

June 27, 2022

North Yarmouth Planning Board
10 Village Square Road
North Yarmouth, Maine



Re: Proposed Deacon Hayes Commons, Parsonage/Walnut Hill Roads

Dear Board Members,

We have attached updated plans and provided additional information as requested by the Planning Board during the June meeting. Changes with this submission include:

1. Additions of property lot lines for Lots 1 thru 4 including a common area.
2. Addition of a subdivision plan suitable for Planning Board signatures and recording in the registry.
3. Building unit numbers have been added.
4. Units 8 and 11 are designated to be "Affordable Housing".
5. Updated water service lines going to each building. The domestic water lines are to be 1" diameter. The fire suppression line size (4" or 6") will be determined at a later date prior to building permit application.
6. The existing 12" water main has been added to the plan along both Walnut Hill and Parsonage Roads.
7. Updated section concerning septic tank testing.
8. Fire Chief comments letter.
9. Existing Walnut Hill and Parsonage Road widths added to plans.
10. Drainage arrows added to plan.
11. Extension of the proposed sidewalk to the property corner along Walnut Hill Road has been added.
12. Snow storage area added to the plans.
13. Relocated and added additional parking lot trees.
14. Added propane tanks for each building to the plans.
15. We had added additional material pertaining to Maintenance Items pertaining to the Municipality, an estimated net increase in taxable assessed valuation, Performance Guarantee estimate, additional language to the HOA, and cost of development.

We hope you will find this additional information satisfactory and determine the application submittal as complete for further review by the Planning Board. Please contact me if you have any questions.

Sincerely yours,

Stephen Roberge, PE
for SJR Engineering Inc.

Attachments: Updated plan sheets (SUB, Sheets 1 and 2, updated building elevations and floor plans), Fire Chief letter, HOA septic system testing update, short narrative for additional review items.

Each of the septic systems shall be maintained in good working order at all times, and have all permits, licenses, and approvals under applicable codes, statutes, and regulations.

- (1) The septic tank shall be pumped by a certified septage servicing operator per the manufacturers requirements.
- (2) The private sewage system shall be visually inspected by a certified septage servicing operator, inspector or licensed master plumber per the manufacturers requirements.
- (3) The HOA shall furnish Yarmouth Water District and the Town of North Yarmouth, a copy of any inspection report verifying the condition of the tank, whether wastewater or effluent is ponding on the ground surface and the date of pumping. Reports shall be signed by properly licensed individuals.
- (4) The HOA will adhere to any other recommendations per the warranty and recommendations provided by the septic manufacturer.
- (5) The HOA is responsible for ensuring that access opening covers (manhole covers) remain locked or secured to prevent unauthorized access to the tanks.
- (6) HOA members must immediately report; to the HOA, any leaky toilets or faucets; and any other circumstances that may suggest issues with the septic.
- (7) No units will be allowed to have garbage disposals.
- (8) Owners of HOA units shall follow these guidelines to help keep the system in good shape:

Don't Flush These Items in Your Toilet or Put them in a Drain or Sink:

- Baby wipes
- Dental floss
- Feminine hygiene products
- Condoms
- Diapers
- Cotton Swabs
- Cigarette Butts
- Matches
- Coffee Grounds
- Cat litter
- Paper Towels
- Napkins
- Medications
- Paints, pesticide or other hazardous chemicals
- Fats, oils or grease
- Septic tank additives

Maintenance items in regard to the municipality:

Schools, including busing: We have emailed MSAD 51 to advise them of the new development and any potential impact it could have on enrollment. The response from Superintendent Porter on June 27, 2022:

“Thanks for passing along this information to us. Yes, that is correct, MSAD 51 does not place any restrictions on enrollment or growth. We welcome all students who live within our district’s boundaries. If this project has been in process over the last year or more, our enrollment projections would have picked this development up already. Our latest projection report was completed in March of this year.”

Street maintenance and snow removal: Parking lots and sidewalks within the development will be maintained and paid for by the HOA. Newly installed sidewalks along Parsonage and Walnut Hill will be maintained by the town. These side walks are in an existing residential maintenance area. No special accommodations will be needed.

Police and fire protection: Police and fire protection will be serviced by the existing Sheriff’s Office and North Yarmouth Fire Department. We don’t foresee this as adding any substantial strain on the existing services, no more than any other residential neighborhood.

Solid waste disposal: Each unit will participate in the towns existing trash/recycling program. Each unit will have their own trash and recycling bins to utilize for trash/recycling pick up. Approved North Yarmouth trash bags will need to be utilized for trash pick up. We don’t expect any substantial increase in services as the units are on an existing trash route. No special accommodations will be needed.

Recreation facilities: Any recreation/open space area will be maintained and paid for by the HOA.

Storm water drainage: Stormwater facilities (including the existing pond) will be managed and maintained by the HOA.

Waste water treatment: Waste water treatment will be provided by private septic systems. These systems are located within the Common Area and will be the responsibility of the HOA.

Water supply: Water will be supplied by Yarmouth Water District. Each unit will be separately metered; unit owners will be responsible for their water consumption and billing. Each building will have a sprinkler system that will be the responsibility of HOA (maintenance, billing, operation).

Estimated net increase in taxable assessed valuation:

$\$255,000 \text{ Construction cost} \times \$17.10 \text{ (mill rate)} / \$1000 = \$4360 \text{ per unit}$

$12 \text{ Units} \times \$4360 = \$52,326 \text{ Total estimated net increase in assessed valuation}$

Performance Guarantee estimates:

Water taps and road work: \$17,000

Sidewalks and curbing: \$16,000

Total: \$33,000

Added language for HOA:

Restoration, repair and maintenance work (changing oil, radiator fluid, etc.) of vehicles is prohibited, except for emergency repairs to move vehicles to a repair facility.

Owners of cars which drip oil onto streets, driveways, alleys, roads or common area parking spaces will be required to remove the cars and reimburse the Association for the repair and cleanup of areas affected by leaking oil.

Cost of proposed development:

This is in the financial capacity letter: \$3.5M

Affordable Housing:

Middle units of building 3 and 4



*Town of North Yarmouth, Maine
Incorporated 1680
North Yarmouth Fire Rescue*



Gregory Payson, Fire Rescue Chief
Email: firechief@northyarmouth.org
Tel: 207-829-3025

Justin Deri, Deputy Fire Rescue Chief
Email: Deputychief@northyarmouth.org
Fax: 207-829-4893

To: North Yarmouth Planning Board
CC: Laurie Bachelder
Eric Gagnon – Yarmouth Water District
Reference: Deacon Hayes Commons
Date: 06/23/2022

To Whom it May concern:

I am writing this letter to advise you that the owner of the proposed Deacon Hayes commons is aware of the sprinkler ordinance and has acknowledged that they understand the requirements.

Requirements that shall be followed:

Section 3:

Required Installation Automatic Sprinkler Equipment meeting the requirements of NFPA Pamphlet 13 shall be installed in all instances in the following structures:

- A. All new buildings meeting any of the following criteria:
1. 3,000 square feet in floor area
 2. Three or more stores in height
 3. Forty or more feet in height
 - 4. Multiple family or multiple occupant dwelling and/or lodging units**
 5. Restaurants containing seating for 40 persons or more regardless of height or area

Section 4: Installation and Maintenance Codes

A. There is hereby adopted by the Town of North Yarmouth for the purpose of prescribing regulations governing the installation of approved automatic sprinkler systems, that certain Code, known as Pamphlet No. 13 "Standards For The Installation of Sprinkler Systems" and Pamphlet No. 13D "Standards For The Installation of Sprinkler Systems in One and Two-Family Dwellings and Mobile Homes" recommended by the National Fire Protection Association being particularly the 1987 edition thereof, and is hereby incorporated herein by reference and made a part of this Ordinance and shall be applicable and controlling within the boundaries of the Town of North Yarmouth.

B. The owner, tenant, or lessee of every building or structure shall be responsible for the care and maintenance of all fire protection systems, including equipment and devices, to insure the safety and welfare of the occupants. Therefore, it is hereby adopted by the Town of North Yarmouth for the purpose of prescribing regulations governing the maintenance of automatic

Mailing Address: 10 Village Square Road, North Yarmouth, Maine 04097
Physical Address: 463 Walnut Hill Road, North Yarmouth, Maine 04097

sprinkler systems that certain Code known as Pamphlet No. 13A "Care and Maintenance of Sprinkler Systems" recommended by the National Fire Protection Association being particularly the 1987 edition thereof, and is hereby incorporated herein by reference and made a part of this Code and shall be applicable and controlling within the boundaries of the Town of North Yarmouth.

C. The foregoing Codes are adopted on a permanent and continuing basis so that each subsequent amendment of the "Standard For The Installation of Sprinkler Systems", Standards For The Installation of Sprinkler Systems in One and Two-Family Dwellings and Mobile Homes", and "Care and Maintenance of Sprinkler Systems", shall be adopted without further action of the Town of North Yarmouth. Copies of the applicable Codes shall remain on file and available for the general inspection of the public in the office of the Code Enforcement Officer.

Section 5:

Drainage of Discharge Provisions shall be made for the discharge of the overflow of water on every story of sprinklered buildings.

A minimum of one four (4) inch floor drain or other approved means shall be provided and located at least eight (8) feet from columns and walls for every 5,000 square feet or fraction thereof. The installation of floor drains must comply with the plumbing code enforced by the Town of North Yarmouth.

Section 6:

Sprinkler System Supervision All automatic sprinkler systems shall have a direct flow alarm connection to a central monitoring service responsible for calling the North Yarmouth Fire Department Dispatch Center.

Section 8: Connection to Yarmouth Water District Distribution System

A. Each system shall be supplied with a detector check valve of the proper diameter, 4" Storz connection approved by the North Yarmouth Fire Department and other equipment prescribed in NFPA Pamphlet No. 13 and NFPA Pamphlet No. 13D.

B. All connections shall be made in compliance with requirements of the Yarmouth Water District.

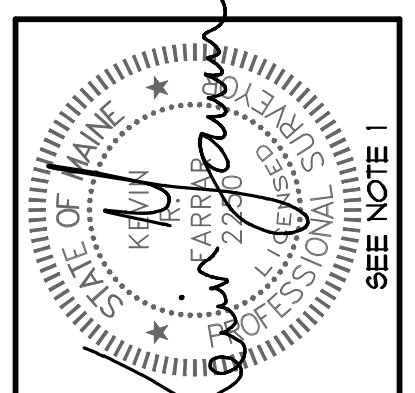
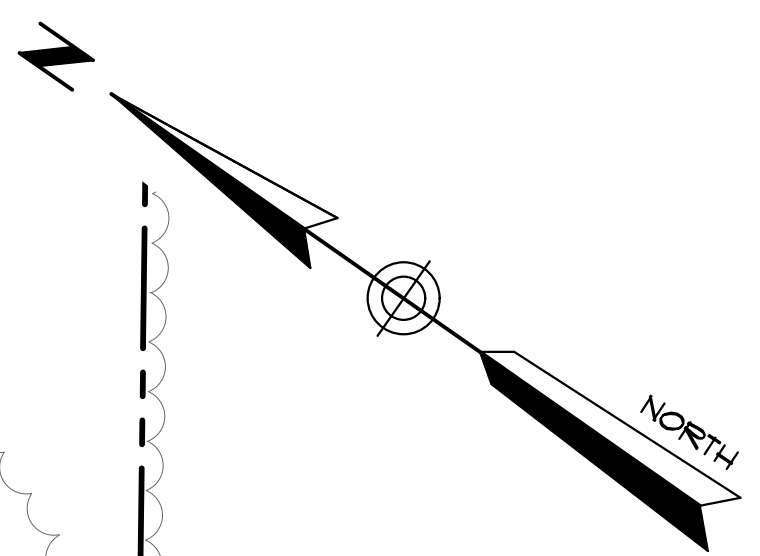
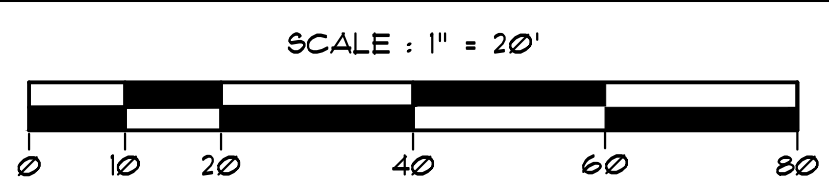
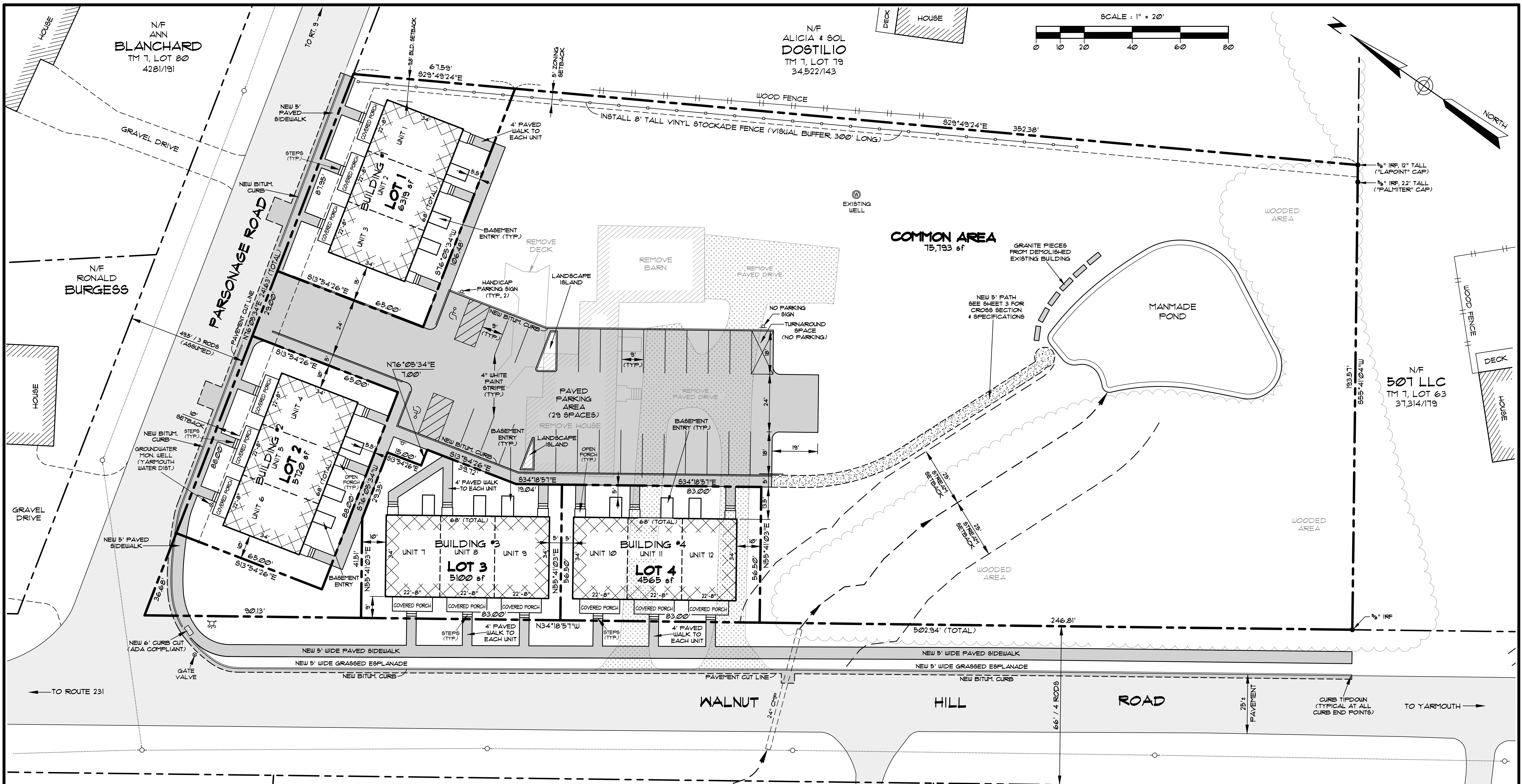
The property owner is also aware that the proposed sprinkler system must be submitted to the Maine State Fire Marshall for design review. Once design review is complete and approved by the Maine State Fire Marshal, a permit shall then be pulled with the North Yarmouth Codes office for a sprinkler permit. The approved plans shall be then submitted to my office for review.

Please let me know if you have any further questions

Respectfully

Chief Gregory A Payson

Gregory A Payson



REV.	BY:	DATE:	CHANGES:

SJR ENGINEERING, INC.
 16 THURSTON DRIVE
 MONMOUTH MAINE 04259
 (207) 242-6248 tel
 sjr@sjr-engineering.com

LOT AREAS

LOT 1 TOTAL = 6319 sf, IMPERVIOUS AREA = 3174 sf (50.2%)
 LOT 2 TOTAL = 5120 sf, IMPERVIOUS AREA = 3201 sf (62.5%)
 LOT 3 TOTAL = 5100 sf, IMPERVIOUS AREA = 3058 sf (60.0%)
 LOT 4 TOTAL = 4565 sf, IMPERVIOUS AREA = 2943 sf (64.5%)
 COMMON AREA = 15,193 sf, IMPERVIOUS AREA = 13,036 sf (85.8%)

SITE TABULATIONS

DEVELOPED PARCEL AREA = 91,471 sq. ft. / 2.24 ACRES

EXISTING

BUILDING = 3,530 sf
 PAVEMENT/PORCHES = 5,340 sf
 IMPERVIOUS AREA = 9,410 sf (9.7%)
 GREEN SPACE = 88,001 sf (90.3%)

PROPOSED

BUILDINGS/PORCHES/STEPS/BULKHEADS = 11,340 sf
 PAVEMENT/SIDEWALKS = 14,070 sf
 IMPERVIOUS AREA = 25,410 sf (26.3%)
 GREEN SPACE = 12,053 sf (13.9%)

29 PARKING SPACES (INCLUDES 2 HANDICAP)

ZONING REQUIREMENTS
 VILLAGE CENTER ZONING DISTRICT

MINIMUM LOT SIZE = 1 ACRE (REDUCED TO UNDER 20,000 sf PER SECTION 1, TABLE 12, SUBSCRIPT 4B OF THE NORTH YARMOUTH LAND USE ORDINANCE)

STREET FRONTAGE = 10' - 100'

FRONT = 0' - 20' max.
 SIDE = 25' max.
 REAR = 5' min.
 MAXIMUM STRUCTURE HEIGHT = 3 STORY, 50' max.

RECORDING DATA
 ANDROSCOGGIN COUNTY
 REGISTRY OF DEEDS

RECEIVED _____

AT _____ h. _____ m. _____ M.

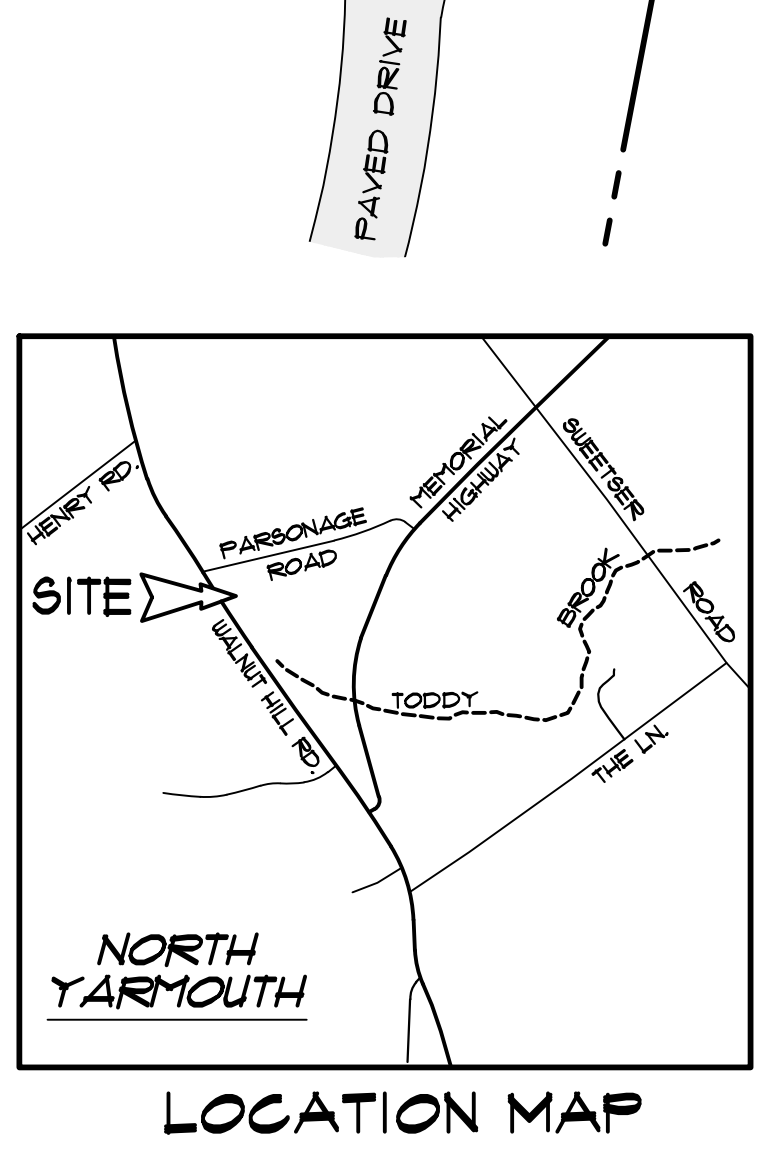
RECORDED IN _____

PLAN BOOK _____ PAGE _____

ATTEST _____ REGISTRAR

LEGEND

- BOUNDARY LINE (SUBJECT PARCELS)
- BOUNDARY LINE (OTHER)
- N/F NOW OR FORMERLY
- 35200/0356 BOOK AND PAGE NUMBER
- EXISTING HYDRANT
- EXISTING WATER SHUT OFF
- EXISTING UTILITY POLE WITH OVERHEAD WIRES
- EXISTING TREE LINE
- ▨ EXISTING BUILDING (TO BE REMOVED)
- ▨ EXISTING BUILDING (ABUTTER)
- ▨ PROPOSED BUILDING
- ▨ EXISTING PAVEMENT
- ▨ PROPOSED PAVEMENT
- ▨ EXISTING PAVEMENT TO BE REMOVED



- NOTES**
- THIS CERTIFICATION IS LIMITED TO THE CREATION OF LOTS 1-4 AND THE COMMON AREA LOCATED WITHIN THE BOUNDARY LINES AS SHOWN ON A PLAN ENTITLED "BOUNDARY AND EXISTING CONDITIONS SURVEY MADE FOR ATLANTIC RESOURCE CONSULTANTS OF PROPERTY OF MAINE CAPITAL MORTGAGE, LLC", DATED MAY 6, 2021, PREPARED BY HORIZONS ENGINEERING. THESE LOTS AND COMMON AREA MEET THE MINIMUM LOT SIZE REQUIREMENTS OF SECTION 1, TABLE 12, SUBSCRIPT 4B OF THE NORTH YARMOUTH LAND USE ORDINANCE. FULL INDEPENDENT DEED RESEARCH WAS NOT PERFORMED AND PROPERTY CORNER MARKERS WERE NOT SET, THEREFORE THIS PLAN DOES NOT FULLY CONFORM TO THE STANDARDS OF PRACTICE OF THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS.
 - ALL BOOK AND PAGE NUMBERS REFER TO THE CUMBERLAND COUNTRY REGISTRY OF DEEDS.
 - OWNER OF RECORD - 527 LLC. DEED REFERENCE - BOOK 38201, PAGE 160. TAX MAP T, LOT 62.
 - THE LOCATION, DEPTH, SIZE & EXISTENCE OF UNDERGROUND UTILITY LINES, TANKS AND/OR STRUCTURES WAS NOT VERIFIED. CONTRACTOR SHALL CONTACT DIGSAFE/ON-TARGET PRIOR TO EXCAVATION TO CONFIRM THE LOCATION OF ALL PUBLIC & PRIVATE UTILITIES WITHIN THE PROJECT AREA.
 - THE PARCEL IS LOCATED IN THE VILLAGE CENTER ZONING DISTRICT AND THE GROUNDWATER PROTECTION OVERLAY ZONE.
 - THE PARCEL IS NOT LOCATED WITHIN A 100-YEAR FLOOD HAZARD AREA AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP, PANEL 230202 000B, DATED JULY 16, 1991.
 - ON-SITE UTILITY LOCATIONS TO BE DETERMINED BY THE UTILITY AUTHORITY.
 - SEE WETLAND DELINEATION REPORT DATED MAY 26, 2021 AND SEPTIC DESIGN ON H-200 FORM 18 DATED MARCH 9, 2022, BOTH BY MARK CENSI ASSOCIATES.

N/F JONATHAN & GINA LAMARCHE
 TM 1, LOT 40
 35,924/220

APPROVAL

APPROVED BY THE TOWN OF NORTH YARMOUTH PLANNING BOARD

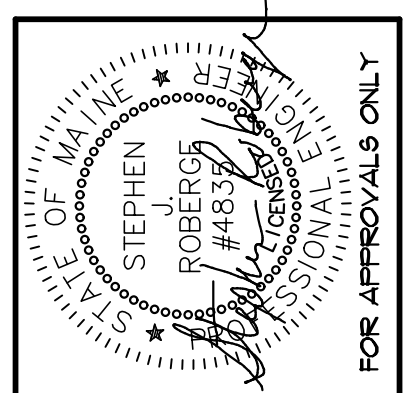
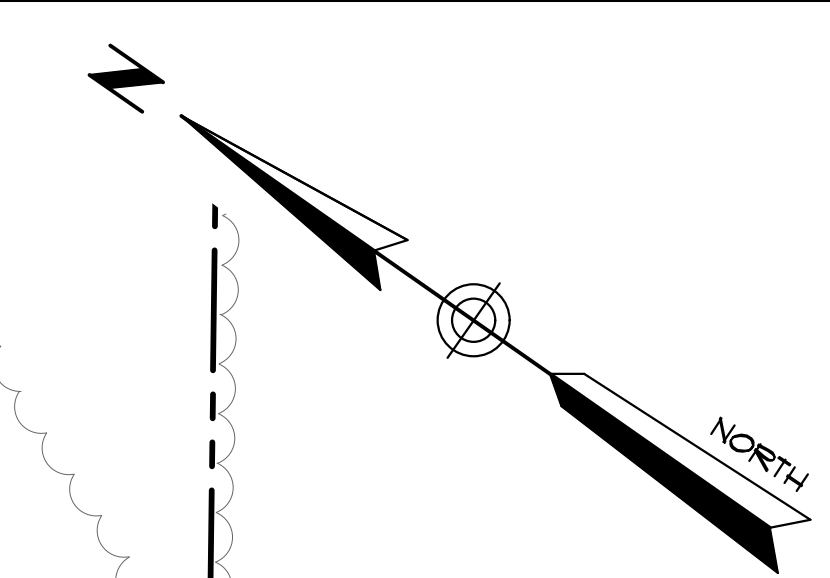
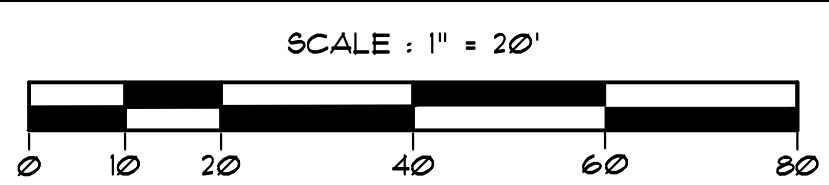
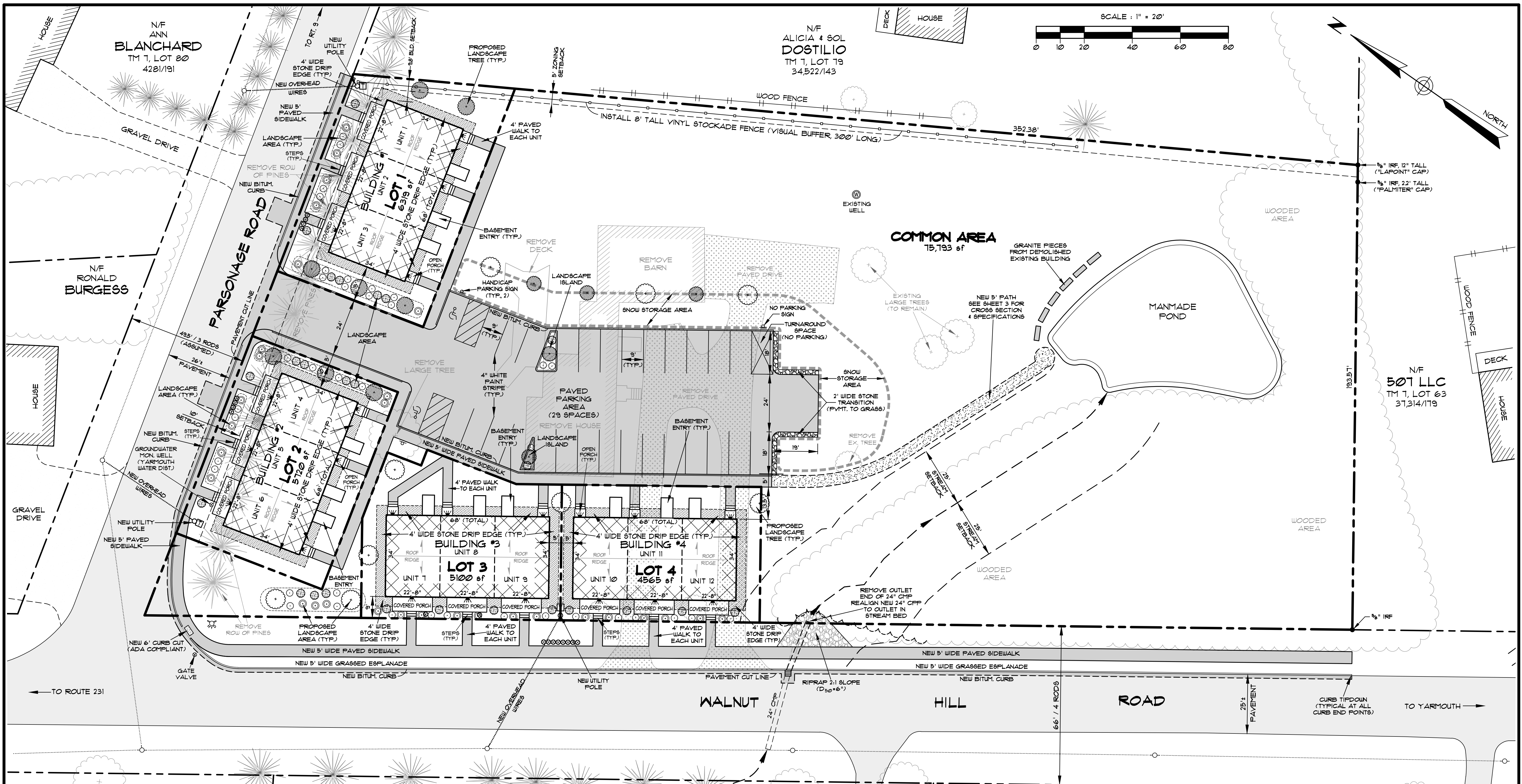
 CHAIRMAN

DATE _____

SUBDIVISION PLAN
 DEACON HAYES COMMONS
 527 WALNUT HILL ROAD - NORTH YARMOUTH MAINE
 OWNER OF RECORD
527 LLC
 265 OAK HILL ROAD - NORTH YARMOUTH, ME

DATE	PROJECT
6-28-2022	2022-12
DRAWN BY	SCALE
SJR	1" = 20'

SHEET SUB-1



REV.	DATE	BY	DESCRIPTION
0			FOR APPROVALS ONLY
1	6-28-2022	SJR	RELOCATE TREES, ADD SNOW STORAGE 4 UNIT NUMBERS
2	6-24-2022	SJR	ADD LOTS, ADD LOT AREA TABLE, EXTEND SIDEWALK
3	6-18-2022	SJR	ADD PARCEL TO BE CONVERTED TO 507 LLC
4	5-21-2022	SJR	REDC BUILDING SIZES, ADD FENCE, LANDSCAPE CHANGES
5	5-15-2022	SJR	RECONFIGURE BUILDING SIZES
6	4-15-2022	SJR	UPDATE PER TOWN REVIEW COMMENTS
7	3-26-2022	SJR	ADD RIGHT OF WAY WIDTHS
8			CHANGES

SJR ENGINEERING, INC.
 16 THURSTON DRIVE
 MONMOUTH MAINE 04253
 (207) 242-6248 tel
 sjr@sje.com

LOT AREAS

LOT 1 TOTAL = 6319 sf, IMPERVIOUS AREA = 3174 sf (50.2%)
 LOT 2 TOTAL = 5120 sf, IMPERVIOUS AREA = 3207 sf (62.6%)
 LOT 3 TOTAL = 5100 sf, IMPERVIOUS AREA = 3058 sf (60.0%)
 LOT 4 TOTAL = 4665 sf, IMPERVIOUS AREA = 2943 sf (62.8%)
 COMMON AREA = 15,193 sf, IMPERVIOUS AREA = 13,036 sf (86.4%)

SITE TABULATIONS

DEVELOPED PARCEL AREA = 91,471 sq. ft. / 2.09 ACRES

EXISTING

BUILDING = 3,530 sf
 PAVEMENT/PORCHES = 5,940 sf
 IMPERVIOUS AREA = 9,470 sf (9.1%)
 GREEN SPACE = 88,001 sf (90.3%)

PROPOSED

BUILDINGS/PORCHES/STEPS/BULKHEADS = 11,340 sf
 PAVEMENT/SIDEWALKS = 14,078 sf
 IMPERVIOUS AREA = 25,418 sf (26.1%)
 GREEN SPACE = 12,053 sf (13.9%)

29 PARKING SPACES (INCLUDES 2 HANDICAP)

LANDSCAPE LEGEND

- NEW MAPLE
- NEW BIRCH
- LANDSCAPING AREA - MIX OF FOUNTAIN GRASS, HOSTA, DIANTHUS, COSMOS & CORAL HONEYSUCKLE

ZONING REQUIREMENTS

VILLAGE CENTER ZONING DISTRICT

MINIMUM LOT SIZE = 1 ACRE (REDUCED TO UNDER 20,000 sf PER SECTION 1, TABLE 12, SUBSCRIPT 4B OF THE NORTH YARMOUTH LAND USE ORDINANCE)

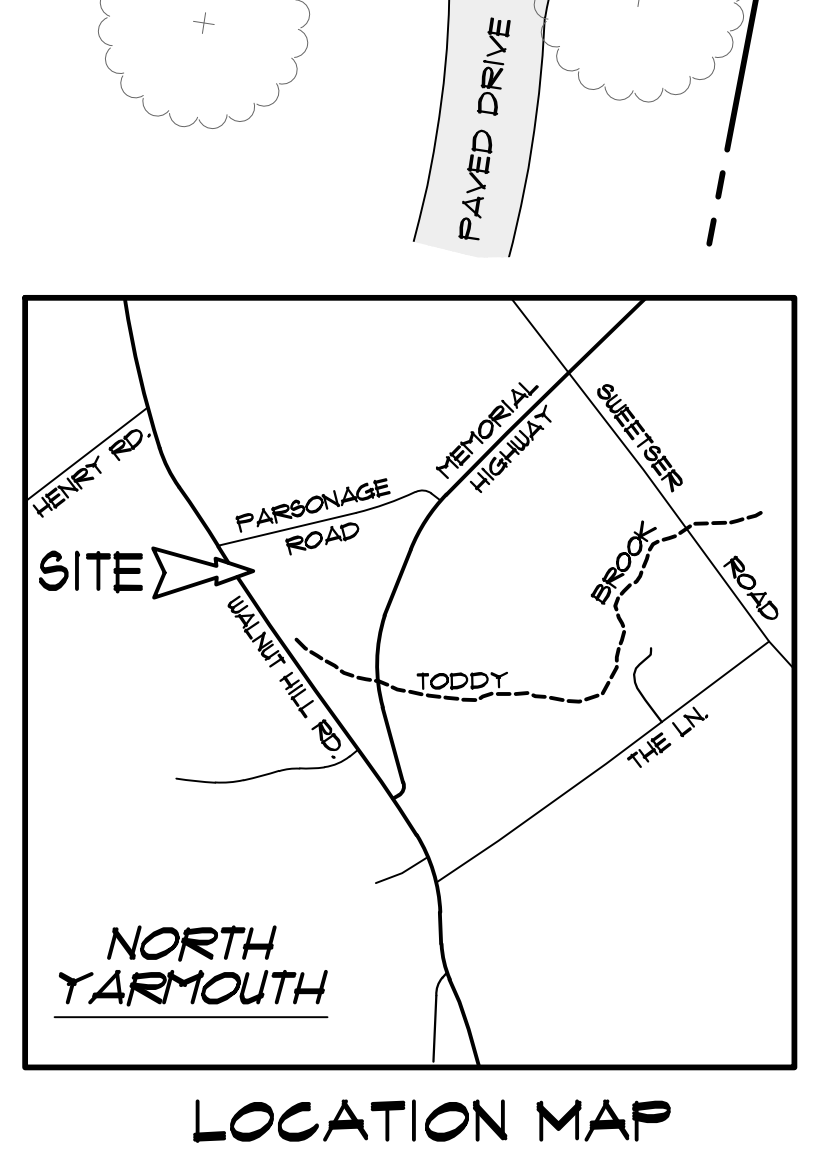
STREET FRONTAGE = 18' - 100'

STRUCTURE SETBACKS -
 FRONT = 20'-20' max.
 SIDE = 25' max.
 REAR = 5' min.

MAXIMUM STRUCTURE HEIGHT = 3 STORY, 50' max.

LEGEND

- BOUNDARY LINE (SUBJECT PARCEL)
- BOUNDARY LINE (OTHER)
- NOW OR FORMERLY
- BOOK AND PAGE NUMBER
- EXISTING HYDRANT
- EXISTING WATER SHUT OFF
- EXISTING UTILITY POLE WITH OVERHEAD WIRES
- PROPOSED CATCH BASIN
- PROPOSED TRANSFORMER PAD
- NEW WALL MOUNTED EXTERIOR LIGHT
- EXISTING TREE LINE (TO REMAIN)
- EXISTING BUILDING (TO BE REMOVED)
- EXISTING BUILDING (ABUTTER)
- PROPOSED BUILDING
- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- EXISTING PAVEMENT TO BE REMOVED



- NOTES**
- ALL BOOK AND PAGE NUMBERS REFER TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
 - OWNER OF RECORD - 521 LLC DEED REFERENCE - BOOK 38201, PAGE 160 TAX MAP 1, LOT 62
 - TOTAL PARCEL AREA = 91,471 sq. ft. / 2.09 ACRES
 - EXISTING CONDITIONS ARE BASED ON A PLAN ENTITLED "WALNUT HILL ROAD DEVELOPMENT - TOWNHOUSES SITE LAYOUT", DATED AUGUST 15, 2021, PREPARED BY ATLANTIC RESOURCE CONSULTANTS.
 - THE LOCATION, DEPTH SIZE & EXISTENCE OF UNDERGROUND UTILITY LINES, TANKS AND/OR STRUCTURES WAS NOT VERIFIED. CONTRACTOR SHALL CONTACT DIGSAFE/ON-TARGET PRIOR TO EXCAVATION TO CONFIRM THE LOCATION OF ALL PUBLIC & PRIVATE UTILITIES WITHIN THE PROJECT AREA.
 - THE PARCEL IS LOCATED IN THE VILLAGE CENTER ZONING DISTRICT AND THE GROUNDWATER PROTECTION OVERLAY ZONE.
 - THE PARCEL IS NOT LOCATED WITHIN A 100-YEAR FLOOD HAZARD AREA AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP, PANEL #230202 00102B, DATED JULY 16, 1981.
 - ON-SITE UTILITY LOCATIONS TO BE DETERMINED BY THE UTILITY AUTHORITY.
 - SOILS WITHIN THE SITE'S WATERSHED ARE "HINCKLEY LOAMY SAND", 3% - 8% SLOPES, HYDROLOGIC SOIL TYPE 'A'.
 - ALL DISTURBED AREAS NOT PAVED OR BUILT UPON SHALL BE LOAMED, SEEDDED & MULCHED.
 - SEE WETLAND DELINEATION REPORT DATED MAY 26, 2021 AND SEPTIC DESIGN ON HHE-200 FORM DATED MARCH 3, 2022, BOTH BY MARK CENSI ASSOCIATES.

N/F JONATHAN & GINA LAMARCHE
 TM 1, LOT 40
 35,924/220

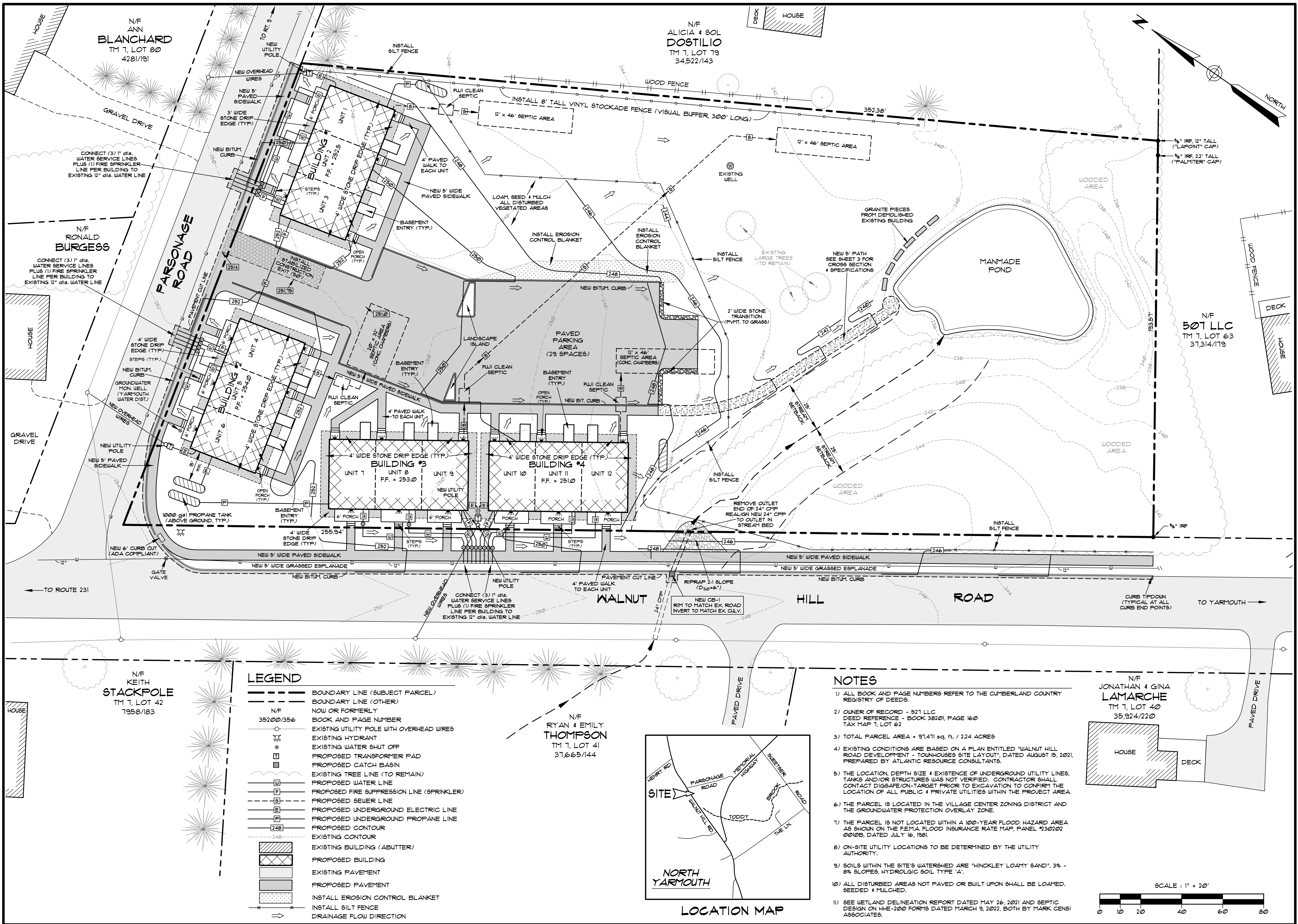
APPROVAL

APPROVED BY THE TOWN OF NORTH YARMOUTH PLANNING BOARD

DATE: _____ PROJECT: _____
 FEB. 2022 2022-12
 DRAWN BY: _____ SCALE: _____
 SJR 1" = 20'

DATE: _____ CHAIRMAN: _____

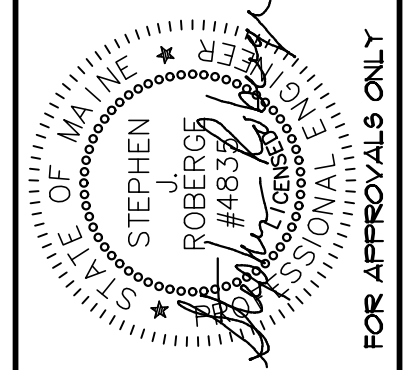
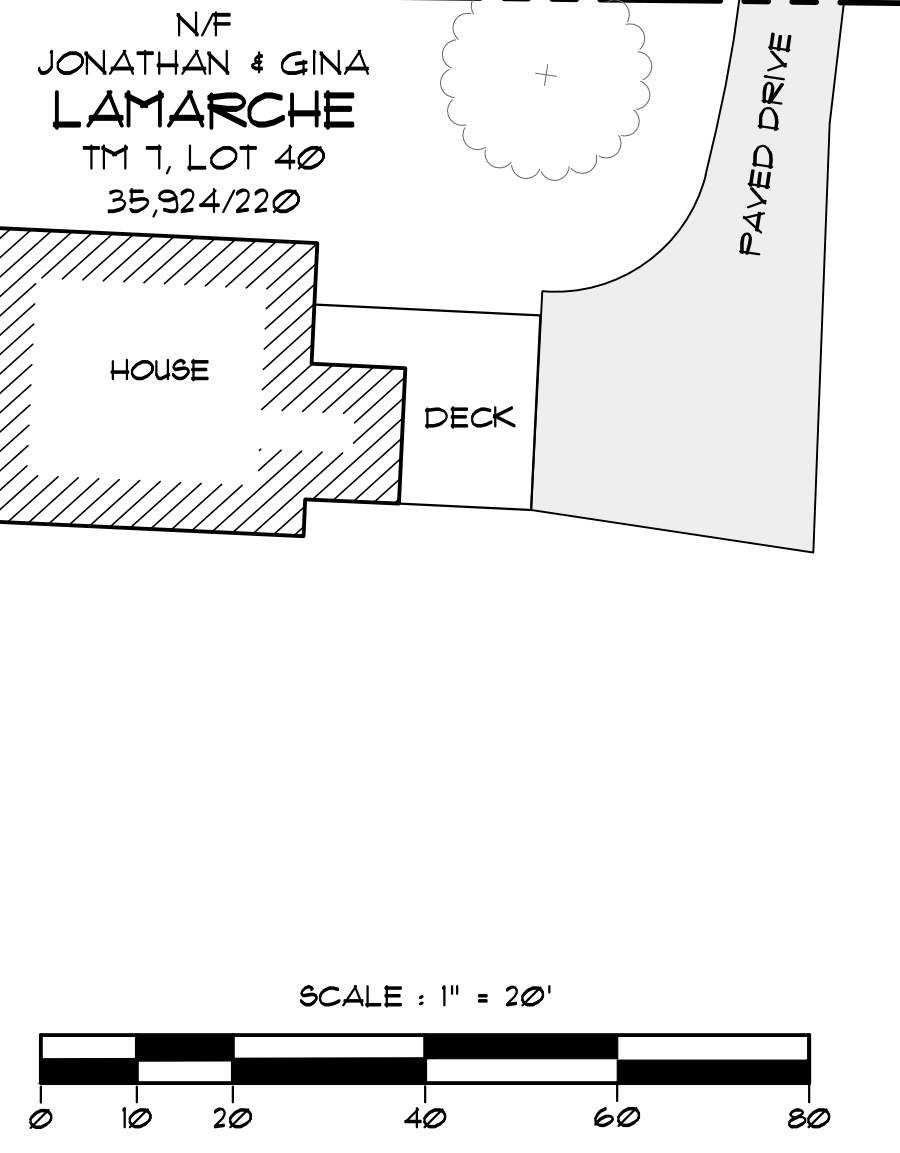
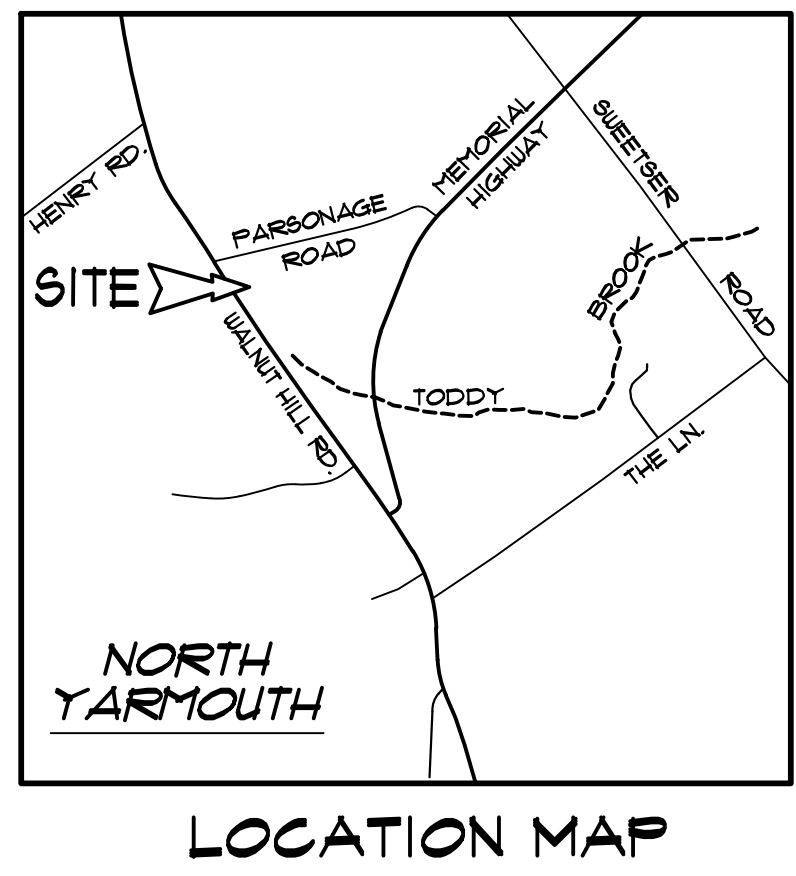
SITE & DEMOLITION PLAN
 DEACON HAYES COMMONS
 521 WALNUT HILL ROAD - NORTH YARMOUTH MAINE
 PREPARED FOR
527 LLC
 865 OAK HILL ROAD - NORTH YARMOUTH, ME



LEGEND

	BOUNDARY LINE (SUBJECT PARCEL)
	BOUNDARY LINE (OTHER)
	NOW OR FORMERLY
	BOOK AND PAGE NUMBER
	EXISTING UTILITY FOLE WITH OVERHEAD WIRES
	EXISTING HYDRANT
	EXISTING WATER SHUT OFF
	PROPOSED TRANSFORMER PAD
	PROPOSED CATCH BASIN
	EXISTING TREE LINE (TO REMAIN)
	PROPOSED WATER LINE
	PROPOSED FIRE SUPPRESSION LINE (SPRINKLER)
	PROPOSED SEWER LINE
	PROPOSED UNDERGROUND ELECTRIC LINE
	PROPOSED UNDERGROUND PROPANE LINE
	PROPOSED CONTOUR
	EXISTING CONTOUR
	EXISTING BUILDING (ABUTTER)
	PROPOSED BUILDING
	EXISTING PAVEMENT
	PROPOSED PAVEMENT
	INSTALL EROSION CONTROL BLANKET
	INSTALL SILT FENCE
	DRAINAGE FLOW DIRECTION

- NOTES**
- 1) ALL BOOK AND PAGE NUMBERS REFER TO THE CUMBERLAND COUNTRY REGISTRY OF DEEDS.
 - 2) OWNER OF RECORD - 527 LLC DEED REFERENCE - BOOK 38201, PAGE 160 TAX MAP 7, LOT 62
 - 3) TOTAL PARCEL AREA = 91,471 sq. ft. / 2.24 ACRES
 - 4) EXISTING CONDITIONS ARE BASED ON A PLAN ENTITLED "WALNUT HILL ROAD DEVELOPMENT - TOWNHOUSES SITE LAYOUT", DATED AUGUST 15, 2021, PREPARED BY ATLANTIC RESOURCE CONSULTANTS.
 - 5) THE LOCATION, DEPTH SIZE & EXISTENCE OF UNDERGROUND UTILITY LINES, TANKS AND/OR STRUCTURES WAS NOT VERIFIED. CONTRACTOR SHALL CONTACT DIGSAFE/ON-TARGET PRIOR TO EXCAVATION TO CONFIRM THE LOCATION OF ALL PUBLIC & PRIVATE UTILITIES WITHIN THE PROJECT AREA.
 - 6) THE PARCEL IS LOCATED IN THE VILLAGE CENTER ZONING DISTRICT AND THE GROUNDWATER PROTECTION OVERLAY ZONE.
 - 7) THE PARCEL IS NOT LOCATED WITHIN A 100-YEAR FLOOD HAZARD AREA AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP, PANEL 230202 0010B, DATED JULY 16, 1981.
 - 8) ON-SITE UTILITY LOCATIONS TO BE DETERMINED BY THE UTILITY AUTHORITY.
 - 9) SOILS WITHIN THE SITE'S WATERSHED ARE "HINCKLEY LOAMY SAND", 3% - 8% SLOPES, HYDROLOGIC SOIL TYPE 'A'.
 - 10) ALL DISTURBED AREAS NOT PAVED OR BUILT UPON SHALL BE LOAMED, SEEDED & MULCHED.
 - 11) SEE WETLAND DELINEATION REPORT DATED MAY 26, 2021 AND SEPTIC DESIGN ON HHE-200 FORMS DATED MARCH 9, 2022, BOTH BY MARK CENSI ASSOCIATES.



FOR APPROVALS ONLY

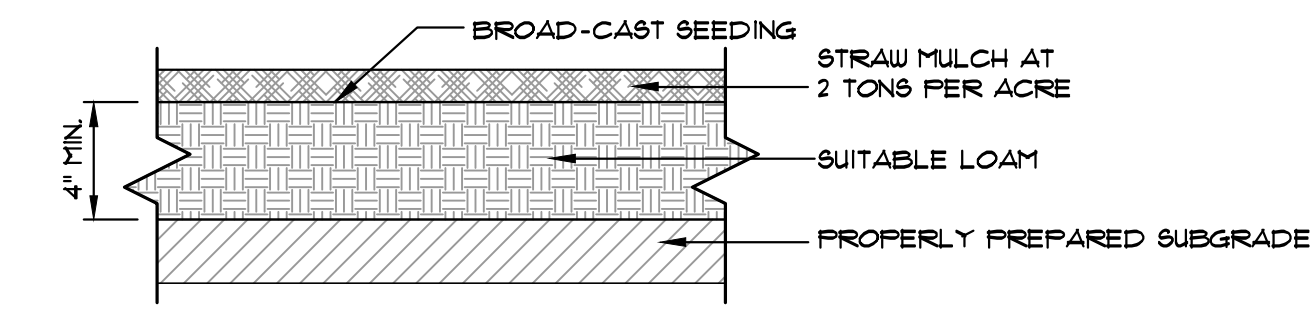
REV.	DATE	BY	DESCRIPTION
1	6-28-2022	SJR	LABEL UNITS, WATERLINE SERVICE REVISIONS
2	6-24-2022	SJR	EXTEND SIDEWALK, RELOCATE WATER LINES
3	6-18-2022	SJR	ADD PARCEL TO BE CONVERTED TO 507 LLC
4	5-21-2022	SJR	RECONFIGURE BUILDING SIZES
5	5-15-2022	SJR	RECONFIGURE BUILDING SIZES
6	4-15-2022	SJR	UPDATE PER TOURN REVIEW COMMENTS
7	3-19-2022	SJR	UPDATE BUILDING FOOTPRINTS

SJR ENGINEERING, INC.
 16 THURSTON DRIVE
 MONMOUTH, MAINE 04259
 (207) 242-6248 t.e.l
 sjr@sjr-engineering.com

GRADING & EROSION CONTROL PLAN
DEACON HAYES COMMONS
 527 WALNUT HILL ROAD - NORTH YARMOUTH MAINE
 PREPARED FOR
527 LLC
 865 OAK HILL ROAD - NORTH YARMOUTH, ME

DATE	PROJECT
FEB. 2022	2022-12
DRAWN BY	SCALE
SJR	1" = 20'

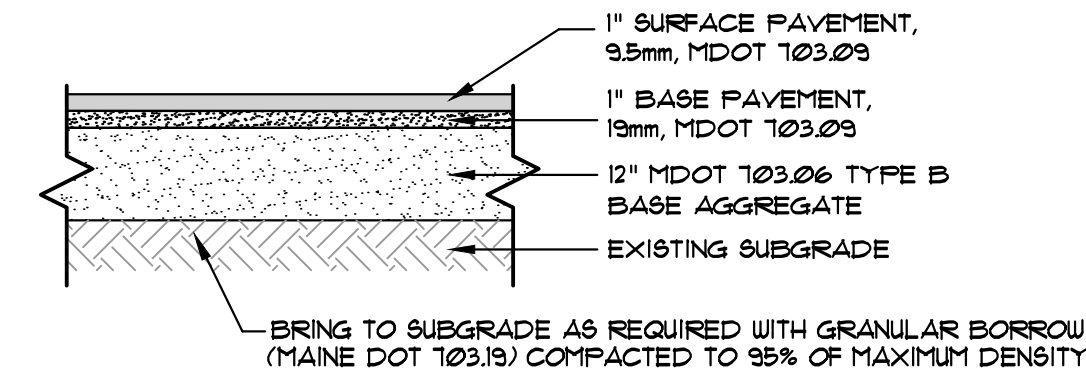
SHEET 2



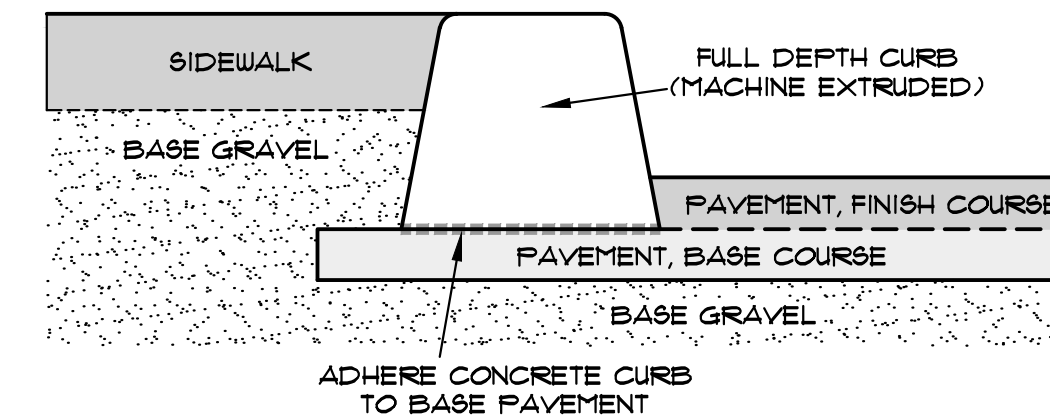
PERMANENT SEED MIX	APPLICATION RATE
KENTUCKY BLUEGRASS	46
CREeping RED FESCUE	46
PERENNIAL RYEGRASS	11
TOTAL SEED RATE	103

PLACE LOAM & SEED ON ALL DISTURBED AREAS NOT TO BE RIP RAPPED OR GRAVELED

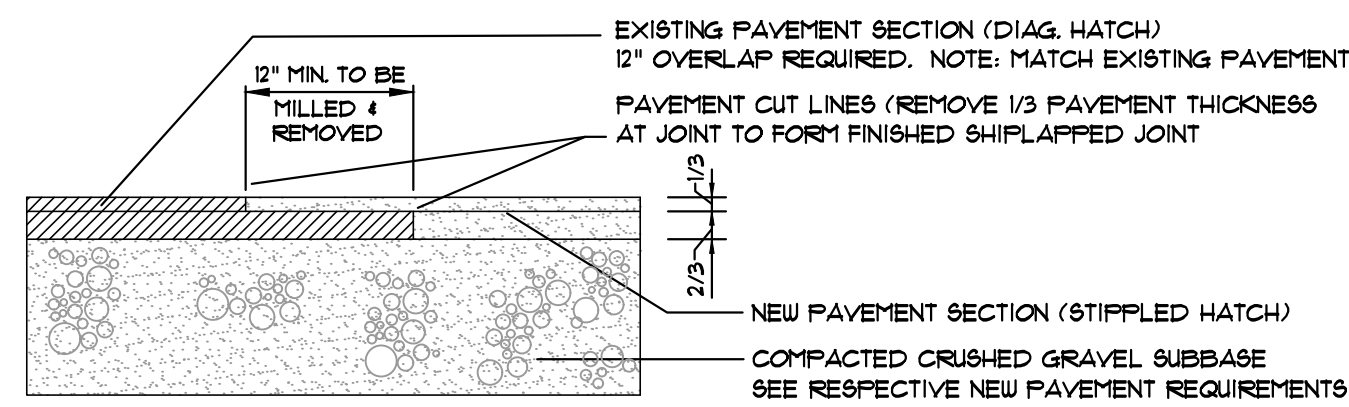
LOAM & SEED DETAIL
NOT TO SCALE



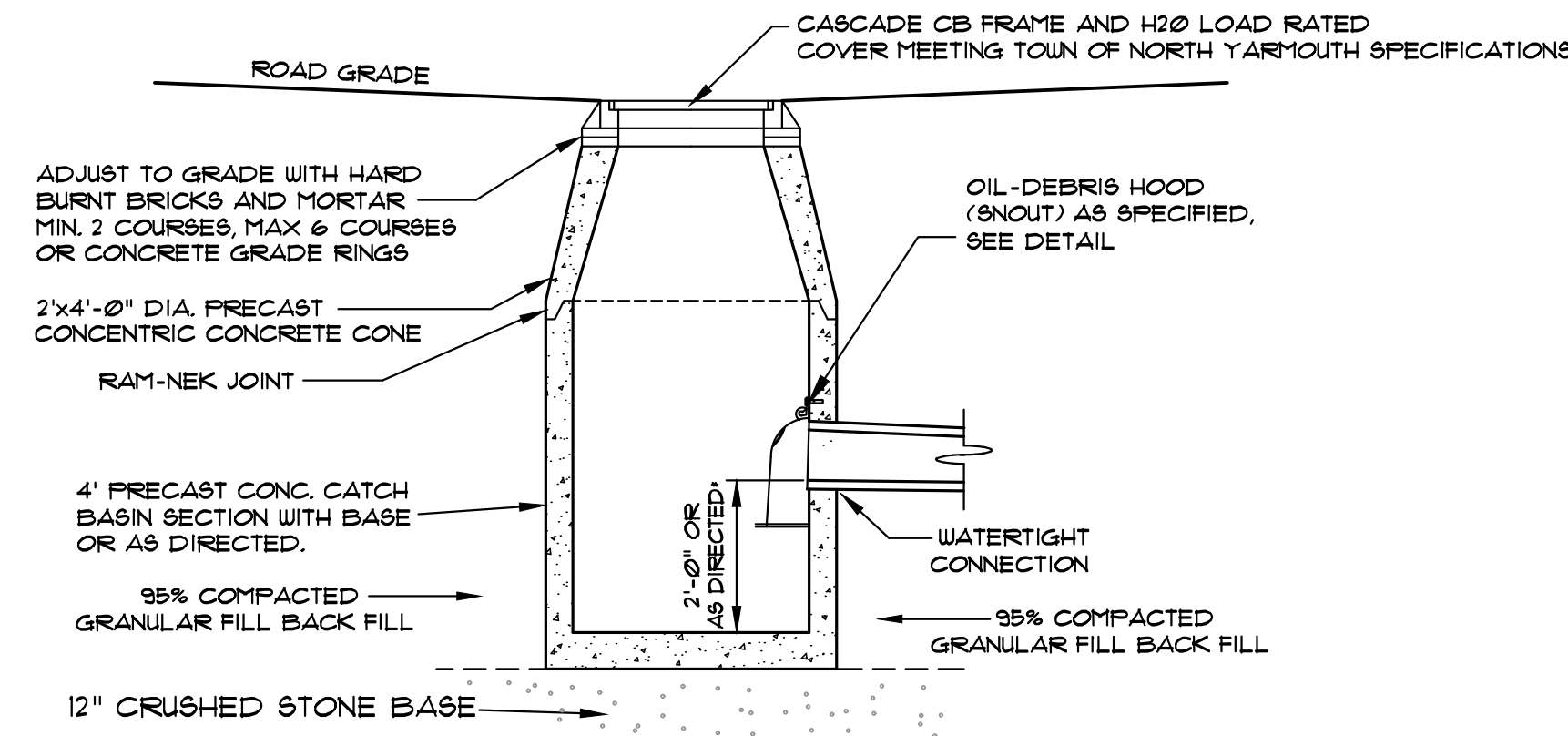
SIDEWALK CROSS SECTION
NOT TO SCALE



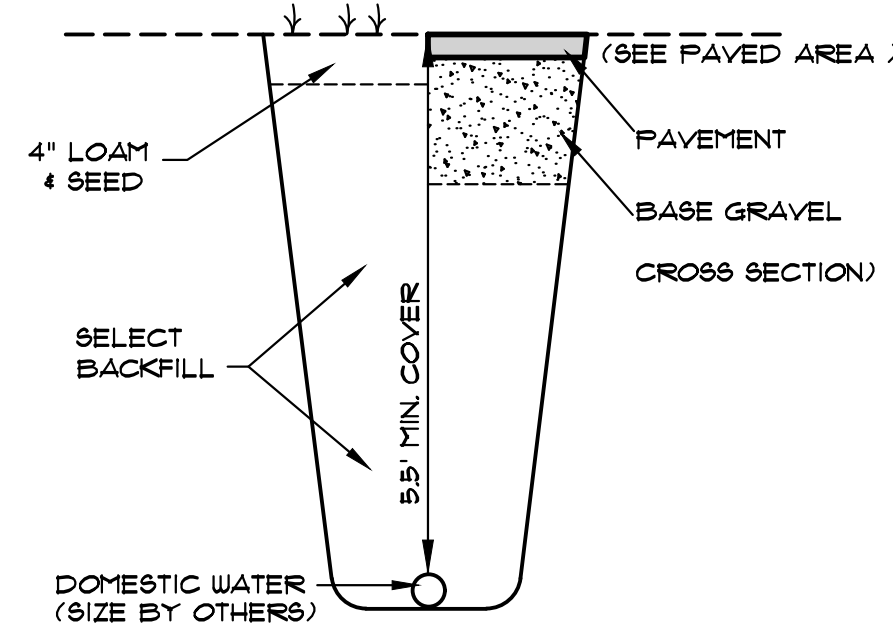
CONCRETE CURB CROSS SECTION
NOT TO SCALE



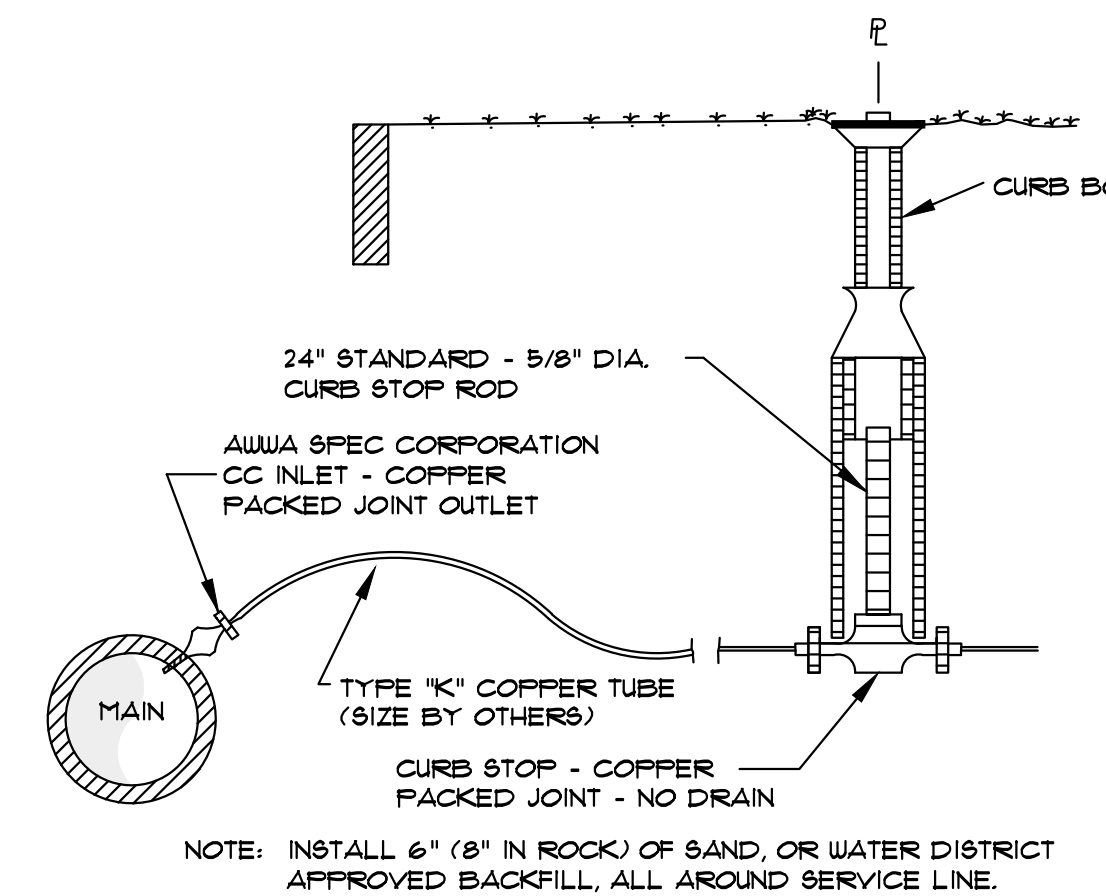
PAVEMENT SAWCUT JOINT DETAIL
NOT TO SCALE



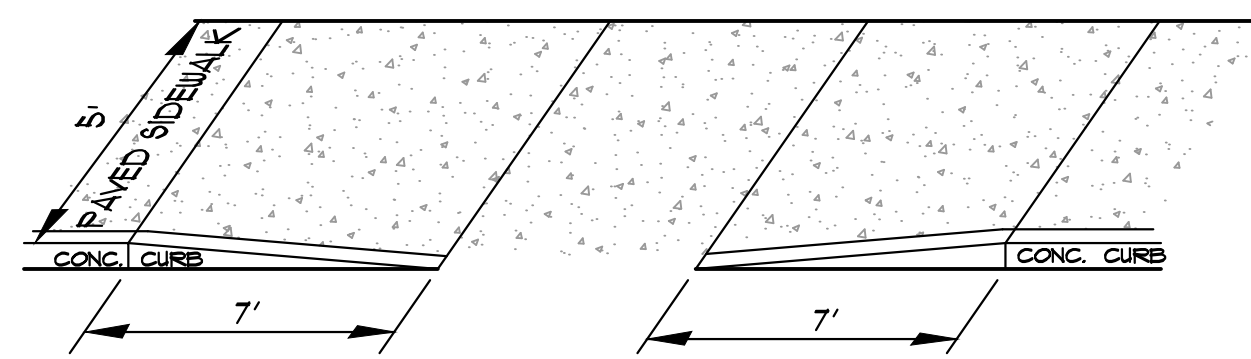
4'-0" DIA. CATCH BASIN
NOT TO SCALE



WATER SERVICE TRENCH DETAIL
NOT TO SCALE

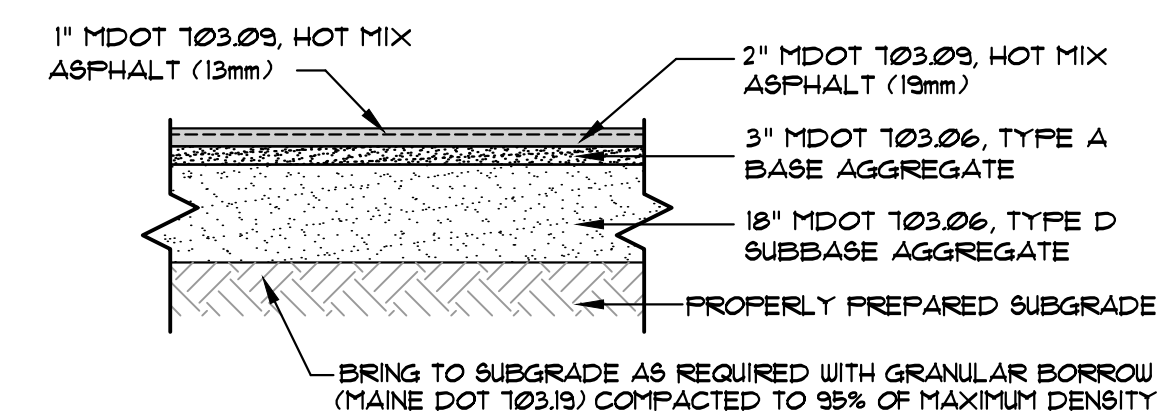


TYPICAL DOMESTIC WATER SERVICE
NOT TO SCALE



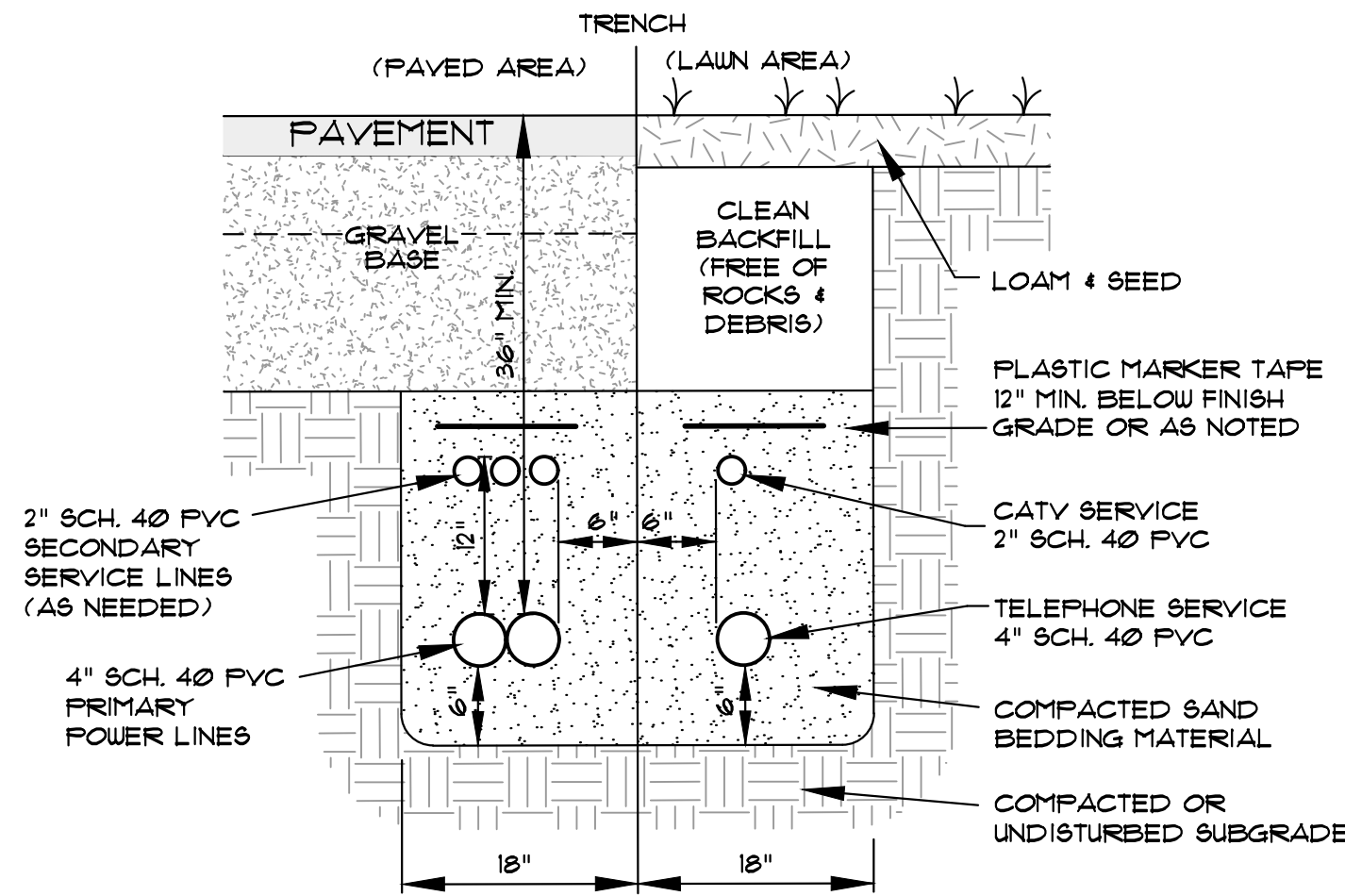
- NOTES:**
- 1) THE DIMENSIONS SHOWN AT ROADWAY EDGE ARE FIXED DISTANCES.
 - 2) RAMP CROSS SECTION TO BE SAME AS ADJACENT SIDEWALK (DEPTH OF SURFACE AND FOUNDATION)
 - 3) IN NO CASE ARE THE RAMPS TO BE PLACED BEHIND THE STOP LINE.

SIDEWALK TIPDOWN DETAIL
NOT TO SCALE

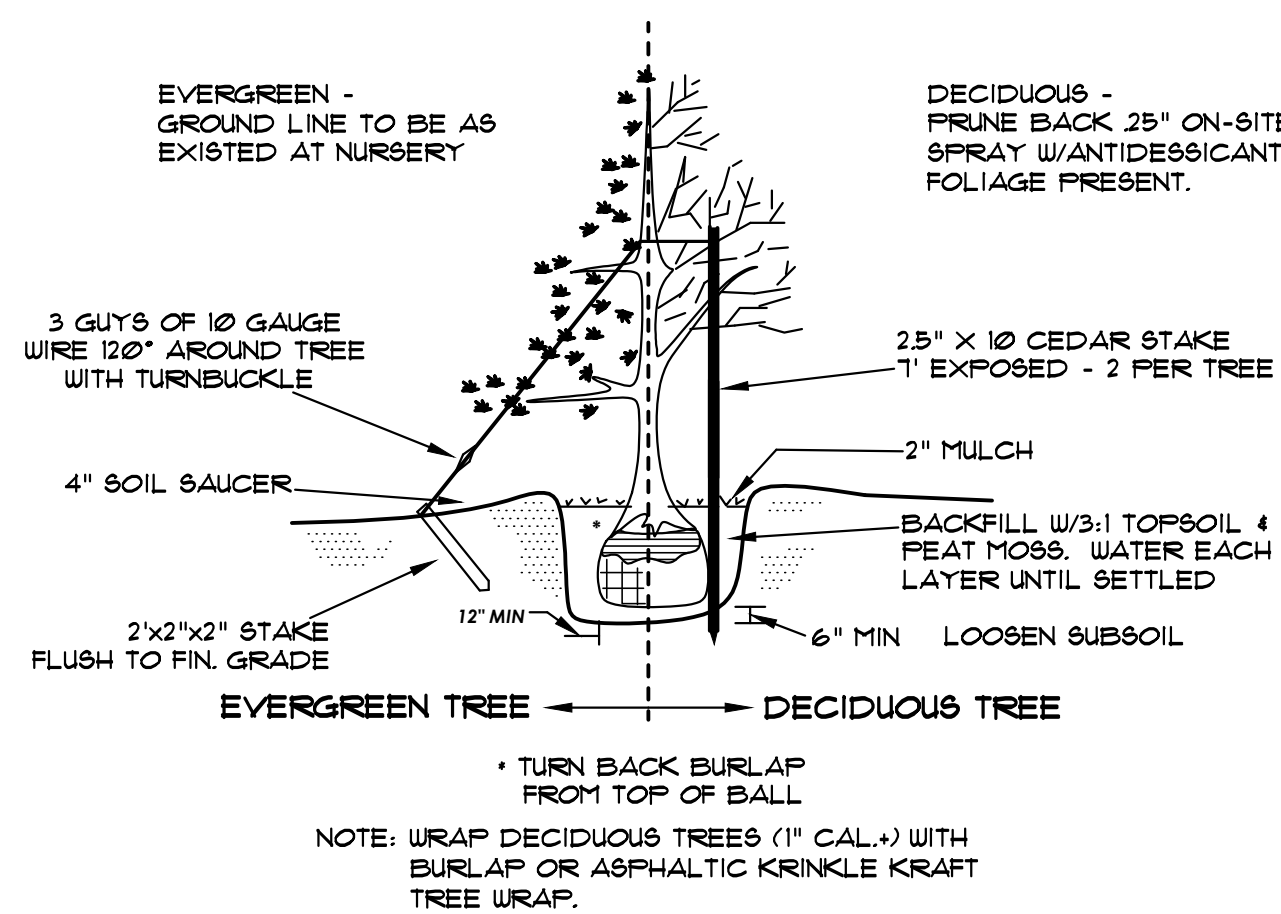


- NOTES**
- 1) COMPACT GRAVEL SUBBASE BASE COURSE TO 95% OF THEIR MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1551.
 - 2) HOT MIX ASPHALT PAVEMENT MUST BE COMPACTED TO 92%-93% OF ITS THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM D-2041.
 - 3) A TACK COAT MUST BE USED BETWEEN SUCCESSIVE LIFTS OF BITUMINOUS PAVEMENT.
 - 4) PROVIDE NON-FROST SUSCEPTIBLE COMPACTED FILL GRANULAR BORROW (MDOT 103.19) BELOW PAVEMENT IN FILL AREAS.
 - 5) CONTRACTOR SHALL SET GRADE STAKES MARKING SUBBASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

PAVED AREA CROSS SECTION
NOT TO SCALE



UNDERGROUND UTILITY TRENCH DETAIL
NOT TO SCALE



TREE PLANTING DETAIL
NOT TO SCALE

GENERAL NOTES

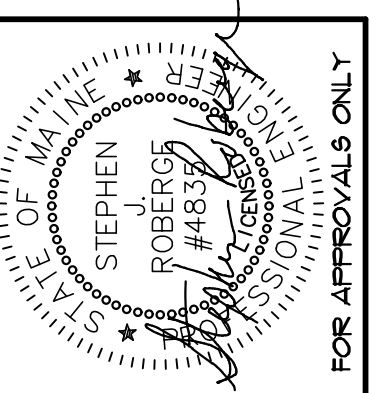
- 1) SEE SHEET 1 FOR SITE SPECIFIC NOTES.
- 2) THE CONTRACT WORK TO BE PERFORMED ON THIS PROJECT CONSISTS OF FURNISHING ALL REQUIRED LABOR, MATERIALS, EQUIPMENT, IMPLEMENTS, PARTS AND SUPPLIES NECESSARY FOR OR APPURTENANT TO, THE INSTALLATION OF CONSTRUCTION IMPROVEMENTS IN ACCORDANCE WITH THESE DRAWINGS AND AS FURTHER ELABORATED IN ANY ACCOMPANYING SPECIFICATIONS.
- 3) THE WORK SHALL BE PERFORMED IN A THOROUGH WORKMANLIKE MANNER. ALL CONTRACTORS TO CONFORM TO ALL APPLICABLE OSHA STANDARDS, ANY REFERENCE TO A SPECIFICATION OR DESIGNATION OF THE AMERICAN SOCIETY FOR TESTING MATERIALS, FEDERAL SPECIFICATIONS, OR OTHER STANDARDS, CODES OR ORDERS, REFERS TO THE MOST RECENT OR LATEST SPECIFICATION OR DESIGNATION.
- 4) ALL CONSTRUCTION WITHIN THE TOWN OF NORTH YARMOUTH RIGHT OF WAY SHALL COMPLY WITH CITY PUBLIC WORKS STANDARDS. ALL UTILITY CONSTRUCTION SHALL CONFORM TO RESPECTIVE UTILITY STANDARDS.
- 5) THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY THE TOWN OF NORTH YARMOUTH PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF AUGUSTA AND/OR MDOT, REQUIRED TO PERFORM ALL THE WORK (STREET OPENINGS, BUILDING PERMIT, ETC.). THE CONTRACTOR SHALL POST ALL BONDS AS REQUIRED, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- 6) PRIOR TO CONSTRUCTION, THE SITE CONTRACTOR IS TO INFORM ALL AREA UTILITY COMPANIES AND GOVERNMENTAL AGENCIES OF PLANNED CONSTRUCTION. THE SITE CONTRACTOR IS REQUIRED TO CONTACT DIG-SAFE (811) AT LEAST 3 BUSINESS DAYS PRIOR TO ANY EXCAVATION TO VERIFY ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS.
- 7) THE PROJECT DRAWINGS ARE GENERALLY SCHEMATIC AND INDICATE THE POSSIBLE LOCATION OF EXISTING UNDERGROUND UTILITIES. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY MAPS, MUNICIPAL RECORD MAPS, AND FIELD SURVEY. IT IS NOT GUARANTEED TO BE CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SERVICES, WHEN THOSE SERVICES ARE TO BE LEFT IN PLACE. THE CONTRACTOR IS TO PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING THE EXCAVATING AND BACKFILLING OPERATIONS. SHOULD ANY UNCHARTERED OR INCORRECTLY CHARTERED UTILITIES BE FOUND, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.
- 8) OSHA REGULATIONS MAKE IT UNLAWFUL TO OPERATE CRANES, BOOMS, HOISTS, ETC. WITHIN TEN FEET (10') OF ANY ELECTRIC LINE. IF THE CONTRACTOR MUST OPERATE CLOSER THAN 10', THE CONTRACTOR MUST CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS BEFORE ENCRDACHING ON THIS REQUIREMENT.
- 9) IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLANS, APPROVALS, AND DETAILS FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL THE SITE CONDITIONS IN THE FIELD AND CONTACT THE DESIGN ENGINEER IF THERE ARE ANY DISCREPANCIES REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT AN APPROPRIATE REVISION CAN BE MADE PRIOR TO BIDDING.
- 10) ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED IN WRITING BY THE OWNER, DESIGN ENGINEER, AND APPROPRIATE GOVERNMENTAL AGENCY PRIOR TO INSTALLATION.
- 11) THE CONTRACTOR SHALL RESTORE ALL UTILITY STRUCTURES, PIPE, UTILITIES, PAVEMENT, CURBS, SIDEWALKS, AND LANDSCAPED AREAS DISTURBED BY CONSTRUCTION TO AS GOOD AS BEFORE BEING DISTURBED AS DETERMINED BY THE CITY OF AUGUSTA CEO. ANY DAMAGES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 12) TRAFFIC CONTROL MEASURES SHALL BE UTILIZED IN ACCORDANCE WITH MAINE DOT STANDARDS. THE CONTRACTOR SHALL PROVIDE, MAINTAIN AND PROTECT TRAFFIC CONTROL DEVICES TO THE EXTENT REQUIRED BY LAW FOR THE PROTECTION OF THE PUBLIC CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, AND UNIFORMED TRAFFIC CONTROL PERSONNEL AS REQUIRED OR ORDERED BY THE DESIGN ENGINEER OR CODE ENFORCEMENT PERSONNEL. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE TOWN. PAVEMENT MARKINGS SHALL BE FAST DRYING TYPE IN ACCORDANCE WITH MDOT SPECIFICATIONS. TWELVE INCH (12") WIDE STOP BAR AND FOUR INCH (4") WIDE STRIPES SHALL BE LOCATED AS SHOWN ON THE PLANS.
- 13) THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF ALL PRODUCT, MATERIALS AND PLANT SPECIFICATIONS TO THE OWNER AND DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 10 WORKING DAYS FOR REVIEW.
- 14) THE CONTRACTOR SHALL RETAIN AN INDEPENDENT TESTING LABORATORY FOR SOIL AND PAVEMENT MATERIALS AND COMPACTION TESTING AT NO COST TO THE OWNER. RESULTS OF THE TESTING ARE TO BE SUPPLIED TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COSTS ASSOCIATED WITH ANY RECONSTRUCTION AND RE-TESTING OF UNSATISFACTORY SOILS.
- 15) ALL EXCAVATION SHALL BE BACKFILLED TO EXISTING GRADE BEFORE THE END OF THE DAY OR ADEQUATELY PROTECTED FROM DANGER TO HUMANS AND ANIMALS.
- 16) THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL FIELD LAYOUT. THE OWNER WILL PROVIDE A BENCH MARK AT THE CONSTRUCTION SITE FROM WHICH TO BEGIN LAYOUT.
- 17) THE CONTRACTOR SHALL FURNISH ELECTRICAL POWER, WATER, AND SANITARY FACILITIES FOR HIS EXCLUSIVE USE AT THE CONSTRUCTION SITE SHOULD THE CONTRACTOR DEEM THIS ESSENTIAL FOR THE PROPER PERFORMANCE OF THE CONTRACT.
- 18) WORK MAY PROGRESS MONDAY THROUGH SATURDAY 7:00 AM TO 7:00 PM. WORK AT OTHER TIMES MAY PROCEED UPON WRITTEN APPROVAL BY THE OWNER AND THE TOWN OF NORTH YARMOUTH. THE CONTRACTOR SHALL BE REQUIRED TO CONFORM WITH ALL RULES AND REGULATIONS SET FORTH IN THE CITY LAND USE ORDINANCE REGULATIONS.
- 19) THE CONTRACTOR SHALL GUARANTEE THE FAITHFUL REMEDY OF ANY DEFECTS DUE TO FAULTY MATERIALS OR WORKMANSHIP AND GUARANTEE PAYMENT FOR ANY RESULTING DAMAGE WHICH SHALL APPEAR WITHIN A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT.
- 20) THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
- 21) A PRE-CONSTRUCTION CONFERENCE WITH THE OWNER, DESIGNERS, TOWN OFFICIALS AND CONTRACTOR SHALL BE REQUIRED BEFORE ANY CONSTRUCTION OCCURS ON THE PROJECT. DURING CONSTRUCTION, THERE SHALL BE WEEKLY PROGRESS MEETINGS WITH THE OWNER (ON SITE OR TELECONFERENCE) UNTIL PROJECT COMPLETION.
- 22) PROPER IMPLEMENTATION AND MAINTENANCE OF EROSION CONTROL MEASURES ARE OF PARAMOUNT IMPORTANCE FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ONSITE INSPECTIONS OF THE OWNER, THEIR REPRESENTATIVES, OR STATE/LOCAL/FEDERAL INSPECTORS AT NO ADDITIONAL COST TO THE OWNER.
- 23) ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE THEIR OWN MATERIAL SCHEDULES BASED UPON PLAN REVIEW. SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING THE WORK. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MDOT STANDARD SPECIFICATIONS, LATEST REVISION.

GRADING AND DRAINAGE NOTES

- 1) UNLESS OTHERWISE NOTED, STORM DRAIN PIPE SHALL BE IN ACCORDANCE WITH MDOT SPECIFICATIONS SECTION 603 PIPE CULVERTS AND STORM DRAINS. LATEST REVISION WITH THE EXCEPTION THAT THE ONLY ACCEPTABLE TYPES OF PIPE ARE AS FOLLOWS: REINFORCED CONCRETE PIPE, HDPE/SMOOTH INTERIOR CORRUGATED PLASTIC PIPE.
- 2) HDPE/SMOOTH INTERIOR CORRUGATED PLASTIC PIPE (SICP) MAY ONLY BE USED FOR PIPE SIZES 48" DIAMETER AND SMALLER.
- 3) TOPSOIL STRIPPED IN AREAS OF CONSTRUCTION THAT IS SUITABLE FOR REUSE AS LOAM SHALL BE STOCKPILED ON SITE. IF A LOCATION TO DESIGNATED BY THE CONTRACTOR IS UNUSABLE SOIL SHALL BE SEPARATED, REMOVED, AND DISPOSED OF AT AN APPROVED DISPOSAL LOCATION OFFSITE.
- 4) ALL EXISTING STRUCTURES, FENCING, TREES, ETC. WITHIN THE CONSTRUCTION AREA, UNLESS OTHERWISE NOTED TO REMAIN, SHALL BE REMOVED AND DISPOSED OFFSITE. ANY BURNING ONSITE SHALL BE SUBJECT TO LOCAL ORDINANCES AND PROJECT SPECIFICATIONS.
- 5) THE SITE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND PIPING ON-SITE OR IN THE RIGHT OF WAY PRIOR TO EXCAVATION. THE CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO GRADING/EXCAVATION START.
- 6) SITE EXCAVATION AND FILL-IN-PLACE TO ESTABLISH THE DESIRED SUB-GRADE SHALL BE SCHEDULED SUCH THAT EROSION CONTROL PRACTICES ARE IN PLACE AND FUNCTIONING DOWN-GRADIENT OF THE EARTHWORK PRIOR TO THE START OF EARTHMOVING ACTIVITIES.
- 7) BASED ON FEMA MAPPING, NO AREA WITHIN THE SITE BOUNDARIES IS IN THE 100 YEAR FLOOD PLAIN.

LAYOUT NOTES

- 1) ALL SIGNS INDICATED ON THE PLANS ARE TO MEET ALL REQUIREMENTS AND STANDARDS OF THE MDOT AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- 2) PROPERTY LINE AND RIGHT OF WAY MONUMENTS SHALL NOT BE DISTURBED BY CONSTRUCTION. IF DISTURBED, THEY SHALL BE RESET TO THEIR ORIGINAL LOCATIONS AT THE CONTRACTORS EXPENSE BY A MAINE PROFESSIONAL LAND SURVEYOR.



NO.	DATE	PROJECT NAME IN TITLE BLOCK	UPDATE CLIENT INFO IN TITLE BLOCK	CHANGES
2	4-16-2022			
1	3-15-2022			

REV. BY: DATE: THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SJR ENGINEERING, INC.

SJR ENGINEERING, INC.
16 THURSTON DRIVE
MONMOUTH, MAINE 04259
(207) 602-1676 tel & fax
steve@sjreng.com

CONSTRUCTION NOTES & DETAILS
DEACON HAYES COMMONS
521 WALNUT HILL ROAD - NORTH YARMOUTH MAINE
PREPARED FOR
527 LLC
865 OAK HILL ROAD - NORTH YARMOUTH, ME

DATE	PROJECT
FEB. 2022	2022-12
DRAWN BY	SCALE
SJR	N.T.S.

Superhumus
Jay, Maine

PRODUCT INFORMATION:

Unique to the landscape industry, Superhumus is processed from a blend of fine bark, forest organic matter, and a small amount of sand and fine stone. These natural ingredients are washed off of logs in a wood yard water flume in Jay, Maine. Superhumus is weed seed free, screened (<2/8"), approved for Organic landscaping, and has been used extensively as a container mix, landscape and trail mulch, and in the construction of wetlands, and rain gardens/bioretention soils.

USE RECOMMENDATIONS:

- Soil amendment:** Mix 10-30% uniformly by volume. Add additional fertilizer as needed.
- Container growing:** Use aged Superhumus for container growing of many ornamentals and in custom blended potting mixes.
- Ornamental Mulch:** Apply an even layer 2-4" deep to achieve weed suppression & natural appearance.
- Trail Mulch:** Provides root protection & soft footing on walking/biking trails.
- Wetland Use:** Weed free and rich in organic matter, Superhumus closely simulates the characteristics of wetland soil. Use 100% or in a soil/Superhumus blend.
- Bioretention Soil:** Apply Superhumus to meet organic matter specifications of soil filter/rain garden media. Typical applications utilize 20%-30% Superhumus by volume.
- Slope stabilizer:** Apply 3-6" to soil surfaces to effectively stabilize slopes.

ADDITIONAL INFORMATION:

- Feed Stocks:** Forest soil, bark, organic matter, sand & fine stone.
- Classifications:** Available for use in ME, NH, MA, VT, & CT. Approved for Organic growing (MOFGA).
- Services/Support:** Additional analyses and specifications available.

Casella Organics, 110 Main Street, Suite 1308, Saco, ME 04072 800-933-6474

Hermon, ME 800-287-9947 Unity, ME 800-491-3071 Concord, NH 603-228-6482 Clifton Park, NY 518-383-0137 Chateaugay, NY 518-497-6606

Revised: 3/31/18

PRODUCT ANALYSES:

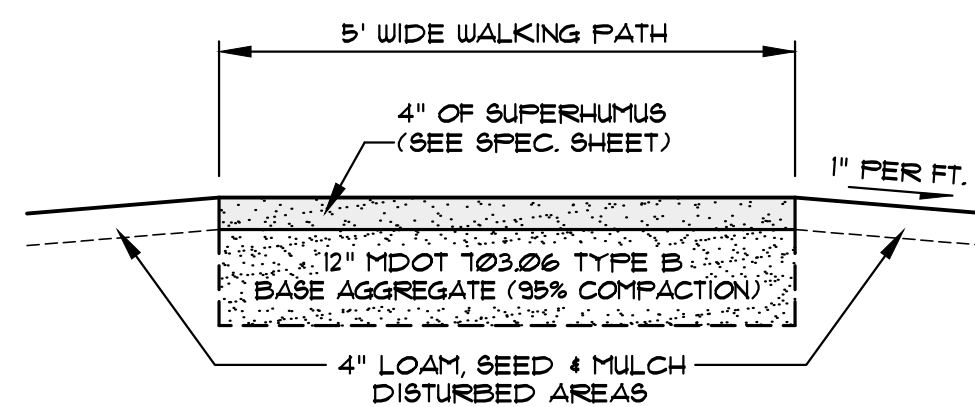
pH	6.0
Total Kjeldahl Nitrogen	2.7%
Organic N	2.6%
Total Phosphorus	1.1%
Total Potassium	0.2%
C/N ratio	16:1
Organic Matter	85.0%
Density	+/- 800lbs/cy
Conductivity	4.2 mmhos/cm
Particle size	screened <3/8"

Data based on average or representative analysis. This product is not a commercial fertilizer, and no nutrient data are on this a general analysis.

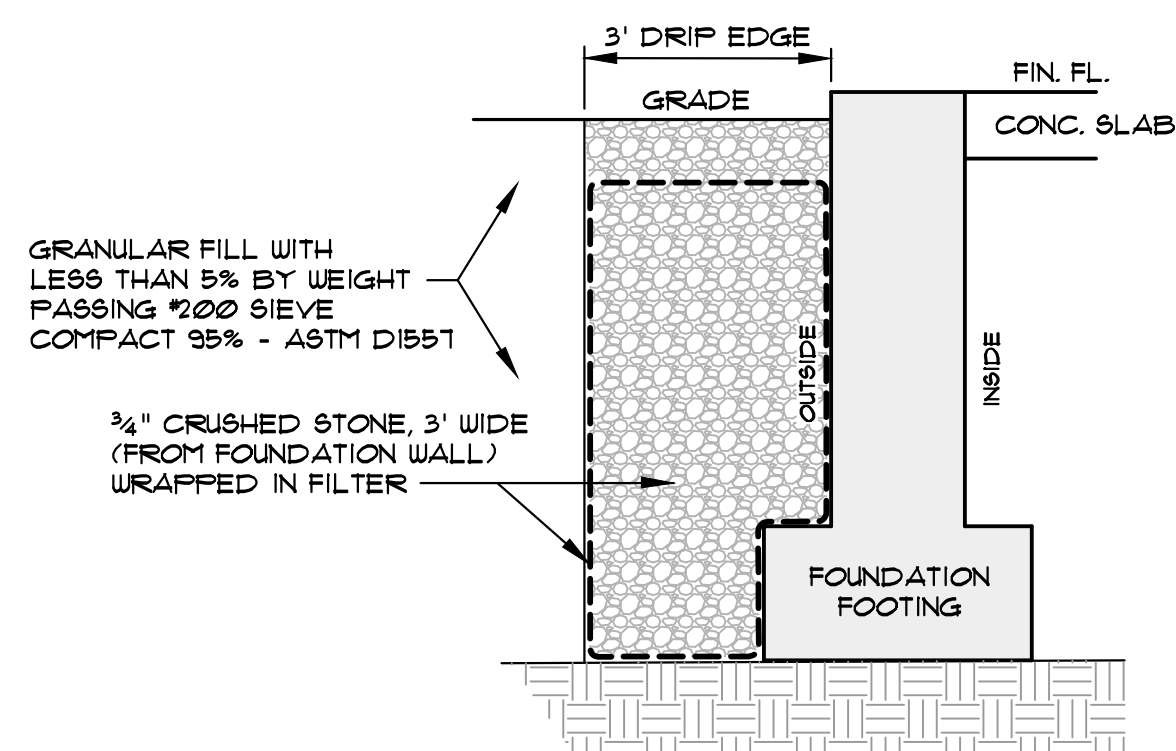
NATIONAL RECOGNITION:

- 2017 Clean Water Award
- 2015 Composting Council
- 2009 Environmental Management System Certification
- 2004 U.S. Composter of Year 25 Competing Council
- 2001 EPA National Biosolids Exemplary Management Award
- 2000 Maine Governor's Award for Environmental Excellence

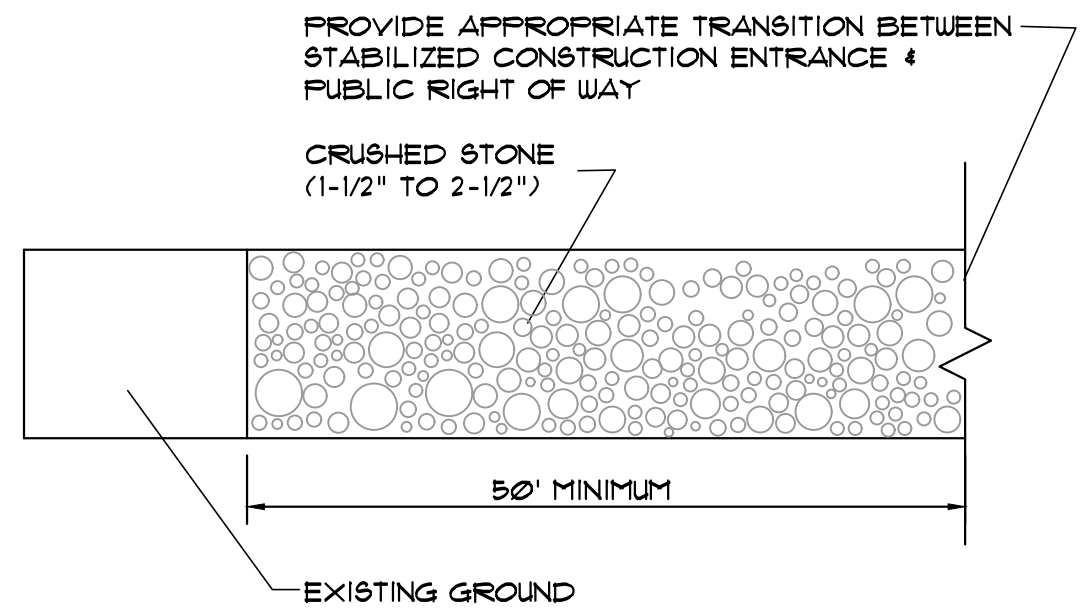
SUPERHUMUS SPECIFICATION SHEET



FOOTPATH AND SIDE SLOPE CROSS SECTION
NOT TO SCALE



FOUNDATION UNDERDRAIN DETAIL
STONE DRIP EDGE
NOT TO SCALE



- STONE SIZE - AASHTO DESIGNATION M 43, SIZE #2 (2 1/2" - 1 1/2") USE CRUSHED STONE
- LENGTH - AS EFFECTIVE BUT NOT LESS THAN 50'
- THICKNESS - NOT LESS THAN 8"
- WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS
- WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY, WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS, OR OTHER APPROVED METHODS.
- MAINTENANCE - THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURED USES TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT OF WAYS MUST BE REMOVED IMMEDIATELY.

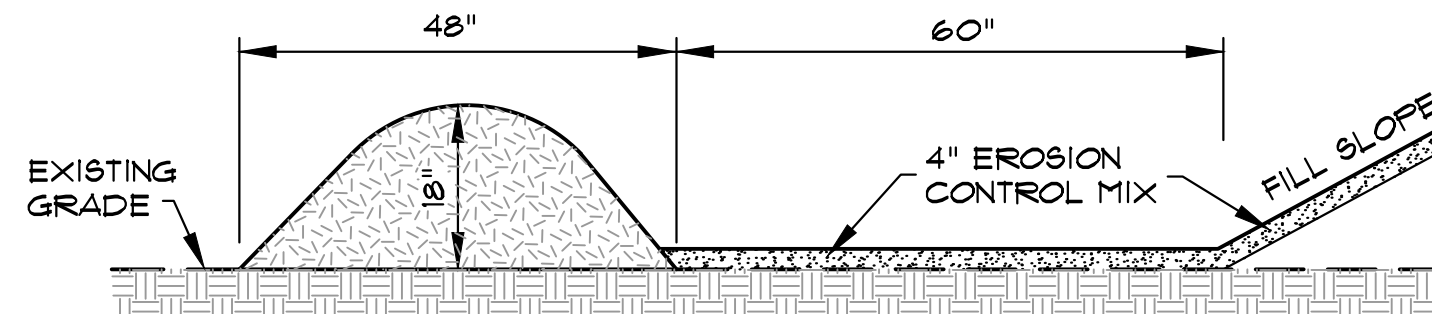
STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

THE FILTER BERM SHALL CONSIST OF A WOOD WASTE COMPOST/BARK MULCH MIX OR RECYCLED COMPOSTED BARK FLUME GRIT AND FRAGMENTED WOOD GENERATED FROM WATER FLUME LOG HANDLING SYSTEMS. COMPARABLE COMPOSTED MIXES CAN BE USED UPON WRITTEN APPROVAL OF THE ENGINEER.

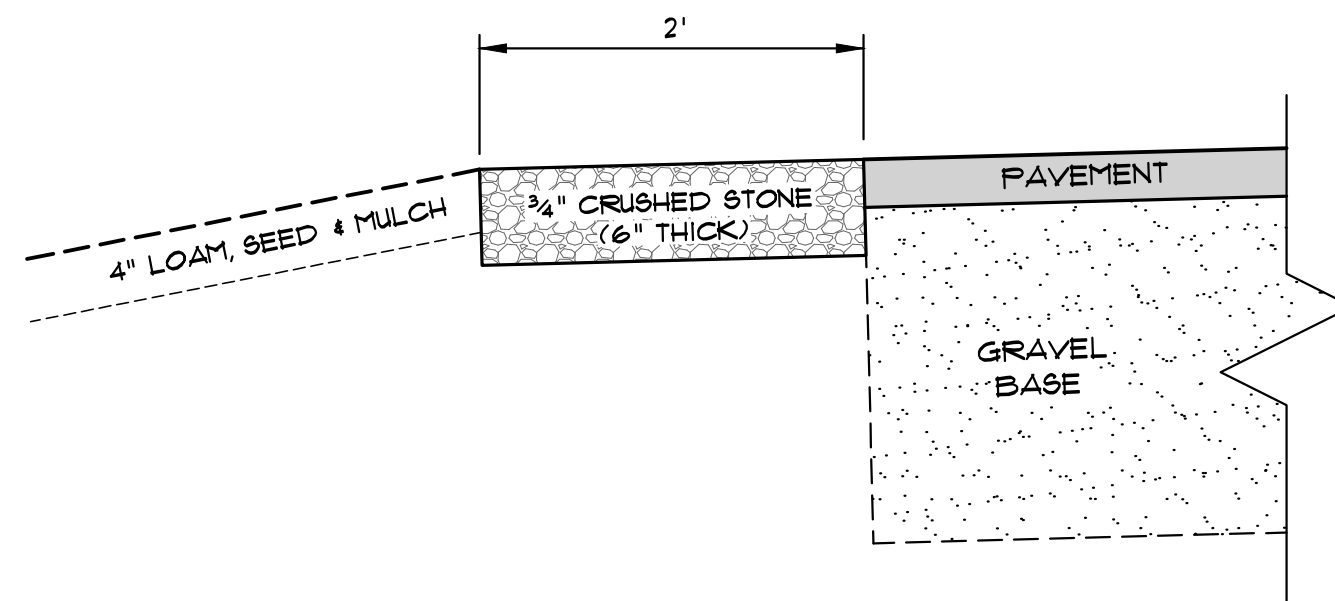
THE MIX SHALL CONFORM TO THE FOLLOWING: pH BETWEEN 5.0-8.0, PARTICLE SIZE - 100% PASSING THROUGH A 6" SCREEN AND 80% RETAINED ON A 3/4" SCREEN, SOLUBLE SALTS CONTENT SHALL BE LESS THAN 4.0 mmhos/cm.

THE COMPOSTED BERM SHALL BE PLACED, UNCOMPACTED, ALONG A RELATIVELY LEVEL CONTOUR.

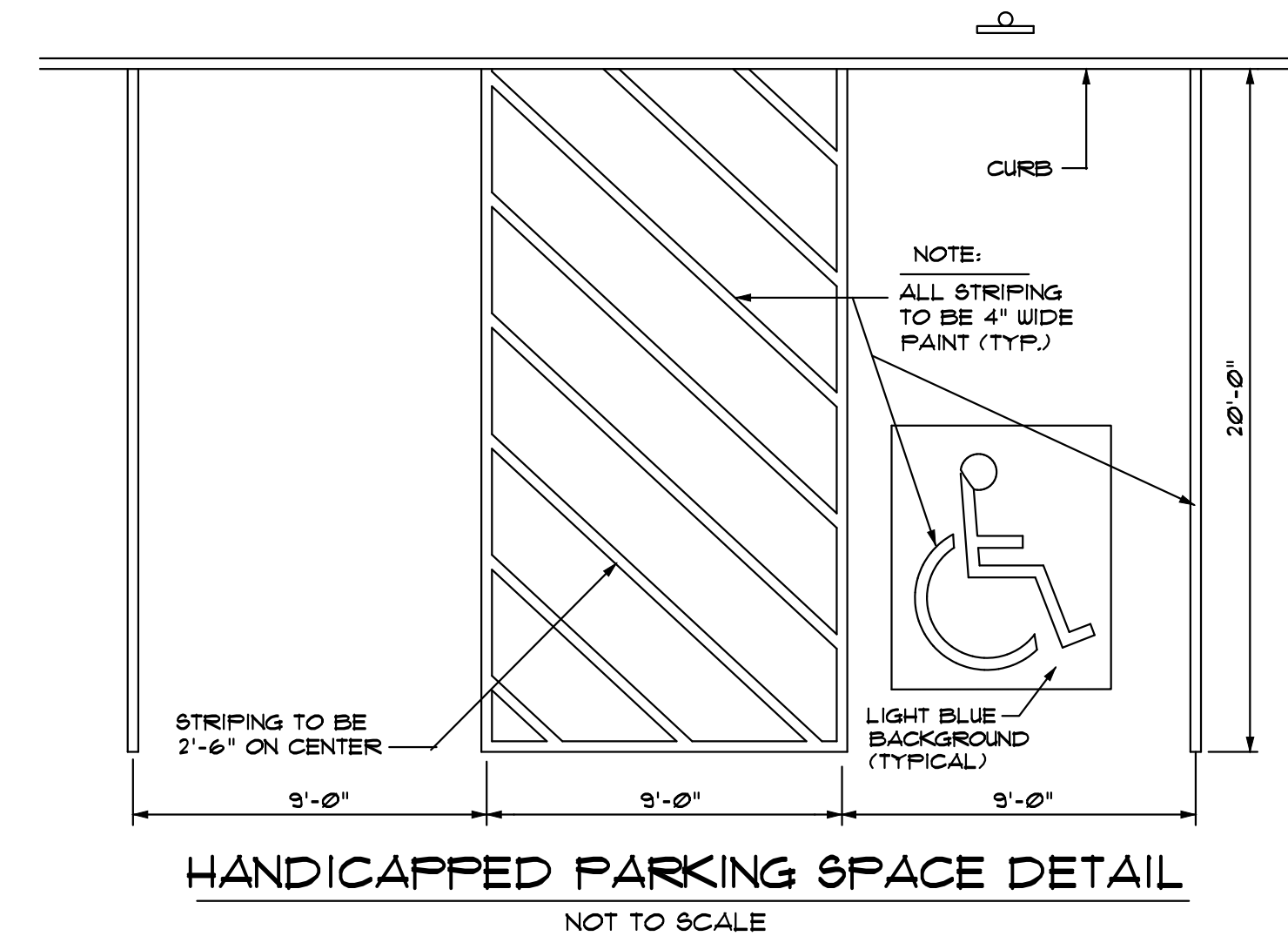
THE BERM MAY BE USED IN COMBINATION WITH SILT FENCE TO IMPROVE SEDIMENT REMOVAL AND PREVENT CLOGGING OF THE BERM BY LARGER SEDIMENT PARTICLES (SILT FENCE PLACED ON THE UPHILL SIDE OF BERM).



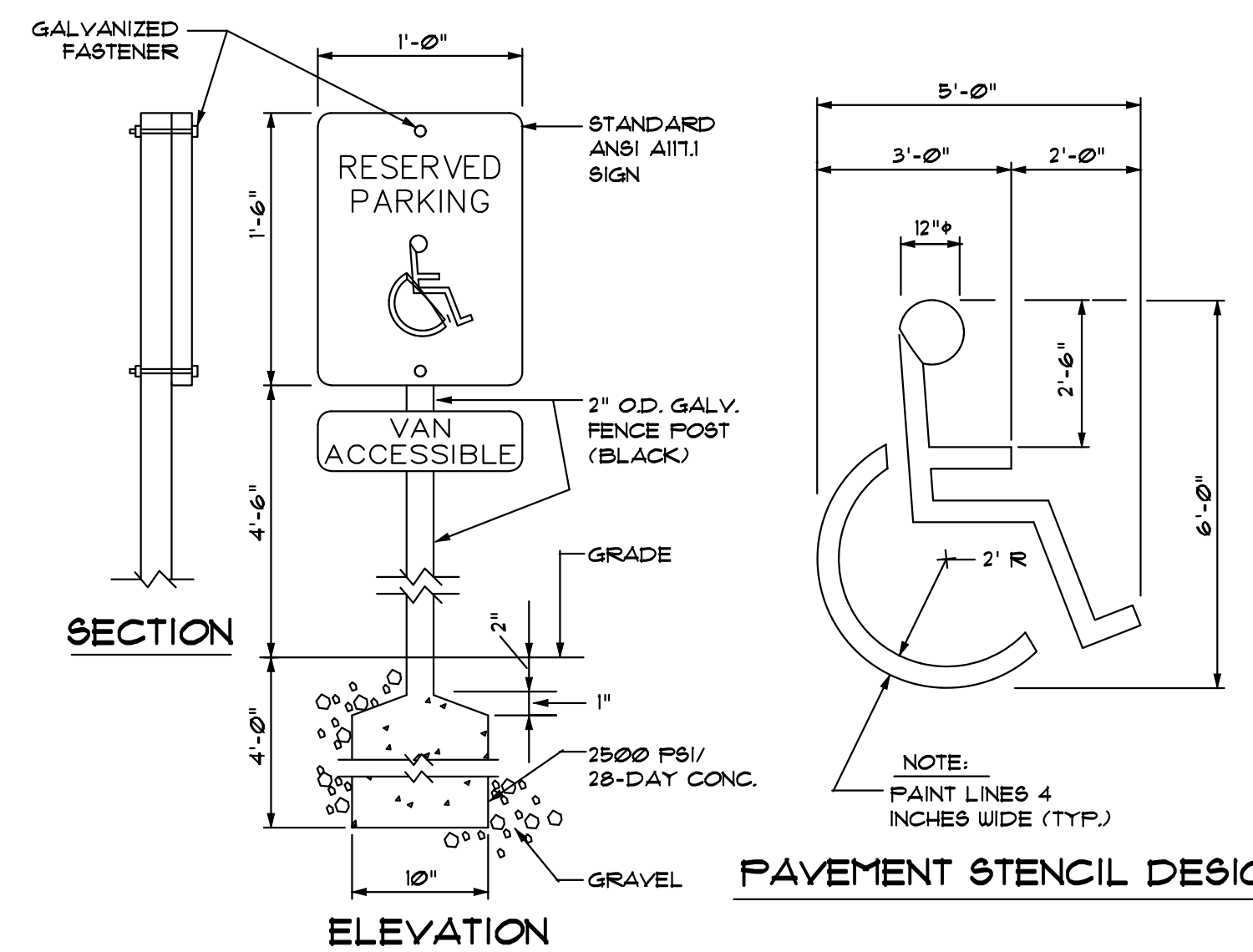
EROSION CONTROL FILTER BERM
NOT TO SCALE



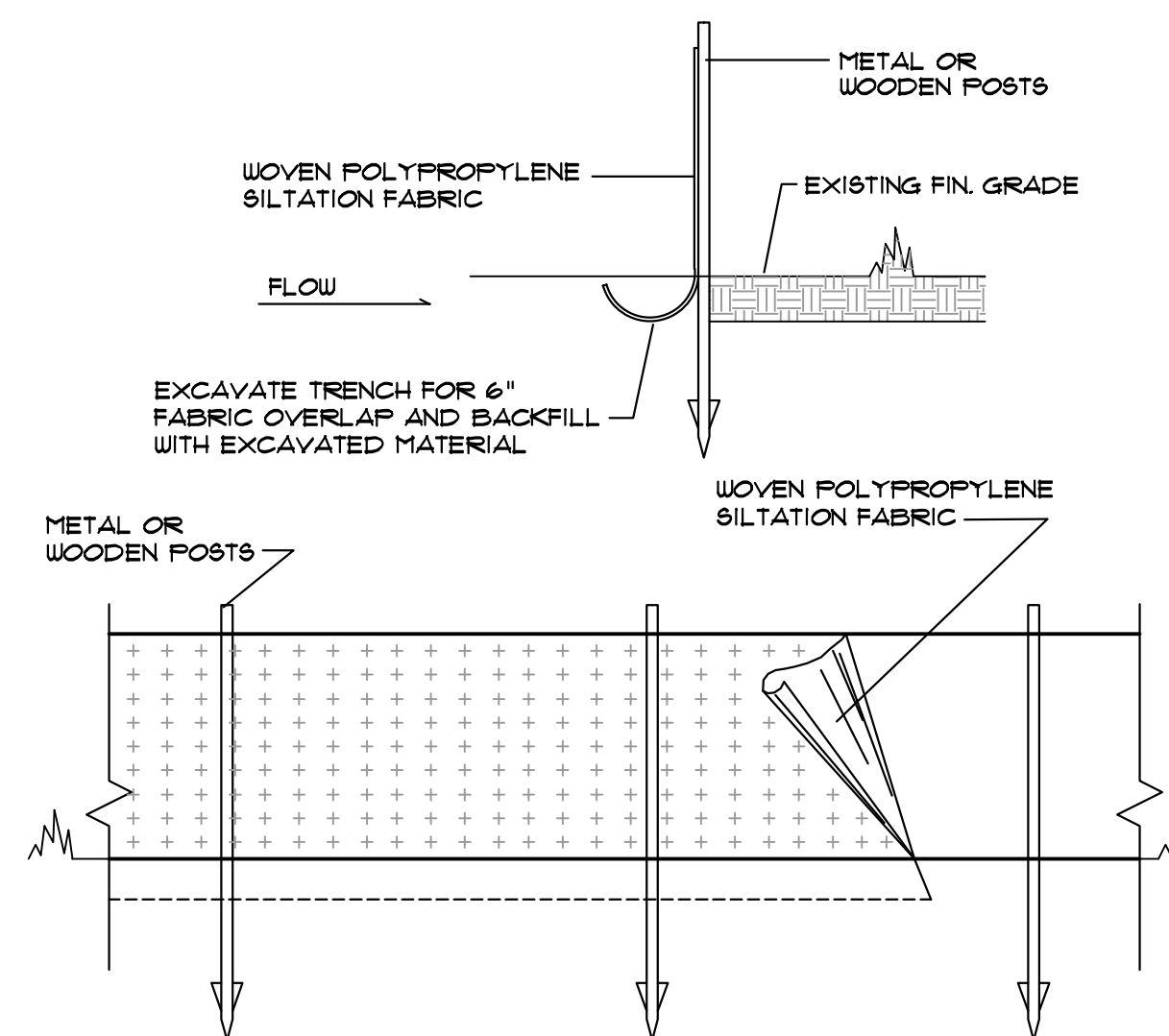
STONE TRANSITION AREA
PAVEMENT TO GRASS
NOT TO SCALE



HANDICAPPED PARKING SPACE DETAIL
NOT TO SCALE



HANDICAP SIGN DETAIL
NOT TO SCALE



NOTES

REFERENCE IS MADE TO THE BEST MANAGEMENT PRACTICE FOR EROSION AND SEDIMENT CONTROL: B-1 SEDIMENT BARRIERS.

SILTATION FABRIC WITH INTEGRAL MESH AND POSTS MAY BE USED.

EROSION CONTROL FILTER BERM IS AN ACCEPTABLE ALTERNATIVE TO SILT FENCING.

SILT FENCE DETAIL
NOT TO SCALE



DATE	PROJECT
4-16-2022	UPDATE PROJECT NAME IN TITLE BLOCK
3-15-2022	UPDATE CLIENT INFO IN TITLE BLOCK
BY:	CHANGES:
2 SUR	
1 SUR	
REV:	

SJR ENGINEERING, INC.
16 THURSTON DRIVE
MONMOUTH, MAINE 04259
(207) 622-1676 tel & fax
steve@sengineering.com

CONSTRUCTION DETAILS
DEACON HAYES COMMONS
521 WALNUT HILL ROAD - NORTH YARMOUTH MAINE
PREPARED FOR
527 LLC
865 OAK HILL ROAD - NORTH YARMOUTH, ME

DATE	PROJECT
FEB. 2022	2022-12
DRAWN BY	SCALE
SJR	N.T.S.



FRONT ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"

NOTE: BUILDING CONTRACTOR/OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, GRADES, AND CONNECTIONS BEFORE CONSTRUCTION BEGINS. ALL BUILDING CODES ARE THE RESPONSIBILITY OF THE OWNER / BUILDING CONTRACTOR, THESE PLANS, DRAWINGS, AND DESIGNS ARE FOR CONCEPTION ONLY. IF USED FOR CONSTRUCTION REFER TO THE IRC 2015 CODE COMPLIANCE. THE RESPONSIBILITY OF CONSTRUCTION LIES ON THE OWNER AND CONTRACTOR.

THIS INFORMATION IS PROVIDED TO ILLUSTRATE DESIGN ONLY. THESE PLANS ARE NOT WORK OF AN ARCHITECT. THE BUILDING CONTRACTOR IS RESPONSIBLE FOR ALL STRUCTURAL AND MECHANICAL ASPECT OF THE PROJECT. ALL BUILDING CODES ARE THE RESPONSIBILITY OF YOUR CONTRACTOR.

ELEVATIONS

DEACON HAYES COMMONS
521 WALNUT HILL ROAD
NORTH YARMOUTH, ME

DRAWINGS PROVIDED BY:
RAELENE LOKRA
5 GUNPOWDER MILL RD
WINDHAM, ME 04062
(207) 650-4504

DATE:

6/27/2022

SCALE:

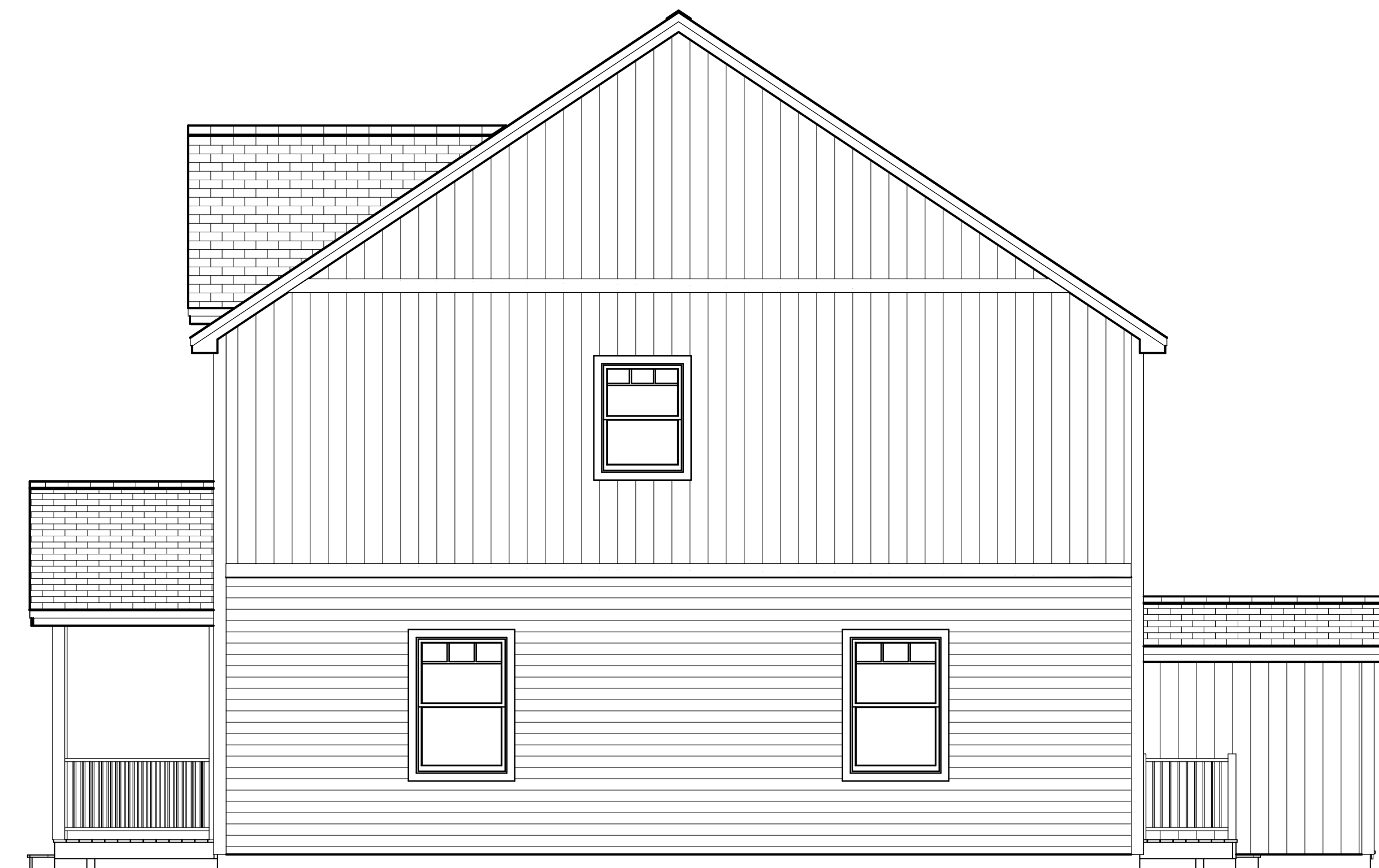
1/4" = 1'-0"

SHEET:

A-1



LEFT ELEVATION
1/4" = 1'-0"



RIGHT ELEVATION
1/4" = 1'-0"

THIS INFORMATION IS PROVIDED TO ILLUSTRATE DESIGN ONLY.
THESE PLANS ARE NOT WORK OF AN ARCHITECT. THE BUILDING
CONTRACTOR IS RESPONSIBLE FOR ALL STRUCTURAL AND
MECHANICAL ASPECT OF THE PROJECT. ALL BUILDING CODES
ARE THE RESPONSIBILITY OF YOUR CONTRACTOR.

LEFT & RIGHT
ELEVATIONS

DEACON HAYES COMMONS
521 WALNUT HILL ROAD
NORTH YARMOUTH, ME

DRAWINGS PROVIDED BY:
RAELENE LOKRA
5 GUNPOWDER MILL RD
WINDHAM, ME 04062
(207) 650-4504

DATE:

6/27/2022

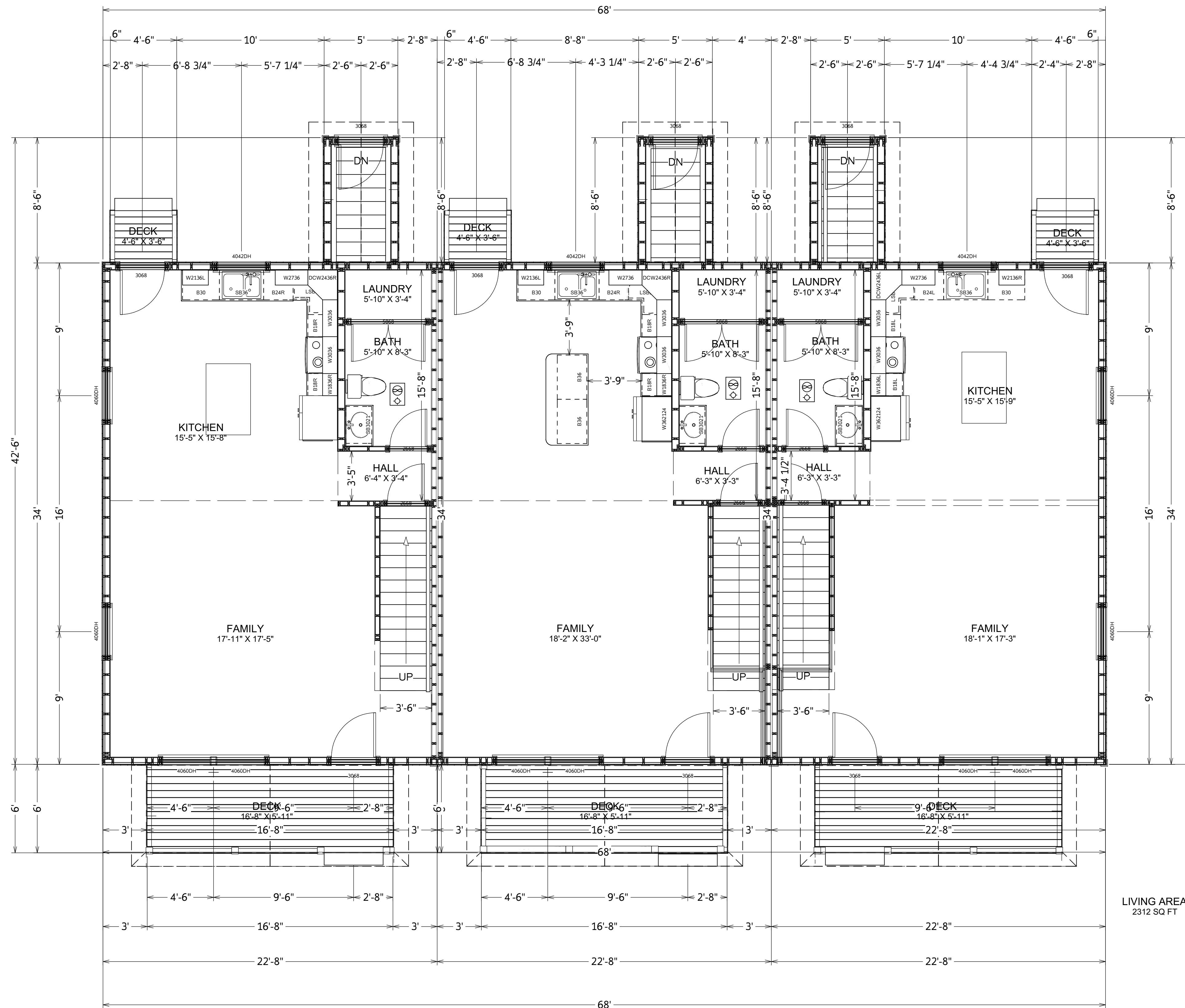
SCALE:

1/4" = 1'-0"

SHEET:

A-2

NOTE: BUILDING CONTRACTOR/OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, GRADES, AND CONNECTIONS BEFORE CONSTRUCTION BEGINS. ALL BUILDING CODES ARE THE RESPONSIBILITY OF THE OWNER / BUILDING CONTRACTOR, THESE PLANS, DRAWINGS, AND DESIGNS ARE FOR CONCEPTION ONLY. IF USED FOR CONSTRUCTION REFER TO THE IRC 2015 CODE COMPLIANCE. THE RESPONSIBILITY OF CONSTRUCTION LIES ON THE OWNER AND CONTRACTOR.



THIS INFORMATION IS PROVIDED TO ILLUSTRATE DESIGN ONLY. THESE PLANS ARE NOT WORK OF AN ARCHITECT. THE BUILDING CONTRACTOR IS RESPONSIBLE FOR ALL STRUCTURAL AND MECHANICAL ASPECT OF THE PROJECT. ALL BUILDING CODES ARE THE RESPONSIBILITY OF YOUR CONTRACTOR.

**PLAN VIEW
FLOOR 1**

**DEACON HAYES COMMONS
521 WALNUT HILL ROAD
NORTH YARMOUTH, ME**

DRAWINGS PROVIDED BY:
RAELENE LOKRA
5 GUNPOWDER MILL RD
WINDHAM, ME 04062
(207) 650-4504

DATE:

6/27/2022

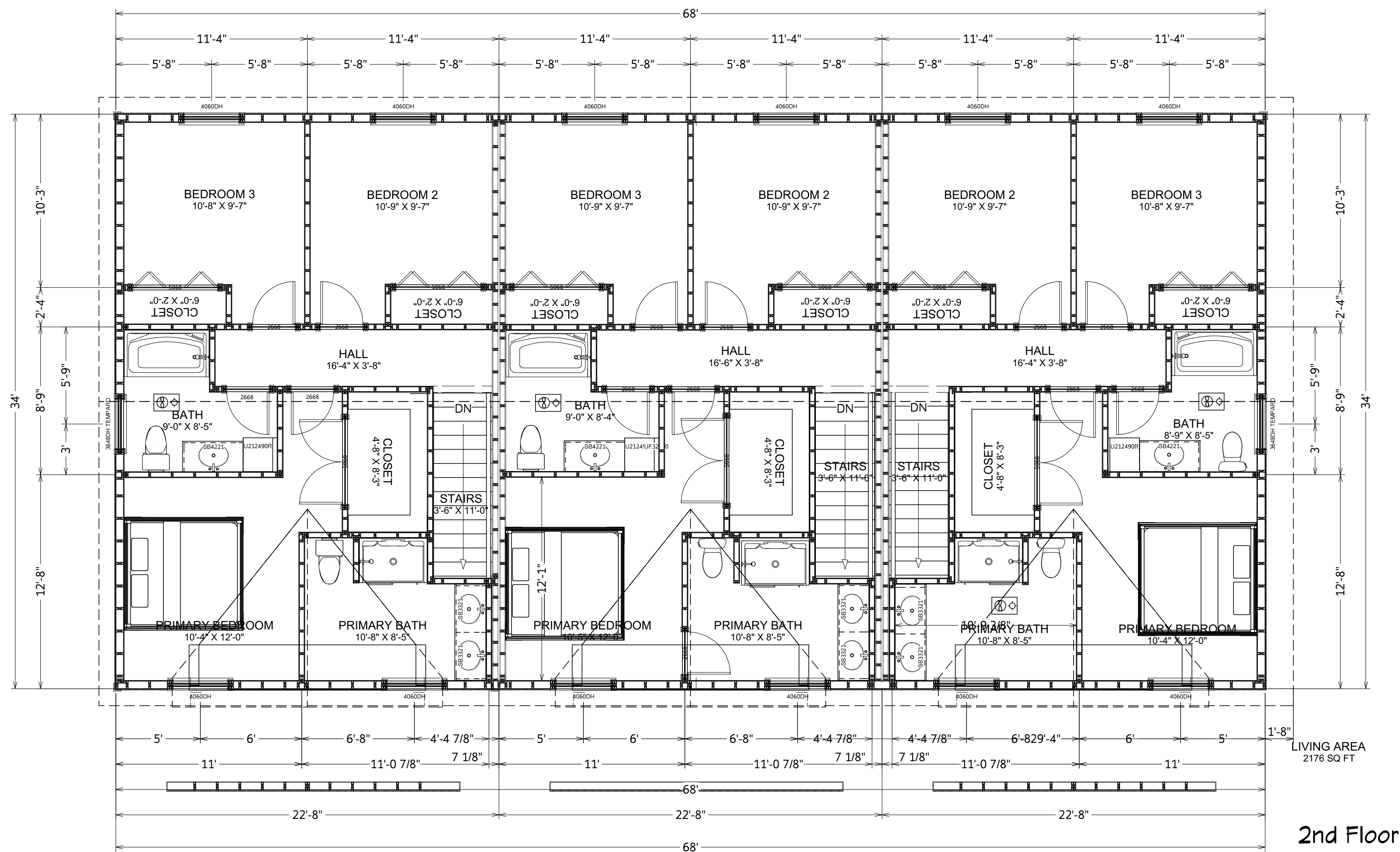
SCALE:

1/4" = 1'-0"

SHEET:

A-3

NOTE: BUILDING CONTRACTOR/OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, GRADES, AND CONNECTIONS BEFORE CONSTRUCTION BEGINS. ALL BUILDING CODES ARE THE RESPONSIBILITY OF THE OWNER / BUILDING CONTRACTOR, THESE PLANS, DRAWINGS, AND DESIGNS ARE FOR CONCEPTION ONLY. IF USED FOR CONSTRUCTION REFER TO THE IRC 2015 CODE COMPLIANCE. THE RESPONSIBILITY OF CONSTRUCTION LIES ON THE OWNER AND CONTRACTOR.



2nd Floor

THIS INFORMATION IS PROVIDED TO ILLUSTRATE DESIGN ONLY. THESE PLANS ARE NOT WORK OF AN ARCHITECT. THE BUILDING CONTRACTOR IS RESPONSIBLE FOR ALL STRUCTURAL AND MECHANICAL ASPECTS OF THE PROJECT. ALL BUILDING CODES ARE THE RESPONSIBILITY OF YOUR CONTRACTOR.

PLAN VIEW
FLOOR 2

DEACON HAYES COMMONS
521 WALNUT HILL ROAD
NORTH YARMOUTH, ME

DRAWINGS PROVIDED BY:
RAELENE LOKRA
5 GUNPOWDER MILL RD
WINDHAM, ME 04062
(207) 650-4504

DATE:

6/27/2022

SCALE:

1/4" = 1'-0"

SHEET:

A-4

NOTE: BUILDING CONTRACTOR/OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, GRADES, AND CONNECTIONS BEFORE CONSTRUCTION BEGINS. ALL BUILDING CODES ARE THE RESPONSIBILITY OF THE OWNER / BUILDING CONTRACTOR, THESE PLANS, DRAWINGS, AND DESIGNS ARE FOR CONCEPTION ONLY. IF USED FOR CONSTRUCTION REFER TO THE IRC 2015 CODE COMPLIANCE. THE RESPONSIBILITY OF CONSTRUCTION LIES ON THE OWNER AND CONTRACTOR.