prevention plan. Spill prevention during construction is part of the selected Construction company (and subcontractors) responsibilities during the project construction.
6. Section 4.5C.1.c requests sites/uses producing more than 1,000 gallons of sewage per day, a hydrogeologic assessment of nitrate concentrations at the property line be performed. We are installing Fugi Systems that reduce the nitrate loading at the site plus each of the systems (100' apart from each other) only generate 810 gpd loading. This study seems to be un-necessary and costly for the project.

We look forward to presenting this project to the Planning Board and answering any questions you may have concerning the design of the project.

Please call me if you have any questions.

Sincerely yours,



Stephen Roberge, PE
for SJR Engineering Inc.

Financial Data
Construction Costs

**Northstar Planning
Correspondence**

MEMORANDUM

TO: North Yarmouth Planning Board
Through Ryan Keith, Code Enforcement Officer

CC: Stephen Roberge P.E. SJR Engineering Inc.

From: Sam Peikes, Associate Planner, North Star Planning *SP*

RE: Kenney Commons Site & Subdivision Plan – Preapplication Meeting

Date: March 28, 2022

Overview

The applicant is proposing to construct four residential units off Parsonage Road and Walnut Hill Road. The existing parcel is developed with a residential building and barn that will be demolished. A 30-space parking lot will replace the existing paved driveway and a paved sidewalk will be added along Parsonage Road and Walnut Hill Road. The site is in the Village Center Zone and the Groundwater Overlay Zone and is located at Map 7 Lot 62.

Because this is a preapplication meeting, the Board is not expected to vote on the project. Any waiver requests or clarifying comments or questions should be made as this time. The findings of fact are included below to let the applicant know the standards that are relevant to the project and those standards that are not applicable. The attached checklist includes a list of submission requirements and highlights those that are still needed.

Applicant: Laurie Bachelder

Owner: same as the applicant

Location: 521 Walnut Hill Road

Zoning: Village Center and Groundwater Overlay

Tax Map Number: Map 7 Lot 62

Existing Land Use: residential building and barn

Proposed Land Use: residential units

Acreage: approximately 1.2 acres developed

Waivers: The applicant will be requesting the following waivers from submission requirements at the preapplication meeting on April 12. The applicant will also need to provide written justification for the waiver requests.

- Estimated peak hour traffic (Section 4.4f. 13)
- Stormwater calculations (Section 4.4f. 14)
- A groundwater impact analysis (Section 4.4g. 5)
- Groundwater protection and pollution prevention measures (Section 4.5B. 2. c.)
- Spill prevention plans (Section 4.5B. 2. d.)
- A hydrogeologic assessment (Section 4.5C. 1. c.)

Site Walk: a site walk for this project has not been scheduled.

Public Hearing: a public hearing for this project has not been scheduled.

Site Plan Review - Findings of Fact:

1. Utilization of the Site
 - The existing site is flat and the development is surrounded by residential homes, an auto shop, a preschool, North Yarmouth Town Hall, and Memorial Park.
 - The project will contribute approximately 25,272 square feet (0.58 acres) of impervious area.
 - The applicant should confirm if any wetlands, vernal pools, or significant wildlife habitat are located within the project area.

- Toddy Brook stream is located east of the development and stream buffers are shown on the plan. See Sheet 1 Site & Demolition Plan dated February, 2022.
- Tree clearing on the site will be minimal and limited to those trees that line Parsonage Road.

2. Utilities

- The residential units will utilize underground electricity, cable communications, telephone and water supply.
- Each unit will connect to a septic sewer system. See Sheet 2 Grading & Erosion Control Plan dated February, 2022.
- The applicant is requesting a waiver from Section 4.4g. 5. "A groundwater impact analysis prepared by a groundwater hydrologist for projects involving on-site water supply or sewage disposal facilities with a capacity of 2,000 gallons or more per day" under submission requirements. The 4 septic systems each have a sewage disposal capacity of less than 810 gallons per day and are separated by over 100 feet.

3. Building Standards

- The applicant should confirm that the proposed buildings will comply with the building standards outlined in Section 10.4 of the Zoning Ordinance.

4. Impact on Community Facilities

- No adverse impact on community facilities will result from the development.

5. Hazardous Materials and Emissions

- No hazardous materials and emissions will result from the development.

6. Exterior Lighting

- All residential units will include porch lights and entrance lights.
- The applicant should provide details of the types of lighting fixtures used and brightness levels.
- The applicant should confirm if additional security lighting or light poles will be needed in the parking area.

7. Financial and Technical Capacity

- The applicant will need to provide a letter either from a bank or other source of funding certifying financial capacity to complete the project.

8. Landscaping, Buffers and Screening

- Privacy fences will be installed between units. The applicant should provide details of the type of fencing used to screen.
- New trees and shrubs are shown on the site plan between the units and surrounding the parking area. See Site & Demolition Plan updated March, 2022. The applicant will provide a list of the types of trees and shrubs along with a planting schedule for the final site plan.

9. Noise

- The proposed development will not result in noise levels that will be objectionable to surrounding uses.

10. Signs

- A new sign is shown on the site plan at the corner of Parsonage Road and Walnut Hill Road. The applicant should provide sign details.
- The parking lot will include a handicap parking sign. See Sheet 1 Site & Demolition Plan dated February, 2022.

11. Storage of Materials

- The project will not include any exposed hazardous outdoor storage material.

- The applicant should clarify locations of dumpsters or trash receptacles and any other solid waste provisions.

12. Stormwater Control

- Drainage flows southwest towards the manmade stormwater pond. See Sheet 2 Grading & Erosion Control Plan dated February, 2022.
- A 4-foot-wide drip edge has been provided around the homes to infiltrate stormwater runoff. See Site & Demolition Plan updated March, 2022.
- All remaining water from the impervious areas will be directed towards the manmade pond. At the preapplication meeting the applicant should provide further details on stormwater peak flows.
- The applicant is requesting a waiver from Section 4.4f. 14 Stormwater Calculations. Because the project will not be requiring a DEP Chapter 500 Stormwater Permit, this waiver request is likely not applicable.
- A new catch basin will be located over the existing 24" diameter culvert to capture the stormwater runoff from Walnut Hill Road. Details for the catch basin are shown on Sheet 3 Construction Drawings.
- The project will comply with DEP and Soil and Water Conservation District Best Management Practices for stormwater and erosion control.
- The applicant should discuss the DEP Chapter 500 Stormwater management requirements applicable to the project.

13. Protection of Significant Wildlife Habitat

- The applicant should confirm if any significant wildlife habitat is located within the project area.

14. Access Management, Parking and Vehicular Circulation

- Access to the units will come from the paved driveway off Parsonage Road.
- The applicant is requesting a waiver from 4.5 f. 13. "An estimate of the peak hour and daily traffic to be generated by the project". The project

is anticipated to produce very little vehicular traffic and this waiver request is likely not applicable.

15. Pedestrian Ways and Bicycle Access

- A new 5-foot-wide paved sidewalk will be added along Parsonage Road, Walnut hill Road, and on the southern side of the parking lot.
- A 5-foot-wide path is shown connecting from the parking area to the manmade pond. It is unclear what this path will be accessed for.

16. Off-Street Parking and Loading

- The development includes a 30-space parking lot with ADA accessible parking spaces. See Sheet 1, Site & Demolition Plan and Sheet 4 Construction Details updated March, 2022.
- Parking is adequate to accommodate users during the week.
- The applicant should show the location of snow removal areas on the site plan.

Subdivision Review – Findings of Fact

1. General Layout: Lots, Blocks, Utilities, Monuments, and Back Lots

- Iron pipe monuments are shown at the corners of development boundaries on the Boundary Survey dated May 18, 2021.
- See #2 Site Plan Review for information about utilities.

2. Erosion and Sedimentation Control

- See #12 Site Plan Review for information about erosion and stormwater management.

3. Floodplain Management

- The development is not located in a 100-year floodplain.

4. Historic and Archaeological Sites

- The development does not contain historic or archaeological resources.

5. Sewage and Solid Waste Disposal

- The applicant has submitted a Subsurface Wastewater Disposal System application in compliance with the State of Maine Subsurface Wastewater Disposal Rules.
- The applicant is requesting a waiver from Section 4.5C. 1. c. "A hydrogeologic assessment of the proposed use or activity's impact on groundwater" under Groundwater Protection Overlay District submission requirements. See #2 under Site Plan Review for the reason for the waiver request.

6. Soil Suitability

- The soils are adequate to support the development. See Subsurface Wastewater Disposal System application, "Soil Profile Description and Classification" dated March 9, 2022.

7. Recreation and Open Space Land Development

- The development will not include land for recreation or open space development.

8. Water Supply

- The development will utilize public water.
- The applicant sent a letter to Yarmouth Water District requesting comments for the development and capacity to serve the project.

9. Water Quality

- The development will not diminish or adversely impact water quality.

10. Subdivision Street Connectivity

- See #14 Site Plan Review access management and vehicular circulation standards.

Site Plan - Conclusions of Law:

1. The development **will/will not** reflect the natural capabilities of the site to support development.
2. Utilities serving developments in the Village Center District and Village Residential District **will/will not** be installed underground.
3. The proposed development **will/will not** result in a negative impact to the environment or to the community facilities or services.
4. The development **will/will not** contribute emission of dust, ash, smoke or other particular matter.
5. The proposed development **will/will not** have adequate exterior lighting to provide for its safe use during nighttime hours.
6. The applicant **will/will not** have the financial capacity to complete the project.
7. The landscape **will/will not** be preserved in its natural state, insofar as practicable, by minimizing tree and soil removal, retaining existing vegetation where desirable, and keeping any grade changes in character with the general appearance of neighboring areas.
8. The development **will/will not** control noise levels such that it **will/will not** create a nuisance for neighboring properties.
9. The size, location, design, color, texture, lighting and materials of all exterior signs **will/will not** detract from the design of proposed buildings and structures.
10. Exposed non-residential storage areas, exposed machinery, and areas used for storage **will/will not** have sufficient setbacks and screening.
11. Adequate provisions **will/will not** be made for the collection and disposal of all storm water that runs off proposed roads, parking areas, roofs and other surfaces.
12. Developments **will/will not** be designed to protect and conserve important wildlife habitat to the greatest extent feasible.
13. The layout of the site **will/will not** provide for the safe movement of passenger, service, and emergency vehicles throughout the site.
14. The site plan **will/will not** provide for a system of pedestrian ways within the development appropriate to the type and scale of development.
15. Parking areas **will/will not** be constructed to protect the natural environment and visual character of the community, improve

pedestrian safety and accessibility, and promote the quality of life in developed areas.

Subdivision - Conclusions of Law:

1. The proposed subdivision **will/will not** result in undue water or air pollution.
2. The proposed subdivision **will/will not** have sufficient water available for the reasonably foreseeable needs of the subdivision.
3. The proposed subdivision **will/will not** cause an unreasonable burden on an existing water supply.
4. The proposed subdivision **will/will not** cause unreasonable soil erosion or reduction in the capacity of the land to hold water.
5. The proposed subdivision **will/will not** cause unreasonable highway or public road congestion or unsafe conditions.
6. The proposed subdivision **will/will not** provide for adequate solid and sewage waste disposal.
7. The proposed subdivision **will/will not** cause an unreasonable burden on the ability of a municipality to dispose of solid waste and sewage.
8. The proposed subdivision **will/will not** place unreasonable burden on the ability of the local governments to provide municipal or governmental services.
9. The proposed subdivision **will/will not** have an undue adverse effect on the scenic or natural beauty of the area.
10. The proposed subdivision **will/will not** be in conformance with a duly adopted subdivision regulation or ordinance.
11. The subdivider **will/will not** have adequate financial and technical capacity to meet the standards.
12. Whenever situated, in whole or in part, within 250 feet of any pond, lake, river or tidal waters, the proposed subdivision **will/will not** adversely affect the quality of such body of water.
13. The 100-year flood boundary **is/is not** shown on the plan.
14. All freshwater wetlands **have/have not** been identified on maps submitted as part of the application.
15. All farmland within the proposed subdivision **has/has not** been identified on maps submitted as part of the application.

16. Any rivers, streams, or brooks within or abutting the proposed subdivision **have/have not** been identified on maps submitted as part of the application.
17. The proposed subdivision **will/will not** provide for adequate storm water management.
18. Any lots in the proposed subdivision with frontage on a river, stream, brook, or great pond **have/do not have** a lot depth to shore frontage ratio greater than 5 to 1.
19. The long-term cumulative effects of the proposed subdivision **will/will not** unreasonably increase the great pond's phosphorus concentration during the construction phase and life of the proposed subdivision.
20. If the subdivision crosses municipal boundaries, the proposed subdivision **will/will not** cause unreasonable traffic congestion or unsafe conditions with respect to the use of existing public ways in an adjoining municipality.
21. Timber on the parcel **has/has not** been harvested in violation of liquidation harvesting statutes and rules.

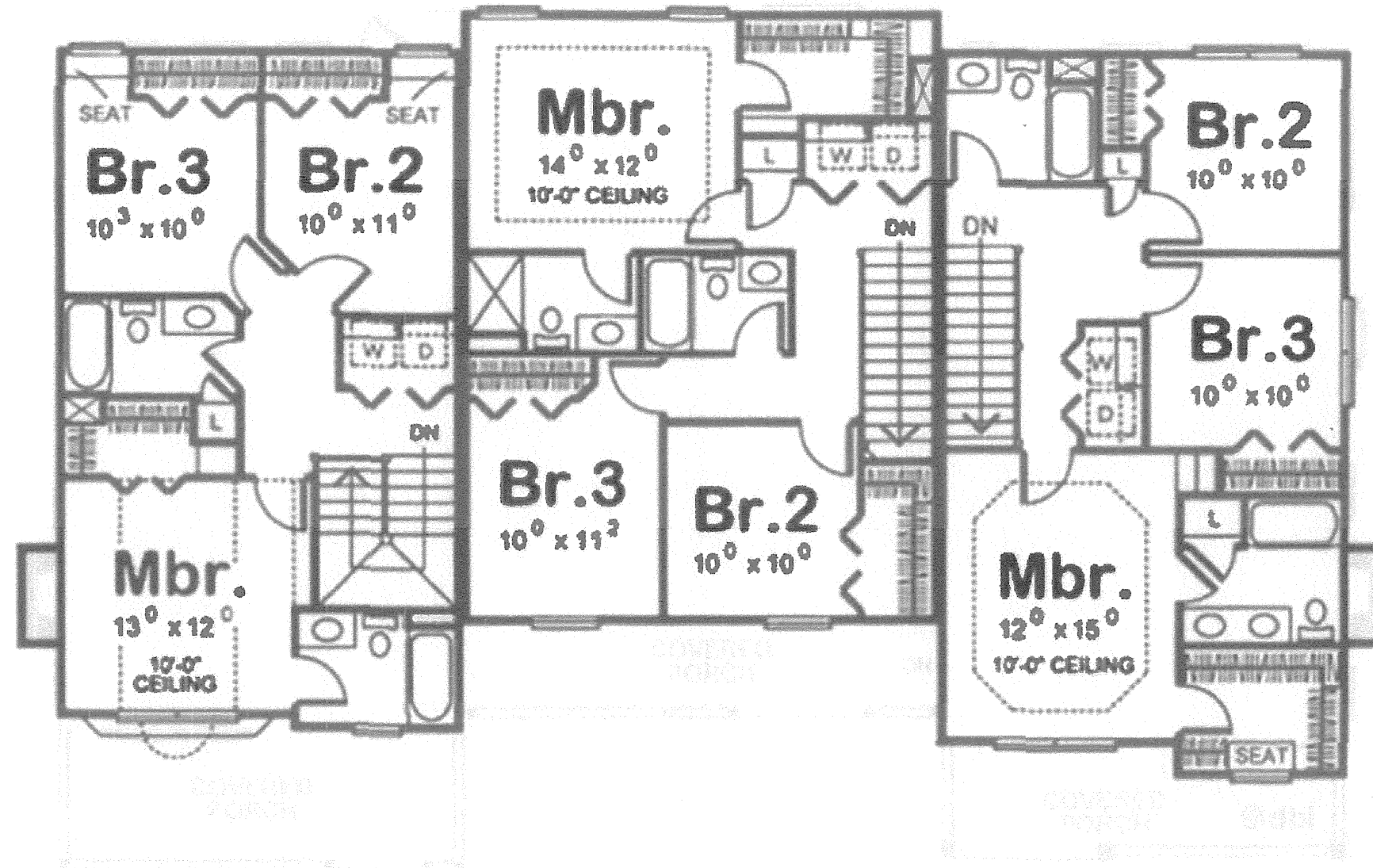
Sketch Plan Submission Requirements	Included/Not Included	Notes
A fully executed and signed copy of the application	see pg. 1 application materials	
Evidence of payment of the application	need	
11 copies of written materials plus 11 sets of maps or drawings	yes	
General Information	Included/Not Included	Notes
Record owner's name, address, and phone number and applicant's name, address and phone number	Lauri Bacheider 865 Oak Hill Road North Yarmouth, ME 04097	
The location of all required building setbacks and buffers	see sheet 1	
Names and addresses of all property owners within 500 feet of any and all property boundaries	see pg. 6 of application	
Sketch map	see sheet 1	
Boundaries of all contiguous property under the control of the owner or applicant	not applicable	
Tax map and lot number	Map 7 Lot 62	
A copy of the deed	see pg. 4 of application	
The name, registration number and seal of the person who prepared the plan	see sheet 1	
Evidence of the applicant's technical and financial capacity	need	This evidence should be in the form of a letter from a bank or other source of financing indicating the name of the project amount of financing proposed.
Existing Conditions	Included/Not Included	Notes
Zoning classification	Village Zone and Groundwater Overlay	
The bearings and length of all property lines of the property to be developed	see survey Atlantic Resource Consultants	
Location and size of any existing sewer and water mains, culverts and drains	see sheet 2 and sheet 3	
Location, names and present widths of existing public and/or private roads	need	Road names and locations shown on site plan, need to provide road widths
The location, dimensions and ground floor elevation of all existing buildings	yes	Architectural drawings provided with most recent submission
The location and dimensions of existing driveways, streets, roads, parking, and loading areas	see sheet 1	
Location of intersecting streets, roads or driveways within two hundred (200) feet of the site	see sheet 1	
The location of open drainage courses, rivers, ponds, wetlands, vernal pools, streams	see sheet 1	
The direction of existing surface water drainage across the site	see sheet 2	
The location, front view, dimensions and lighting of existing signs	need	Details for handicap sign shown on sheet 4. Need details for new sign added south of Parsonage cutoff fixtures added to new buildings
Location and dimensions of any existing easements and copies of existing covenants or deed restrictions	see pg. 4 of application	
The location of the nearest fire hydrant or other water supply for fire protection	see sheet 1	
Proposed Development Activity	Included/Not Included	Notes
Estimated demand for water supply and sewage disposal	see surface wastewater disposal application	
The direction of proposed surface drainage	see sheet 2	Should show direction of surface drainage with arrows
Provisions for handling solid waste	see surface wastewater disposal application	
The location, dimensions and materials to be used in the construction of proposed driveways, parking and loading areas	see sheet 3	
A proposed landscaping and buffering plan	pending	Showing new trees added to the site plan. Applicant will submit landscape planting/buffering schedules and details for final site plan
The location and description of any stream, pond, vernal pool and/or wetland buffers	see sheet 1	The site plan shows a stream buffer
The location, dimensions and ground floor elevation of all existing buildings	yes	Architectural drawings provided with most recent submission
Building elevations	yes	Architectural drawings provided with most

Location, front view, materials and dimensions of proposed signs	need	
Location of all utilities	see sheet 2	
A general description of the proposed use	see written submission	
Driveway and entrance permit	not applicable	
Estimated peak hour traffic	request to waive	This request is likely not applicable to the project
Storm water calculations	request to waive	Only for projects that require a storm water permit from DEP or if PB deems it necessary.
A utility plan	see sheet 2	Utilities are included with the grading and drainage plan
Additional Information	Included/Not Included	Notes
Graphic representations of how the development will look upon completion	not applicable	
A grading plan showing the existing and proposed topography	see sheet 2	
A planting schedule keyed to the site plan	pending	see note 33 above
A storm water drainage and erosion control plan	see erosion control notes	
A groundwater impact analysis	request to waive	The 4 septic systems will produce less than 810 GPD and are separated by over 100 ft. Project is also on public water.
A traffic impact analysis	not applicable	This is only for parking for 50 or more vehicles
A written statement from any utility providing service to the project	need for final plan	Provide letter from Yarmouth Water District
Cost of the proposed development	need for final plan	
Performance guarantees	need for final plan	
Groundwater Protection Overlay	Included/Not Included	Notes
The boundaries of the Groundwater Protection Overlay District	yes	Entire project is within Groundwater Protection Overlay District
The location, size and description of all storage tanks and areas and types of materials to be stored	not applicable	
Location and size, capacity and design of subsurface waste disposal systems and grease traps	not applicable	
Location of nearby wells or surface water bodies	see site plan	
Location of existing or proposed monitoring wells	see site plan	
Locations and dimensions of buildings, parking, streets and roads and any other impervious structures or surfaces	see site plan	
Complete list of all chemical, pesticides, fuels, nutrients and potentially toxic or hazardous materials to be used or stored on the premises	not applicable	
List of equipment to be used, parked, or stored	not applicable	
Groundwater protection and pollution prevention provisions	request to waive	The development will not store any chemicals.
Spill prevention plans	request to waive	This request is likely not applicable. The contractor will provide spill prevention plans prior to construction
Proposed method of performance guarantee	not applicable	
Any restrictions, conditions, covenants and easements	not applicable	
Background water quality data from on site monitoring wells	not applicable	The project contains an existing well, but will be using public water
Any other information to prove activity will not adversely impact groundwater quality	need for final plan	
Other, compliance with Best Management Practices	pending	TBD by CEO or Planning Board
Subdivision Submission Requirements	Included/Not Included	Notes
Type of sewage disposal	see subsurface wastewater disposal application	Using septic
Type of water supply	see subsurface wastewater disposal application	Using public water
The date the plan was prepared, north point, and graphic map scale	see sheet 1	Plan prepared February 2022
A high intensity soil survey	see subsurface wastewater disposal application	Soil profile description and classification
The proposed lot lines with approximate dimensions and lot areas	see sheet 1	
All parcels of land dedicated to public use	not applicable	
The location of any open space to be preserved	not applicable	

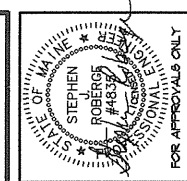
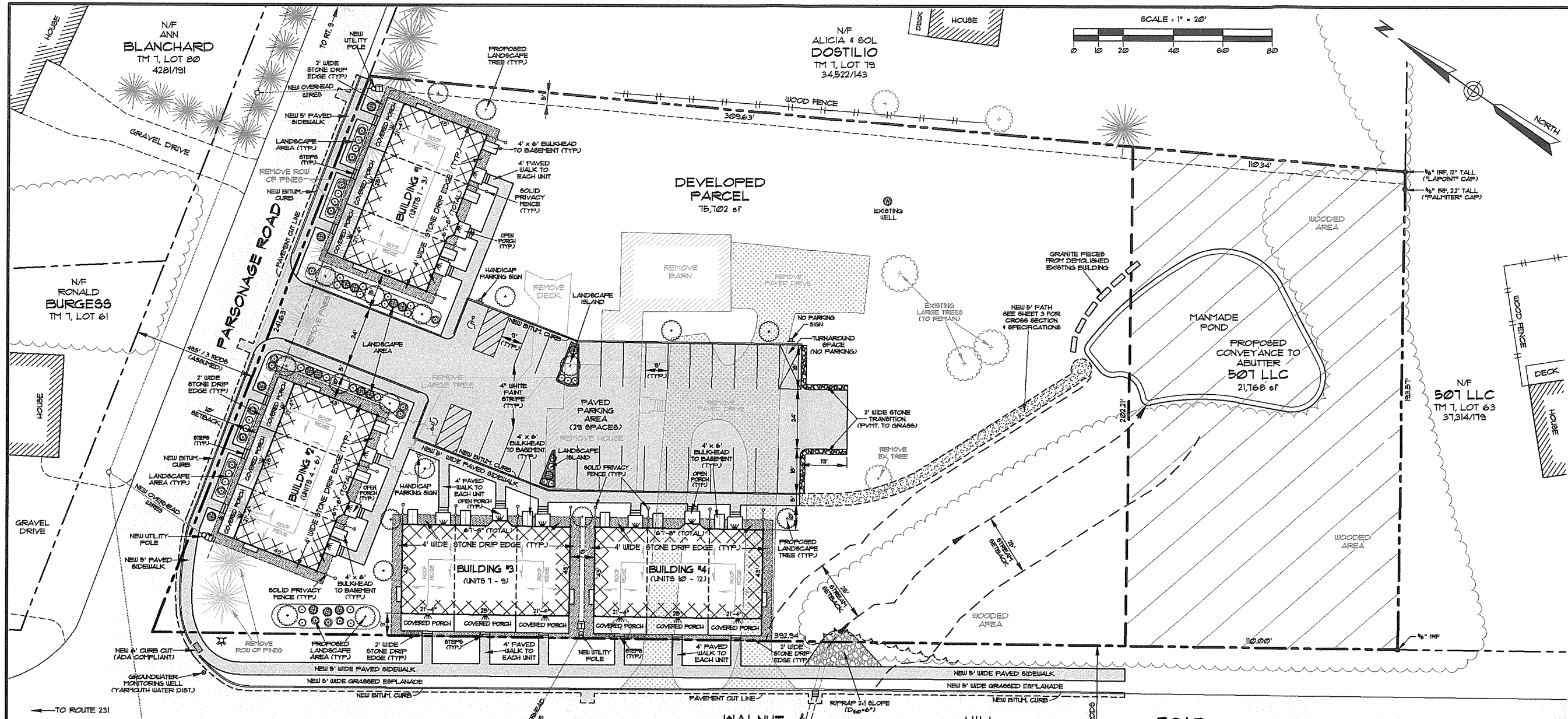
The area on each lot where existing forest cover will be permitted to be removed and converted to lawn, impermeable surfaces, structures, or other cover	not applicable	
Location in 100-year floodplain	not applicable	
Hydrogeologic assessment	request to waive	Using public water and in Groundwater Protection Overlay District. See note 49 above
Areas within or adjacent to the proposed subdivision which have been identified as conservation land, scenic views, and high or moderate value wildlife habitat	not applicable	
Timber harvesting	not applicable	
The location of any zoning boundaries affecting the subdivision	see sheet 1 note 6	In both the Village and Groundwater Protection Overlay. Groundwater Protection Overlay should be labeled on the site plan
Road/street plans	not applicable	
A list of construction and maintenance items that will be completed by the applicant prior to the sale of lots	need for final plan	
A list of construction and maintenance items, with both capital and operating cost estimates	need for final plan	
Estimate of the net increase in taxable assessed valuation at the completion of construction	need for final plan	
The location and method of disposal for land clearing	not applicable	
Outside agency approvals as applicable	need for final plan	A letter from the Fire Chief regarding emergency vehicle access. Applicant has sent a letter to Yarmouth Water District

Building Construction Plans





Site Construction Plans



FOR APPROVALS ONLY

REV.	BY:	DATE:	CHANGES:
1	SJR	3-15-2022	REMOVE 6 SPACES, REVISE CLIENT, ABUTTER NOTES 2 & 11
2	SJR	3-15-2022	ADD LANDSCAPING, UPDATE BUILDING FOOTPRINTS
3	SJR	3-26-2022	ADD RIGHT OF WAY WIDTHS
4	SJR	4-18-2022	UPDATES PER TOWN REVIEW COMMENTS

SJR ENGINEERING, INC.
 16 THURSTON DRIVE
 MONMOUTH, MAINE 04259
 (207) 242-6248 tel
 sjr@sejeng.com

ZONING REQUIREMENTS
 VILLAGE CENTER ZONING DISTRICT
 MINIMUM LOT SIZE = 20,000 sf
 (WITH ADVANCED WASTEWATER TREATMENT SYSTEM)
 STREET FRONTAGE = 101' - 120'
 STRUCTURE SETBACKS -
 FRONT = 0' - 20' max.
 SIDE = 25' max.
 REAR = 5' min.
 MAXIMUM STRUCTURE HEIGHT = 3 STORY, 50' max.

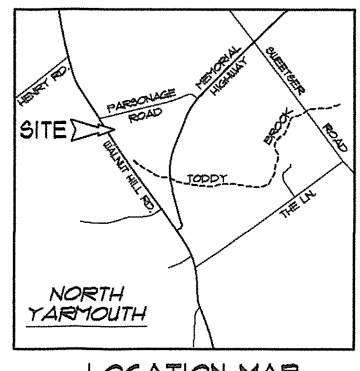
SITE TABULATIONS
 DEVELOPED PARCEL AREA = 15,102 sf / 1.14 ACRES

EXISTING	PROPOSED
BUILDING = 3,530 sf	BUILDINGS/PORCHES/STEPS/BULKHEADS = 12,648 sf
PAVEMENT/PORCHES = 5,940 sf	PAVEMENT/SIDEWALKS = 14,164 sf
IMPERVIOUS AREA = 9,410 sf (62.5%)	IMPERVIOUS AREA = 26,812 sf (35.4%)
GREEN SPACE = 66,232 sf (87.5%)	GREEN SPACE = 48,820 sf (64.6%)

29 PARKING SPACES (INCLUDES 2 HANDICAP)

LEGEND

---	BOUNDARY LINE (SUBJECT PARCEL)
---	BOUNDARY LINE (OTHER)
NF	NOW OR FORMERLY
35200/356	BOOK AND PAGE NUMBER
XX	EXISTING HYDRANT
⊗	EXISTING WATER SHUT OFF
⊕	EXISTING UTILITY POLE WITH OVERHEAD WIRES
⊞	PROPOSED CATCH BASIN
⊞	PROPOSED TRANSFORMER PAD
⊞	NEW WALL MOUNTED EXTERIOR LIGHT
⊞	EXISTING TREE LINE (TO REMAIN)
⊞	EXISTING BUILDING (TO BE REMOVED)
⊞	EXISTING BUILDING (ABUTTER)
⊞	PROPOSED BUILDING
⊞	EXISTING PAVEMENT
⊞	PROPOSED PAVEMENT
⊞	EXISTING PAVEMENT TO BE REMOVED



- NOTES**
- ALL BOOK AND PAGE NUMBERS REFER TO THE CUMBERLAND COUNTRY REGISTRY OF DEEDS.
 - OWNER OF RECORD - 571 LLC
 DEED REFERENCE - BOOK 38201, PAGE 160
 TAX MAP 1, LOT 62
 - TOTAL PARCEL AREA = 97,411 sq. ft. / 2.24 ACRES
 - EXISTING CONDITIONS ARE BASED ON A PLAN ENTITLED "WALNUT HILL ROAD DEVELOPMENT - TOWNHOUSES SITE LAYOUT", DATED AUGUST 15, 2021, PREPARED BY ATLANTIC RESOURCE CONSULTANTS.
 - THE LOCATION, DEPTH SIZE & EXISTENCE OF UNDERGROUND UTILITY LINES, TANKS AND/OR STRUCTURES WAS NOT VERIFIED. CONTRACTOR SHALL CONTACT DISSAFE/ON-TARGET PRIOR TO EXCAVATION TO CONFIRM THE LOCATION OF ALL PUBLIC & PRIVATE UTILITIES WITHIN THE PROJECT AREA.
 - THE PARCEL IS LOCATED IN THE VILLAGE CENTER ZONING DISTRICT AND THE GROUNDWATER PROTECTION OVERLAY ZONE.
 - THE PARCEL IS NOT LOCATED WITHIN A 100-YEAR FLOOD HAZARD AREA AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP, PANEL 230202 00100B, DATED JULY 16, 1991.
 - ALL ON-SITE UTILITIES SHALL BE UNDERGROUND. LOCATION TO BE DETERMINED BY THE UTILITY AUTHORITY.
 - SOILS WITHIN THE SITE'S WATERSHED ARE "HINKLEY LOAMY SAND", 3% - 8% SLOPES, HYDROLOGIC SOIL TYPE 'A'.
 - ALL DISTURBED AREAS NOT PAVED OR BUILT UPON SHALL BE LOAMED, SEEDED & MULCHED.
 - SEE WETLAND DELINEATION REPORT DATED MAY 26, 2021 AND SEPTIC DESIGN ON H-8-2020 FORM 19 DATED MARCH 9, 2022, BOTH BY MARK CENSI ASSOCIATES.

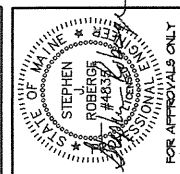
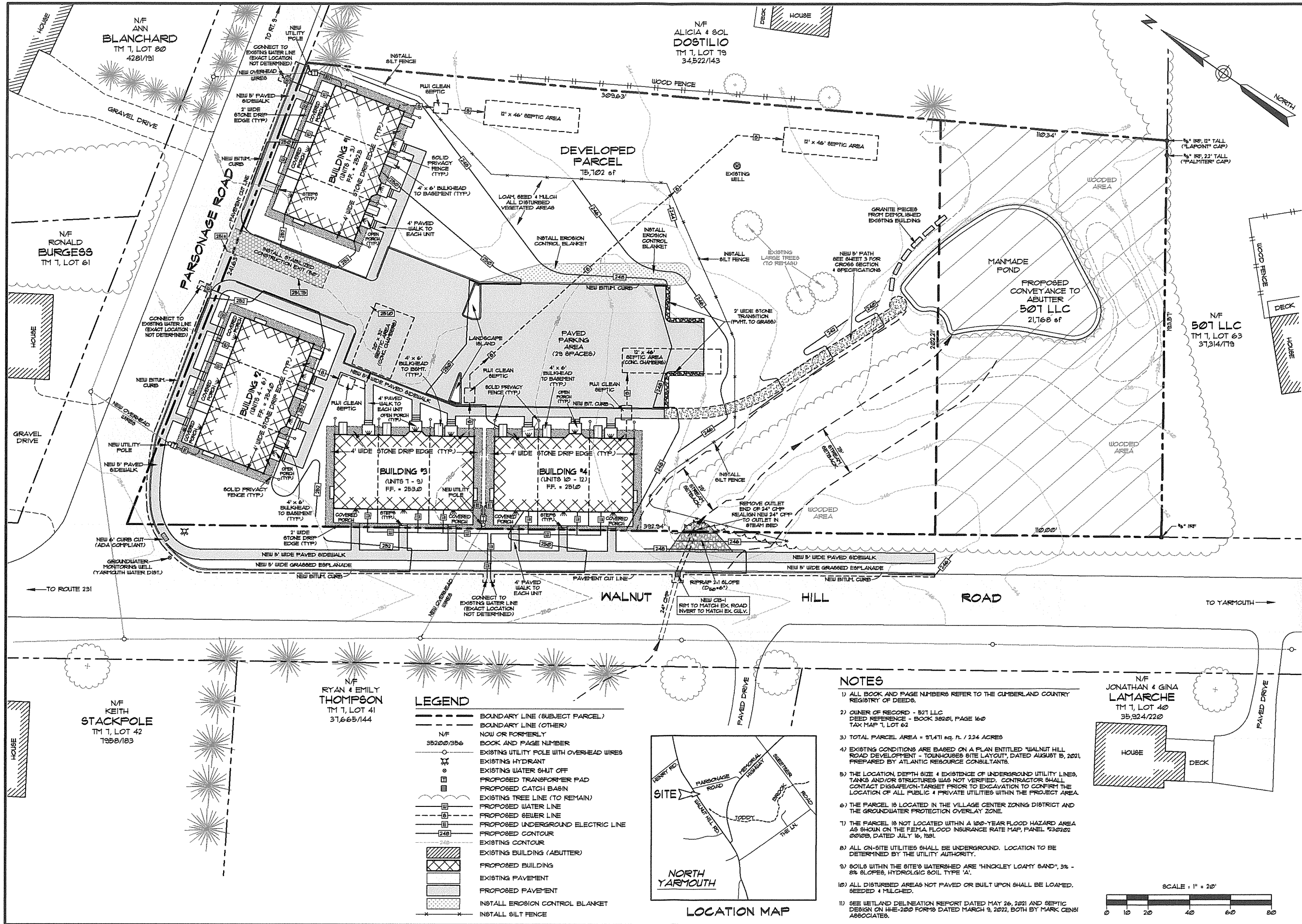
NF JONATHAN & GINA LAMARCHE
 TM 1, LOT 40
 35,924/220

APPROVAL
 APPROVED BY THE TOWN OF NORTH YARMOUTH PLANNING BOARD

DATE: _____ PROJECT: _____
 FEB. 2022 2022-12
 DRAIN BY: _____ SCALE: _____
 SJR 1" = 20'

DATE: _____ CHAIRMAN: _____

SITE & DEMOLITION PLAN
 DEACON HAYES COMMONS
 521 WALNUT HILL ROAD - NORTH YARMOUTH MAINE
 PREPARED FOR
527 LLC
 865 OAK HILL ROAD - NORTH YARMOUTH, ME



REV.	BY	DATE	DESCRIPTION
1	SJR	3-15-2022	UPDATE PER TOWN REVIEW COMMENTS
2	SJR	3-15-2022	UPDATE BUILDING FOOTPRINTS
3	SJR	4-15-2022	REMOVE 6 SPACES, REVISE CLIENT, ABUTTER, NOTES 2 & 11

SJR ENGINEERING, INC.
 15 THURSTON DRIVE
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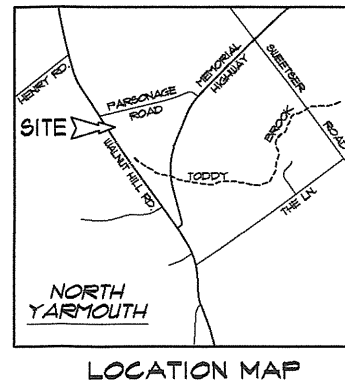
GRADING & EROSION CONTROL PLAN
DEACON HAYES COMMONS
 521 WALNUT HILL ROAD - NORTH YARMOUTH MAINE
 PREPARED FOR
527 LLC
 865 OAK HILL ROAD - NORTH YARMOUTH, ME

DATE	PROJECT
FEB. 2022	2022-12
DRAWN BY	SCALE
SJR	1" = 20'

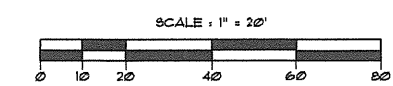
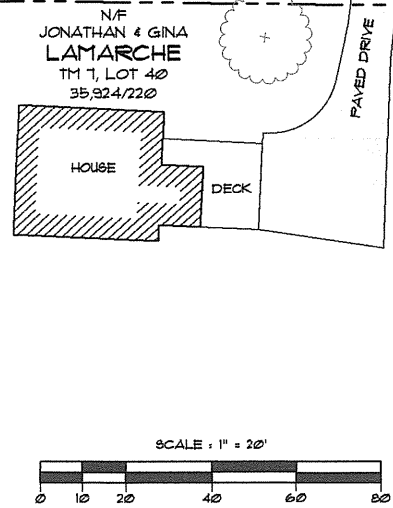
SHEET 2

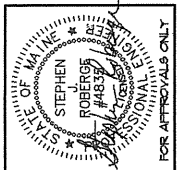
LEGEND

	BOUNDARY LINE (SUBJECT PARCEL)
	BOUNDARY LINE (OTHER)
	N/F BOOK AND PAGE NUMBER
	EXISTING UTILITY POLE WITH OVERHEAD WIRES
	EXISTING HYDRANT
	EXISTING WATER SHUT OFF
	PROPOSED TRANSFORMER PAD
	PROPOSED CATCH BASIN
	EXISTING TREE LINE (TO REMAIN)
	PROPOSED WATER LINE
	PROPOSED SEWER LINE
	PROPOSED UNDERGROUND ELECTRIC LINE
	PROPOSED CONTOUR
	EXISTING CONTOUR
	EXISTING BUILDING (ABUTTER)
	PROPOSED BUILDING
	EXISTING PAVEMENT
	PROPOSED PAVEMENT
	INSTALL EROSION CONTROL BLANKET
	INSTALL SILT FENCE



- NOTES**
- ALL BOOK AND PAGE NUMBERS REFER TO THE CUMBERLAND COUNTRY REGISTRY OF DEEDS.
 - OWNER OF RECORD - 521 LLC DEED REFERENCE - BOOK 38201, PAGE 160 TAX MAP 1, LOT 61
 - TOTAL PARCEL AREA = 51,471 sq. ft. / 2.34 ACRES
 - EXISTING CONDITIONS ARE BASED ON A PLAN ENTITLED 'WALNUT HILL ROAD DEVELOPMENT - TOWNHOUSE SITE LAYOUT', DATED AUGUST 8, 2021, PREPARED BY ATLANTIC RESOURCE CONSULTANTS.
 - THE LOCATION, DEPTH SIZE & EXISTENCE OF UNDERGROUND UTILITY LINES, TANKS AND/OR STRUCTURES WAS NOT VERIFIED. CONTRACTOR SHALL CONTACT DIGSAFE/ON-TARGET PRIOR TO EXCAVATION TO CONFIRM THE LOCATION OF ALL PUBLIC & PRIVATE UTILITIES WITHIN THE PROJECT AREA.
 - THE PARCEL IS LOCATED IN THE VILLAGE CENTER ZONING DISTRICT AND THE GROUNDWATER PROTECTION OVERLAY ZONE.
 - THE PARCEL IS NOT LOCATED WITHIN A 100-YEAR FLOOD HAZARD AREA AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP, PANEL 230702 0202B, DATED JULY 16, 1991.
 - ALL ON-SITE UTILITIES SHALL BE UNDERGROUND. LOCATION TO BE DETERMINED BY THE UTILITY AUTHORITY.
 - SOILS WITHIN THE SITE'S WATERSHED ARE 'HINCKLEY LOAMY SAND', 3% - 8% SLOPES, HYDROLOGIC SOIL TYPE 'A'.
 - ALL DISTURBED AREAS NOT PAVED OR BUILT UPON SHALL BE LOAMED, SEEDED & MULCHED.
 - SEE MET-LAND DELINEATION REPORT DATED MAY 26, 2021 AND SEPTIC DESIGN ON H-5-2020 FOR-18 DATED MARCH 9, 2022, BOTH BY MARK GENI ASSOCIATES.





DATE	PROJECT
FEB. 2022	2022-12
DRAWN BY	SCALE
SJR	N.T.S.

SJR ENGINEERING, INC.
 16 THURSTON DRIVE
 MONMOUTH, MAINE 04259
 (207) 622-1616 tel & fax
 sjr@sjr-engineering.com

CONSTRUCTION NOTES & DETAILS
 DEACON HAYES COMMONS
 521 WALNUT HILL ROAD - NORTH YARMOUTH MAINE
 PREPARED FOR
527 LLC
 865 OAK HILL ROAD - NORTH YARMOUTH, ME

DATE	PROJECT
FEB. 2022	2022-12
DRAWN BY	SCALE
SJR	N.T.S.

SHEET 3

GENERAL NOTES

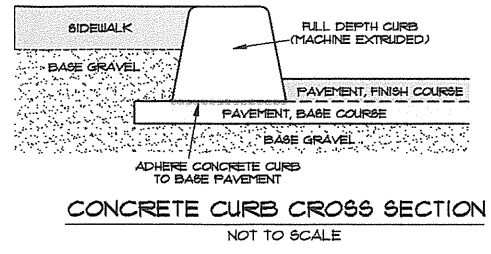
- SEE SHEET 1 FOR SITE SPECIFIC NOTES.
- THE CONTRACT WORK TO BE PERFORMED ON THIS PROJECT CONSISTS OF FURNISHING ALL REQUIRED LABOR, MATERIALS, EQUIPMENT, IMPLEMENTS, PARTS AND SUPPLIES NECESSARY FOR OR APPURTENANT TO, THE INSTALLATION OF CONSTRUCTION IMPROVEMENTS IN ACCORDANCE WITH THESE DRAWINGS AND AS FURTHER ELABORATED IN ANY ACCOMPANYING SPECIFICATIONS.
- THE WORK SHALL BE PERFORMED IN A THOROUGH WORKMANLIKE MANNER. ALL CONTRACTORS TO CONFORM TO ALL APPLICABLE OSHA STANDARDS. ANY REFERENCE TO A SPECIFICATION OR DESIGNATION OF THE AMERICAN SOCIETY FOR TESTING MATERIALS, FEDERAL SPECIFICATIONS, OR OTHER STANDARDS, CODES OR ORDERS, REFERS TO THE MOST RECENT OR LATEST SPECIFICATION OR DESIGNATION.
- ALL CONSTRUCTION WITHIN THE TOWN OF NORTH YARMOUTH RIGHT OF WAY SHALL COMPLY WITH CITY PUBLIC WORKS STANDARDS. ALL UTILITY CONSTRUCTION SHALL CONFORM TO RESPECTIVE UTILITY STANDARDS.
- THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY THE TOWN OF NORTH YARMOUTH PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF AUGUSTA AND/OR MDOT, REQUIRED TO PERFORM ALL THE WORK (STREET OPENINGS, BUILDING PERMITS, ETC.). THE CONTRACTOR SHALL POST ALL BONDS AS REQUIRED, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- PRIOR TO CONSTRUCTION, THE SITE CONTRACTOR IS TO INFORM ALL AREA UTILITY COMPANIES AND GOVERNMENTAL AGENCIES OF PLANNED CONSTRUCTION. THE SITE CONTRACTOR IS REQUIRED TO CONTACT DIG-SAFE (811) AT LEAST 3 BUSINESS DAYS PRIOR TO ANY EXCAVATION TO VERIFY ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS.
- THE PROJECT DRAWINGS ARE GENERALLY SCHEMATIC AND INDICATE THE POSSIBLE LOCATION OF EXISTING UNDERGROUND UTILITIES. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY MAPS, MUNICIPAL RECORD MAPS, AND FIELD SURVEY. IT IS NOT GUARANTEED TO BE CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SERVICES, WHEN THOSE SERVICES ARE TO BE LEFT IN PLACE. THE CONTRACTOR IS TO PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING THE EXCAVATING AND BACKFILLING OPERATIONS. SHOULD ANY UNCHARTERED OR INCORRECTLY CHARTERED UTILITIES BE FOUND, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER IMMEDIATELY FOR DIRECTION BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.
- OSHA REGULATIONS MAKE IT UNLAWFUL TO OPERATE CRANES, BOOMS, HOISTS, ETC. WITHIN TEN FEET (10') OF ANY ELECTRIC LINE. IF THE CONTRACTOR MUST OPERATE CLOSER THAN 10', THE CONTRACTOR MUST CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS BEFORE ENGAGING ON THIS REQUIREMENT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLANS, APPROVALS, AND DETAILS FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL THE SITE CONDITIONS IN THE FIELD AND CONTACT THE DESIGN ENGINEER IF THERE ARE ANY DISCREPANCIES REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT AN APPROPRIATE REVISION CAN BE MADE PRIOR TO BIDDING.
- ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED IN WRITING BY THE OWNER, DESIGN ENGINEER, AND APPROPRIATE GOVERNMENTAL AGENCY PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL RESTORE ALL UTILITY STRUCTURES, PIPE, UTILITIES, PAVEMENT, CURBS, SIDEWALKS, AND LANDSCAPED AREAS DISTURBED BY CONSTRUCTION TO AS GOOD AS BEFORE BEING DISTURBED AS DETERMINED BY THE CITY OF AUGUSTA GEO. ANY DAMAGES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- TRAFFIC CONTROL MEASURES SHALL BE UTILIZED IN ACCORDANCE WITH MAINE DOT STANDARDS. THE CONTRACTOR SHALL PROVIDE, MAINTAIN AND PROTECT TRAFFIC CONTROL DEVICES TO THE EXTENT REQUIRED BY LAW FOR THE PROTECTION OF THE PUBLIC CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, AND UNIFORMED TRAFFIC CONTROL PERSONNEL AS REQUIRED OR ORDERED BY THE DESIGN ENGINEER OR CODE ENFORCEMENT PERSONNEL. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE TOWN. PAVEMENT MARKINGS SHALL BE PAINTED IN ACCORDANCE WITH MDOT SPECIFICATIONS. TWELVE INCH (12") WIDE STOP BAR AND FOUR INCH (4") WIDE STRIPES SHALL BE LOCATED AS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF ALL PRODUCT, MATERIALS AND PLANT SPECIFICATIONS TO THE OWNER AND DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 10 WORKING DAYS FOR REVIEW.
- THE CONTRACTOR SHALL RETAIN AN INDEPENDENT TESTING LABORATORY FOR SOIL AND PAVEMENT MATERIALS AND COMPACTION TESTS AT NO COST TO THE OWNER. RESULTS OF THE TESTS ARE TO BE SUPPLIED TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COSTS ASSOCIATED WITH ANY RECONSTRUCTION AND RE-TESTING OF UNSATISFACTORY SOILS.
- ALL EXCAVATION SHALL BE BACKFILLED TO EXISTING GRADE BEFORE THE END OF THE DAY OR ADEQUATELY PROTECTED FROM DANGER TO HUMANS AND ANIMALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL FIELD LAYOUT. THE OWNER WILL PROVIDE A BENCH MARK AT THE CONSTRUCTION SITE FROM WHICH TO BEGIN LAYOUT.
- THE CONTRACTOR SHALL FURNISH ELECTRICAL POWER, WATER, AND SANITARY FACILITIES FOR HIS EXCLUSIVE USE AT THE CONSTRUCTION SITE. THE CONTRACTOR DEEM THIS ESSENTIAL FOR THE PROPER PERFORMANCE OF THE CONTRACT.
- WORK MAY PROGRESS MONDAY THROUGH SATURDAY 7:00 AM TO 7:00 PM. WORK AT OTHER TIMES MAY PROCEED UPON WRITTEN APPROVAL BY THE OWNER AND THE TOWN OF NORTH YARMOUTH. THE CONTRACTOR SHALL BE REQUIRED TO CONFORM WITH ALL RULES AND REGULATIONS SET FORTH IN THE CITY LAND USE ORDINANCE REGULATIONS.
- THE CONTRACTOR SHALL GUARANTEE THE FAITHFUL REMEDY OF ANY DEFECTS DUE TO FAULTY MATERIALS OR WORKMANSHIP AND GUARANTEE PAYMENT FOR ANY RESULTING DAMAGE WHICH SHALL APPEAR WITHIN A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
- A PRE-CONSTRUCTION CONFERENCE WITH THE OWNER, DESIGNERS, TOWN OFFICIALS AND CONTRACTOR SHALL BE REQUIRED BEFORE ANY CONSTRUCTION OCCURS ON THE PROJECT. DURING CONSTRUCTION, THERE SHALL BE WEEKLY PROGRESS MEETINGS WITH THE OWNER (ON SITE OR TELECONFERENCE) UNTIL PROJECT COMPLETION.
- PROPER IMPLEMENTATION AND MAINTENANCE OF EROSION CONTROL MEASURES ARE OF PARAMOUNT IMPORTANCE FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER, THEIR REPRESENTATIVES, OR STATE/LOCAL/FEDERAL INSPECTORS AT NO ADDITIONAL COST TO THE OWNER.
- ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE THEIR OWN MATERIAL SCHEDULES BASED UPON PLAN REVIEW. ALL SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING THE WORK. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MDOT STANDARD SPECIFICATIONS, LATEST REVISION.

GRADING AND DRAINAGE NOTES

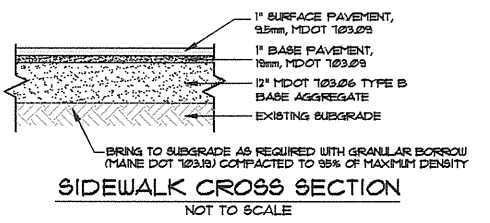
- UNLESS OTHERWISE NOTED, STORM DRAIN PIPE SHALL BE IN ACCORDANCE WITH MDOT SPECIFICATIONS SECTION 609.3 PIPE CULVERTS AND STORM DRAINS. LATEST REVISION WITH THE EXCEPTION THAT THE ONLY ACCEPTABLE TYPES OF PIPE ARE AS FOLLOWS: REINFORCED CONCRETE PIPE, HDPE/SMOOTH INTERIOR CORRUGATED PLASTIC PIPE.
- HDPE/SMOOTH INTERIOR CORRUGATED PLASTIC PIPE (SICP) MAY ONLY BE USED FOR PIPE SIZES 48" DIAMETER AND SMALLER.
- TOPSOIL STRIPPED IN AREAS OF CONSTRUCTION THAT IS SUITABLE FOR REUSE AS LOAM SHALL BE STOCKPILED ON SITE AT A LOCATION DESIGNATED BY THE OWNER. UNSUITABLE SOIL SHALL BE SEPARATED, REMOVED AND DISPOSED OF AT AN APPROVED DISPOSAL LOCATION OFFSITE.
- ALL EXISTING STRUCTURES, FENCING, TREES, ETC. WITHIN THE CONSTRUCTION AREA UNLESS OTHERWISE NOTED TO REMAIN, SHALL BE REMOVED AND DISPOSED OF OFFSITE. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES AND PROJECT SPECIFICATIONS.
- THE SITE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND PIPING ON-SITE OR IN THE RIGHT OF WAY PRIOR TO EXCAVATION. THE CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO GRADING/EXCAVATION START.
- SITE EXCAVATION AND FILL-IN-PLACE TO ESTABLISH THE DESIRED SUB-GRADE SHALL BE SCHEDULED SUCH THAT EROSION CONTROL PRACTICES ARE IN PLACE AND FUNCTIONING DOWN GRADIENT OF THE EARTHMOVING PRIOR TO THE START OF EARTHMOVING ACTIVITIES.
- BASED ON FEMA MAPPING, NO AREA WITHIN THE SITE BOUNDARIES IS IN THE 100 YEAR FLOOD PLAIN.

LAYOUT NOTES

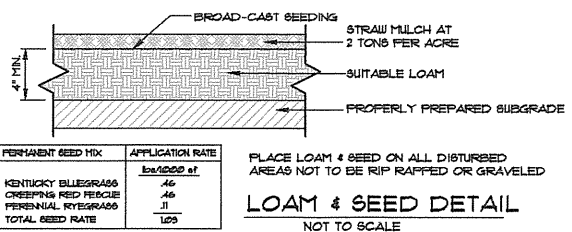
- ALL SIGNS INDICATED ON THE PLANS ARE TO MEET ALL REQUIREMENTS AND STANDARDS OF THE MDOT AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- PROPERTY LINE AND RIGHT OF WAY MONUMENTS SHALL NOT BE DISTURBED BY CONSTRUCTION. IF DISTURBED, THEY SHALL BE RESET TO THEIR ORIGINAL LOCATIONS AT THE CONTRACTORS EXPENSE BY A MAINE PROFESSIONAL LAND SURVEYOR.



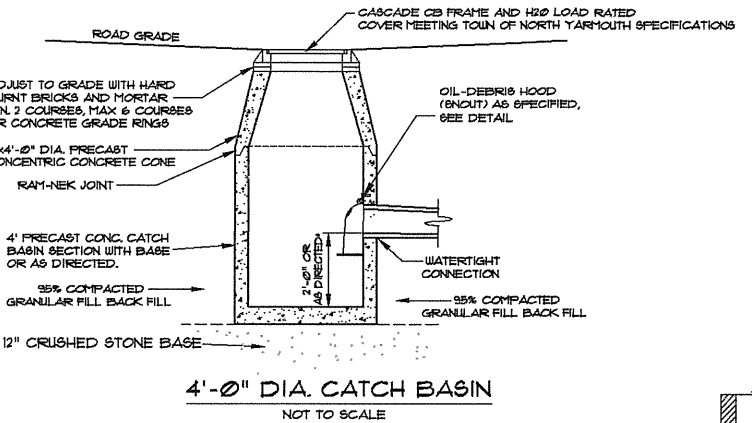
CONCRETE CURB CROSS SECTION
NOT TO SCALE



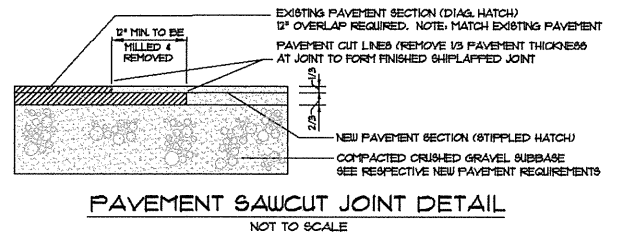
SIDEWALK CROSS SECTION
NOT TO SCALE



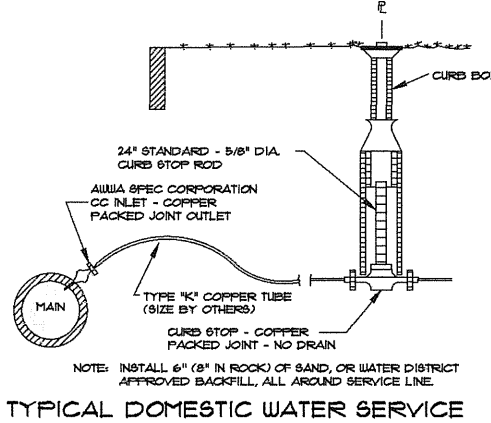
LOAM & SEED DETAIL
NOT TO SCALE



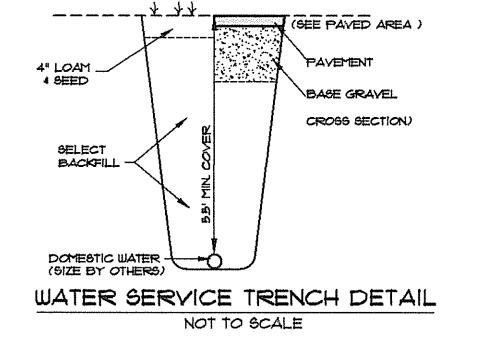
4'-0" DIA. CATCH BASIN
NOT TO SCALE



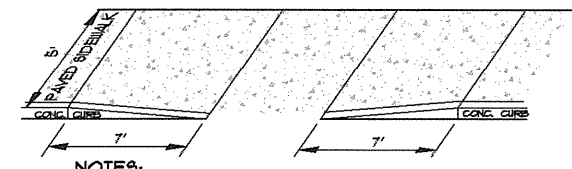
PAVEMENT SAWCUT JOINT DETAIL
NOT TO SCALE



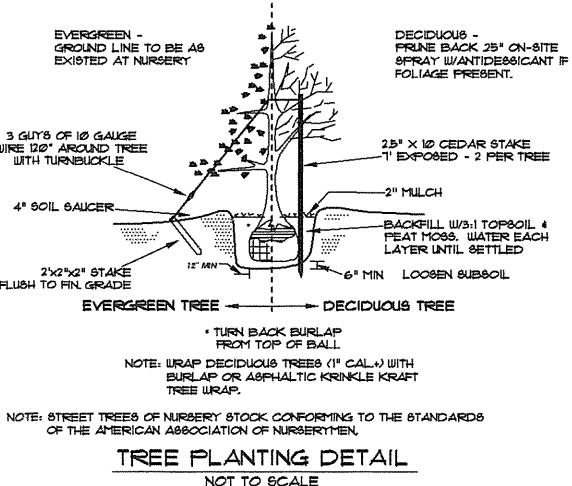
TYPICAL DOMESTIC WATER SERVICE
NOT TO SCALE



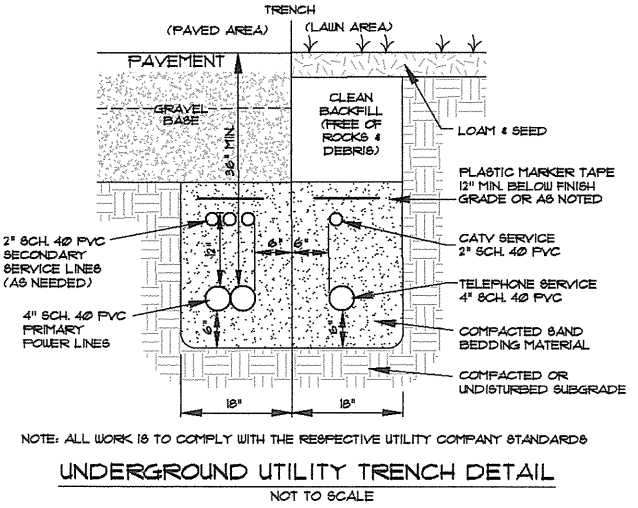
WATER SERVICE TRENCH DETAIL
NOT TO SCALE



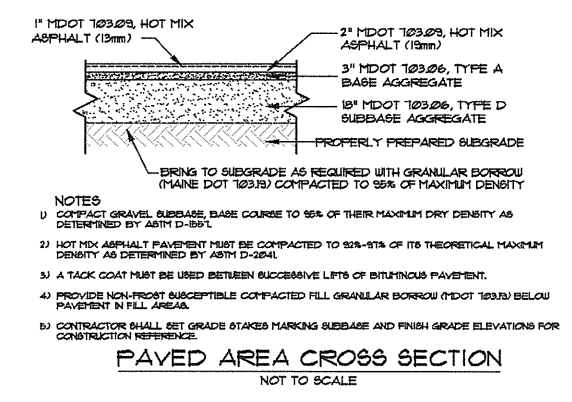
SIDEWALK TIPDOWN DETAIL
NOT TO SCALE



TREE PLANTING DETAIL
NOT TO SCALE



UNDERGROUND UTILITY TRENCH DETAIL
NOT TO SCALE



PAVED AREA CROSS SECTION
NOT TO SCALE

- COMPACT GRANULAR SUBBASE, BASE COURSE TO 95% OF THEIR MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-2957.
- HOT MIX ASPHALT PAVEMENT MUST BE COMPACTED TO 92%-97% OF ITS THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM D-2944.
- A TACK COAT MUST BE USED BETWEEN SUCCESSIVE LIFTS OF BITUMINOUS PAVEMENT.
- PROVIDE NON-FROST SUSCEPTIBLE COMPACTED FILL GRANULAR BORROW (MDOT 103.19) BELOW PAVEMENT IN FILL AREAS.
- CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

Superhumus
Jay, Maine

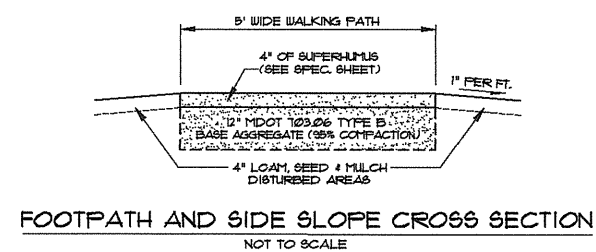
PRODUCT INFORMATION:
Orizec in the landscape industry, Superhumus is processed from a blend of fine bark, forest organic matter, and a small amount of sand and fine stone. These natural ingredients are washed off of logs in a wood yard water flume in Jay, Maine. Superhumus is a weed seed free, screened (1/16"), approved for Organic Landscaping, and has been used extensively as a container mix, landscape and trail mulch, and in the construction of walkways, and rain gardens/bioretention soils.

USE RECOMMENDATIONS:
Soil amendment: Mix 10-30% uniformly by volume. Add additional fertilizer as needed.
Container growing: Use aged Superhumus for container growing of many ornamentals and in custom blended potting mixes.
Ornamental Mulch: Apply an even layer 2-4" deep to achieve weed suppression & natural appearance.
Trail Mulch: Provides root protection & soft footing on walking/biking trails.
Wetland Use: Weed free and rich in organic matter, Superhumus closely simulates the characteristics of wetland soil. Use 100% or in a soil:Superhumus blend.
Bio-retention Soil: Apply Superhumus to meet organic matter specifications of soil filter/rain garden media. Typical applications utilize 200-300% Superhumus by volume.
Slope stabilizer: Apply 3" to soil surfaces to effectively stabilize slopes.

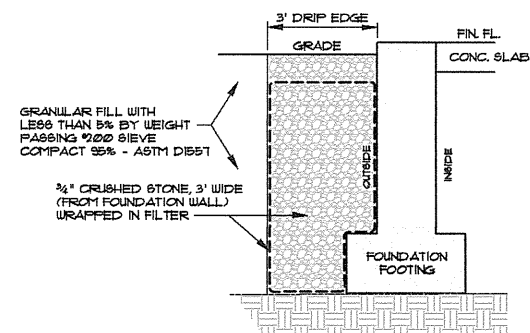
ADDITIONAL INFORMATION:
Feed Stocks: Forest soil, bark, organic matter, sand & fine stone.
Classifications: Available for use in ME, NH, MA, VT, & CT. Approved for Organic growing (OVGFA).
Services/Support: Additional analyses and specifications available.

Casella Organics, 110 Main Street, Suite 1308, Saco, ME 04072 800-933-6474
Hann, ME 800-287-9947
Udell, ME 800-491-1871
Concord, NH 603-224-6482
Clifton Park, NY 518-383-0137
Chateaugay, NY 518-457-6436

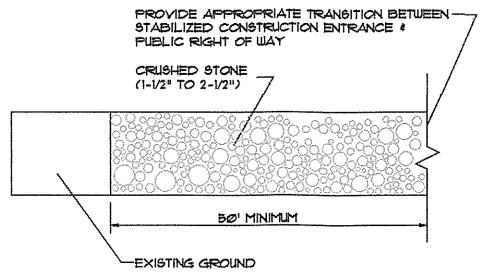
SUPERHUMUS SPECIFICATION SHEET



FOOTPATH AND SIDE SLOPE CROSS SECTION
NOT TO SCALE



**FOUNDATION UNDERDRAIN DETAIL
STONE DRIP EDGE**
NOT TO SCALE



1. STONE SIZE - AASHTO DESIGNATION M 43, SIZE 1/2" (2 1/2" - 1 1/2") USE CRUSHED STONE
2. LENGTH - AS EFFECTIVE BUT NOT LESS THAN 50'
3. THICKNESS - NOT LESS THAN 8"
4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS
5. WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS, OR OTHER APPROVED METHODS.
6. MAINTENANCE - THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURED USES TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT OF WAYS MUST BE REMOVED IMMEDIATELY.

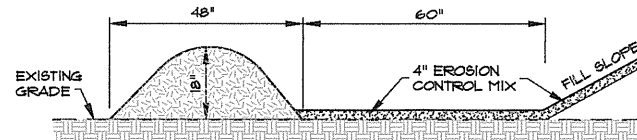
STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

THE FILTER BERM SHALL CONSIST OF A WOOD WASTE COMPOST/BARK MULCH MIX OR RECYCLED COMPOSTED BARK FLUME GRIT AND FRAGMENTED WOOD GENERATED FROM WATER FLUME LOG HANDLING SYSTEMS. COMPARABLE COMPOSTED MIXES CAN BE USED UPON WRITTEN APPROVAL OF THE ENGINEER.

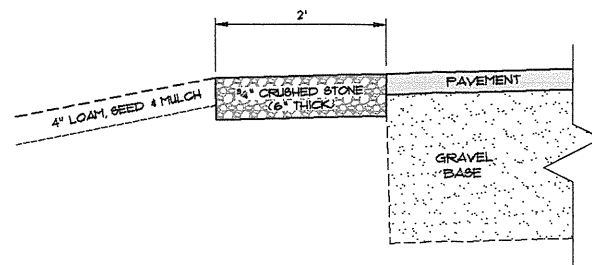
THE MIX SHALL CONFORM TO THE FOLLOWING: pH BETWEEN 5.0-8.0, PARTICLE SIZE - 100% PASSING THROUGH A 6" SCREEN AND 80% RETAINED ON A 3/4" SCREEN, SOLUBLE SALTS CONTENT SHALL BE LESS THAN 4.0 mmhos/cm.

THE COMPOSTED BERM SHALL BE PLACED, UNCOMPACTED, ALONG A RELATIVELY LEVEL CONTOUR.

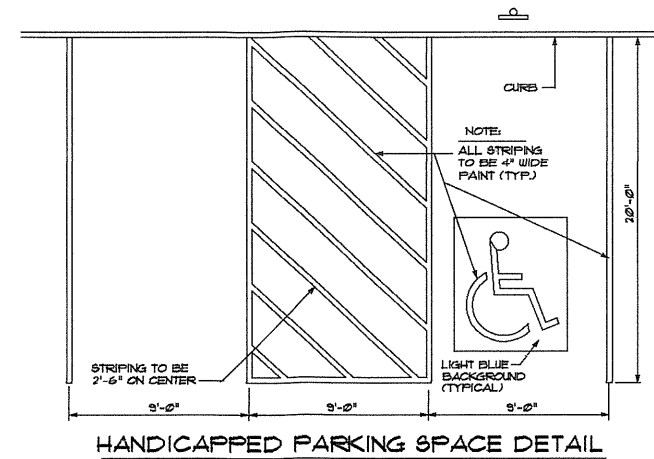
THE BERM MAY BE USED IN COMBINATION WITH SILT FENCE TO IMPROVE SEDIMENT REMOVAL AND PREVENT CLOGGING OF THE BERM BY LARGER SEDIMENT PARTICLES (SILT FENCE PLACED ON THE UPHILL SIDE OF BERM).



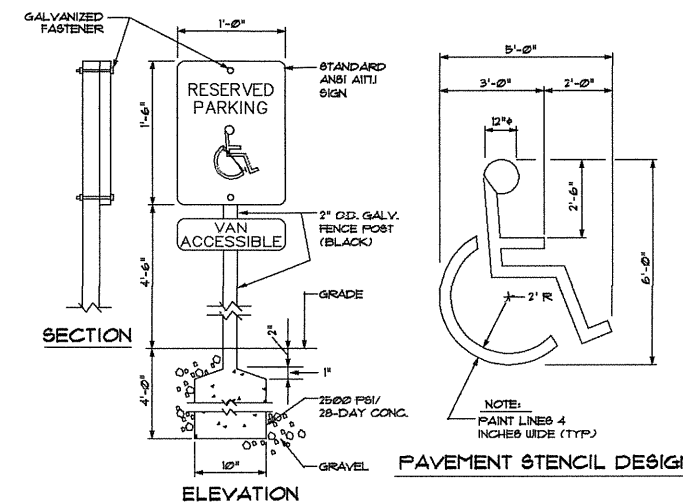
EROSION CONTROL FILTER BERM
NOT TO SCALE



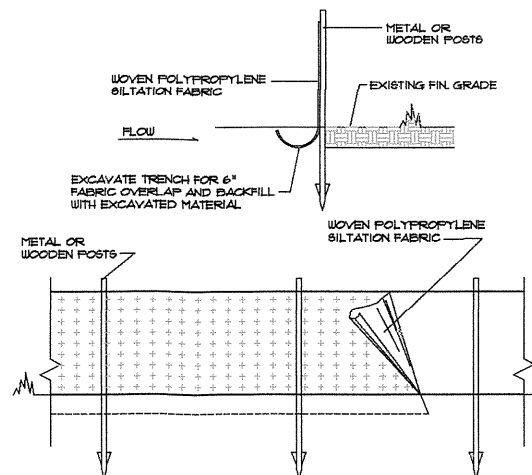
**STONE TRANSITION AREA
PAVEMENT TO GRASS**
NOT TO SCALE



HANDICAPPED PARKING SPACE DETAIL
NOT TO SCALE



HANDICAP SIGN DETAIL
NOT TO SCALE



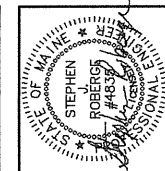
NOTES
REFERENCE IS MADE TO THE BEST MANAGEMENT PRACTICE FOR EROSION AND SEDIMENT CONTROL - B-1 SEDIMENT BARRIERS.
SILTATION FABRIC WITH INTEGRAL MESH AND POSTS MAY BE USED.
EROSION CONTROL FILTER BERM IS AN ACCEPTABLE ALTERNATIVE TO SILT FENCING.

SILT FENCE DETAIL
NOT TO SCALE

SJR ENGINEERING, INC.
16 THURSTON DRIVE
MONMOUTH, MAINE 04259
(207) 622-1616 tel & fax
steve@s.sjreng.com

CONSTRUCTION DETAILS
KENNEY COMMONS
521 WALNUT HILL ROAD - NORTH YARMOUTH MAINE
PREPARED FOR
MAINE CAPITAL MORTGAGE, LLC
4 CITY CENTER - PORTLAND, MAINE 04101

DATE	PROJECT
FEB. 2022	2022-12
DRAWN BY	SCALE
SJR	N.T.S.



FOR APPROVALS ONLY

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SJR ENGINEERING, INC.



REV:	BY:	DATE:	CHANGES:

SJR ENGINEERING, INC.
 16 THURSTON DRIVE
 MONMOUTH, MAINE 04253
 (207) 242-6248 tel
 steves@sjr.org

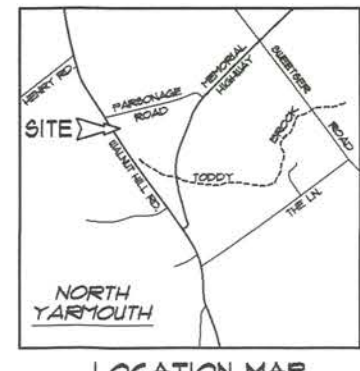
AERIAL SITE PLAN
DEACON HAYES COMMONS
 521 WALNUT HILL ROAD - NORTH YARMOUTH MAINE
 PREPARED FOR
527 LLC
 665 OAK HILL ROAD - NORTH YARMOUTH, ME

ZONING REQUIREMENTS
VILLAGE CENTER ZONING DISTRICT
 MINIMUM LOT SIZE = 20,000 sf (WITH ADVANCED WASTEWATER TREATMENT SYSTEM)
 STREET FRONTAGE = 10' - 100'
 STRUCTURE SETBACKS -
 FRONT = 0' - 20' max.
 SIDE = 20' max.
 REAR = 5' min.
 MAXIMUM STRUCTURE HEIGHT = 3 STORY, 50' max.

SITE TABULATIONS
 DEVELOPED PARCEL AREA = 15,102 sf / 174 ACRES
EXISTING
 BUILDING = 3530 sf
 PAVEMENT/PORCHES = 5,340 sf
 IMPERVIOUS AREA = 9,470 sf (12.5%)
 GREEN SPACE = 6,632 sf (87.5%)
PROPOSED
 BUILDINGS/PORCHES/STEPS/BULKHEADS = 12,648 sf
 PAVEMENT/SIDEWALKS = 14,164 sf
 IMPERVIOUS AREA = 26,812 sf (35.4%)
 GREEN SPACE = 48,990 sf (64.6%)
 26 PARKING SPACES (INCLUDES 2 HANDICAP)

LEGEND

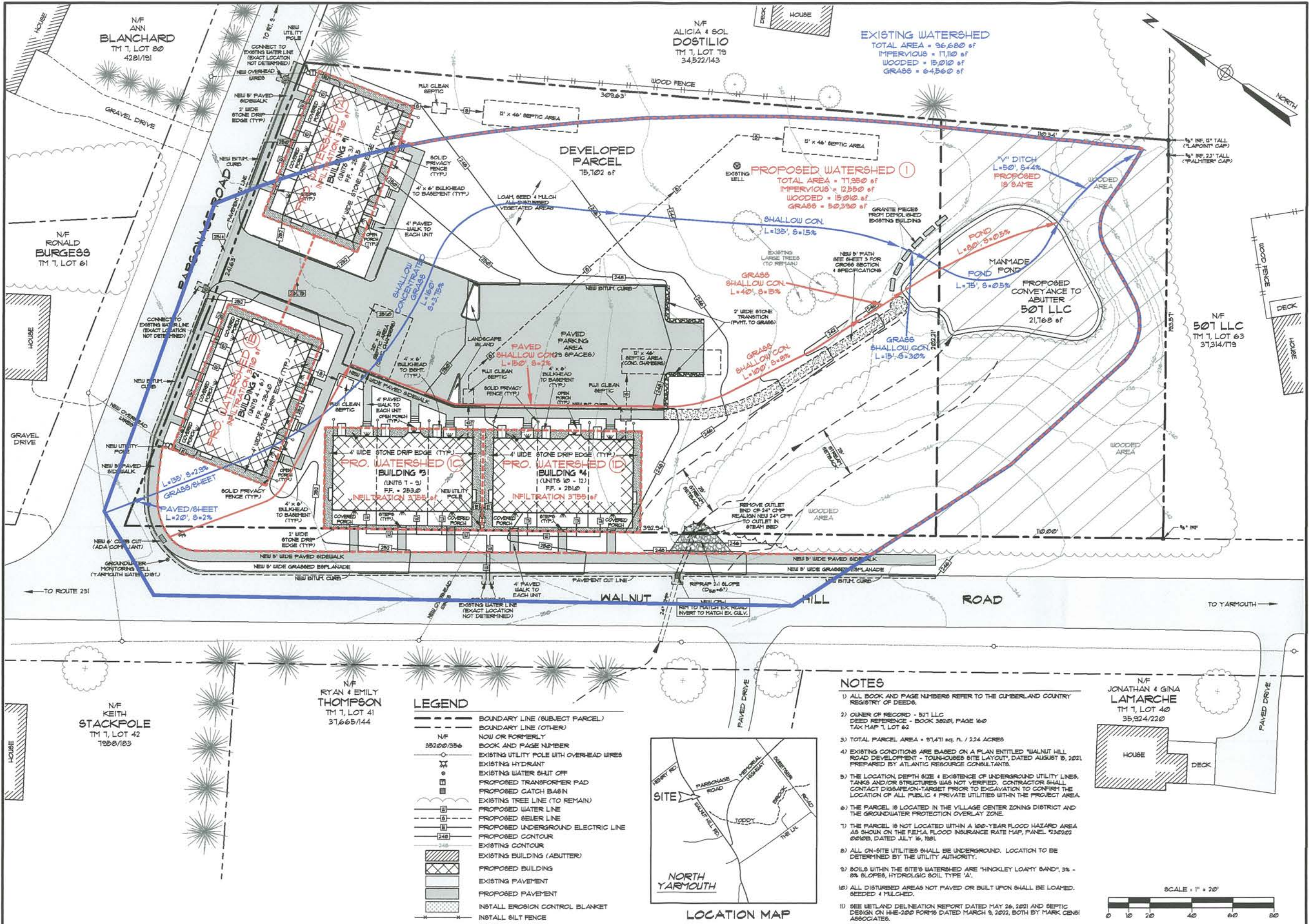
---	BOUNDARY LINE (SUBJECT PARCEL)
---	BOUNDARY LINE (OTHER)
NF	NOW OR FORMERLY
35200/356	BOOK AND PAGE NUMBER
⊗	EXISTING HYDRANT
⊗	EXISTING WATER SHUT OFF
○	EXISTING UTILITY POLE WITH OVER-HEAD WIRES
□	PROPOSED CATCH BASIN
⊕	PROPOSED TRANSFORMER PAD
⊕	NEW WALL MOUNTED EXTERIOR LIGHT
⊕	EXISTING TREE LINE (TO REMAIN)
⊕	EXISTING BUILDING (TO BE REMOVED)
⊕	EXISTING BUILDING (ABUTTER)
⊕	PROPOSED BUILDING
⊕	EXISTING PAVEMENT
⊕	PROPOSED PAVEMENT
⊕	EXISTING PAVEMENT TO BE REMOVED



- NOTES**
- ALL BOOK AND PAGE NUMBERS REFER TO THE CUMBERLAND COUNTRY REGISTRY OF DEEDS.
 - OWNER OF RECORD - 527 LLC
 DEED REFERENCE - BOOK 38201, PAGE 160
 TAX MAP T, LOT 62
 - TOTAL PARCEL AREA = 91,471 sq. ft. / 224 ACRES
 - EXISTING CONDITIONS ARE BASED ON A PLAN ENTITLED "WALNUT HILL ROAD DEVELOPMENT - TOWNHOUSES SITE LAYOUT", DATED AUGUST 8, 2021, PREPARED BY ATLANTIC RESOURCE CONSULTANTS.
 - THE LOCATION, DEPTH AND SIZE OF UNDERGROUND UTILITY LINES, TANKS AND/OR STRUCTURES WAS NOT VERIFIED. CONTRACTOR SHALL CONTACT DIGSAFE/ON-TARGET PRIOR TO EXCAVATION TO CONFIRM THE LOCATION OF ALL PUBLIC & PRIVATE UTILITIES WITHIN THE PROJECT AREA.
 - THE PARCEL IS LOCATED IN THE VILLAGE CENTER ZONING DISTRICT AND THE GROUNDWATER PROTECTION OVERLAY ZONE.
 - THE PARCEL IS NOT LOCATED WITHIN A 100-YEAR FLOOD HAZARD AREA AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP, PANEL #360202 0010B, DATED JULY 16, 1981.
 - ALL ON-SITE UTILITIES SHALL BE UNDERGROUND. LOCATION TO BE DETERMINED BY THE UTILITY AUTHORITY.
 - SOILS WITHIN THE SITE'S WATERSHED ARE "HINKLEY LOAMY SAND", 3% - 8% SLOPES, HYDROLOGIC SOIL TYPE 'A'.
 - ALL DISTURBED AREAS NOT PAVED OR BUILT UPON SHALL BE LOANED, SEEDDED & MULCHED.
 - SEE WETLAND DELINEATION REPORT DATED MAY 26, 2021 AND SEPTIC DESIGN ON 14-E-250 FORMS DATED MARCH 5, 2022, BOTH BY MARK CENNI ASSOCIATES.

APPROVAL
 APPROVED BY THE TOWN OF NORTH YARMOUTH PLANNING BOARD

DATE	PROJECT
4-18-2022	2022-12
DRAWN BY	SCALE
SJR	1" = 20'
DATE	CHAIRMAN



REV.	BY:	DATE:	CHANGES:

SJR ENGINEERING, INC.
 16 THURSTON DRIVE
 MONMOUTH, MAINE 04259
 (207) 242-6248 Tel
 steve@sjeeng.com

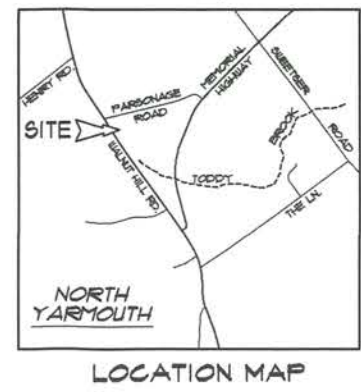
WATERSHED PLAN
DEACON HAYES COMMONS
 821 WALNUT HILL ROAD - NORTH YARMOUTH MAINE
 PREPARED FOR
527 LLC
 265 OAK HILL ROAD - NORTH YARMOUTH, ME

DATE	PROJECT
4-18-2022	2022-12
DRAWN BY	SCALE
SJR	1" = 20'

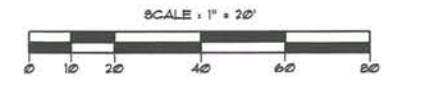
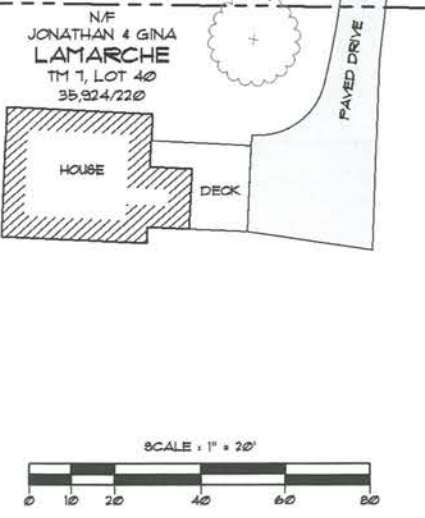
SHEET WS-1

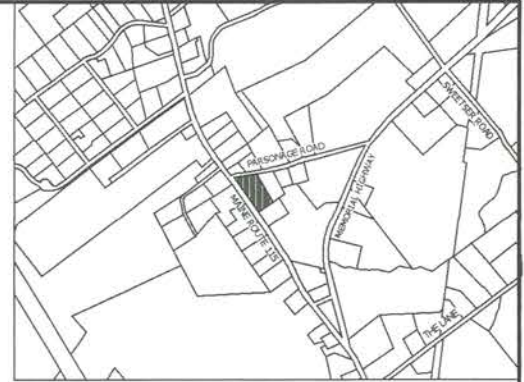
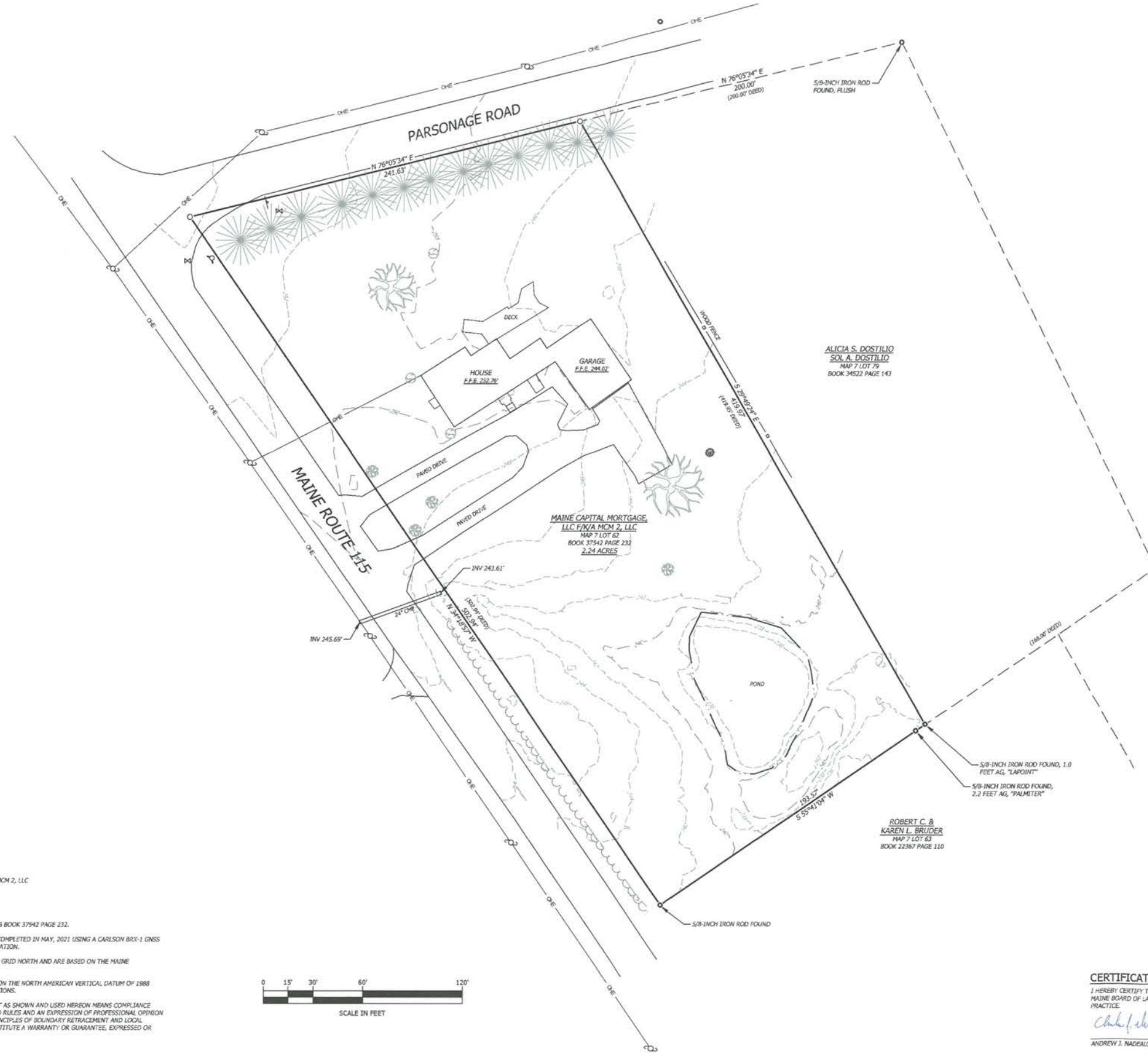
LEGEND

---	BOUNDARY LINE (SUBJECT PARCEL)
---	BOUNDARY LINE (OTHER)
N/F	NOW OR FORMERLY
35202/356	BOOK AND PAGE NUMBER
○	EXISTING UTILITY POLE WITH OVERHEAD WIRES
⊗	EXISTING HYDRANT
⊕	EXISTING WATER SHUT OFF
⊞	PROPOSED TRANSFORMER PAD
⊠	PROPOSED CATCH BASIN
⊡	EXISTING TREE LINE (TO REMAIN)
⊢	PROPOSED WATER LINE
⊣	PROPOSED SEWER LINE
⊤	PROPOSED UNDERGROUND ELECTRIC LINE
⊥	PROPOSED CONTOUR
248	EXISTING CONTOUR
⊞	EXISTING BUILDING (ADJUTER)
⊞	PROPOSED BUILDING
⊞	EXISTING PAVEMENT
⊞	PROPOSED PAVEMENT
⊞	INSTALL EROSION CONTROL BLANKET
⊞	INSTALL SILT FENCE



- NOTES**
- ALL BOOK AND PAGE NUMBERS REFER TO THE CLIMBERLAND COUNTRY REGISTRY OF DEEDS.
 - OWNER OF RECORD - 527 LLC
DEED REFERENCE - BOOK 38201, PAGE 160
TAX MAP T, LOT 62
 - TOTAL PARCEL AREA = 57,471 sq. ft. / 2.24 ACRES
 - EXISTING CONDITIONS ARE BASED ON A PLAN ENTITLED "WALNUT HILL ROAD DEVELOPMENT - TOWNHOUSE SITE LAYOUT" DATED AUGUST 9, 2021, PREPARED BY ATLANTIC RESOURCE CONSULTANTS.
 - THE LOCATION, DEPTH SIZE & EXISTENCE OF UNDERGROUND UTILITY LINES, TANKS AND/OR STRUCTURES WAS NOT VERIFIED. CONTRACTOR SHALL CONTACT DIGSAFE/ON-TARGET PRIOR TO EXCAVATION TO CONFIRM THE LOCATION OF ALL PUBLIC & PRIVATE UTILITIES WITHIN THE PROJECT AREA.
 - THE PARCEL IS LOCATED IN THE VILLAGE CENTER ZONING DISTRICT AND THE GROUNDWATER PROTECTION OVERLAY ZONE.
 - THE PARCEL IS NOT LOCATED WITHIN A 100-YEAR FLOOD HAZARD AREA AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP, PANEL 930202 0202S, DATED JULY 16, 1981.
 - ALL ON-SITE UTILITIES SHALL BE UNDERGROUND. LOCATION TO BE DETERMINED BY THE UTILITY AUTHORITY.
 - SOILS WITHIN THE SITE'S WATERSHED ARE "HINKLEY LOAMY SAND", 3% - 8% SLOPES, HYDROLOGIC SOIL TYPE 'A'.
 - ALL DISTURBED AREAS NOT PAVED OR BUILT UPON SHALL BE LOAMED, SEEDED & MULCHED.
 - SEE SET-LAND DELINEATION REPORT DATED MAY 26, 2021 AND SEPTIC DESIGN ON 14E-2020 FORM DATED MARCH 9, 2022, BOTH BY MARK CENNI ASSOCIATES.





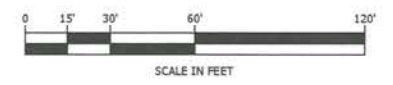
VICINITY MAP

LEGEND

- IRON ROD OR PIPE FOUND (SEE PLAN FOR DESCRIPTION)
- DECIDUOUS TREE
- CONIFEROUS TREE
- WATER GATE VALVE
- HYDRANT
- UTILITY POLE
- WELL
- PROPERTY BOUNDARY
- ABUTTING PROPERTY BOUNDARY
- OVERHEAD ELECTRIC
- CONTOUR, MINOR INTERVAL
- CONTOUR, MINOR INTERVAL

GENERAL NOTES

1. OWNER OF RECORD:
MAINE CAPITAL MORTGAGE, LLC F/K/A MCM 2, LLC
4 CITY CENTER
PORTLAND, ME 04101
2. REFERENCE DEED:
CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 37542 PAGE 232.
3. THIS PLAN IS BASED ON A FIELD SURVEY COMPLETED IN MAY, 2021 USING A CARLSON BRX-1 GNSS AND LEICA TPS SERIES ROBOTIC TOTAL STATION.
4. THE BEARINGS SHOWN HEREON REFER TO GRID NORTH AND ARE BASED ON THE MAINE COORDINATE SYSTEM.
5. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND ARE BASED ON STATIC GPS OBSERVATIONS.
6. THE WORD "CERTIFY" OR "CERTIFICATION" AS SHOWN AND USED HEREON MEANS COMPLIANCE WITH APPLICABLE LAND SURVEY LAWS AND RULES AND AN EXPRESSION OF PROFESSIONAL OPINION BASED ON THE FACTS OF THE SURVEY, PRINCIPLES OF BOUNDARY RETRACEMENT AND LOCAL STANDARD OF CARE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.



ALICIA S. DOSTILLO
SOL A. DOSTILLO
MAP 7 LOT 79
BOOK 34522 PAGE 143

MAINE CAPITAL MORTGAGE,
LLC F/K/A MCM 2, LLC
MAP 7 LOT 62
BOOK 37542 PAGE 232
2.24 ACRES

ROBERT C. &
KAREN L. BRUDER
MAP 7 LOT 63
BOOK 22367 PAGE 110

5/8-INCH IRON ROD FOUND, 1.0 FEET AG, "LAPPOINT"
5/8-INCH IRON ROD FOUND, 2.2 FEET AG, "PALMITER"

CERTIFICATION:

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY CONFORMS WITH THE MAINE BOARD OF LAND SURVEYORS RULES, CHAPTER 90: STANDARDS OF PRACTICE.

Andrew J. Nadeau
ANDREW J. NADEAU, PLS 2325 DATE 5/18/21

horizons Engineering
NEWPORT VT • LITTLETON NH • NEW LONDON NH
PORTFRET VT • KENNEBUNK ME • CONWAY NH

BOUNDARY & EXISTING CONDITIONS SURVEY MADE FOR
ATLANTIC RESOURCE CONSULTANTS
OF PROPERTY OF
MAINE CAPITAL MORTGAGE, LLC
MAINE ROUTE 115 AND PARSONAGE ROAD
NORTH YARMOUTH - MAINE
NORTH YARMOUTH MAP 7 LOT 62
DEED BOOK 37542 PAGE 232

NO.	DATE	REVISION DESCRIPTION	ENG	DWG

DATE: 5/6/2021	PROJECT #: 5-21100
SURVY BY: JDN/NFN	DRAWN BY: JDN
CHECKD BY: AJN	ARCHIVE #: H-___

STATE OF MAINE
ANDREW J. NADEAU
2325
PROFESSIONAL
LAND SURVEYOR

SHEET 1 OF 1